



WESTMINSTER
COLORADO

**AGENDA
PLANNING COMMISSION PRE-MEETING**

Tuesday, February 28, 2023

***A light dinner for Commissioners and staff will be served from
5:45-6:10 p.m. in the kitchen off
City Council Chambers***

***Pre-Meeting Begins at 6:30 p.m.
Council Chambers Board Room
Main Level, City Hall***

ITEM NO. 1: Items for Planning Commission Discussion

No items to discuss at this time

ITEM NO. 2: Upcoming Planning Commission Meeting Agenda Items

No meetings scheduled at this time

ITEM NO. 3: Items on This Evening's Agenda

- 3a) Annexation, Comprehensive Plan, and Zoning for City Owned Properties *prepared by Patrick Caldwell, Senior Planner*
- 3b) Rezoning, PDP and ODP for Huron Farm *prepared by Jacob Kasza, Senior Planner*
- 3c) PDP and ODP for Tri-State *prepared by Amy Johnson, AICP, Senior Planner*



PLANNING COMMISSION MEETING AGENDA

1. ROLL CALL
2. CONSIDERATION OF PREVIOUS MEETING MINUTES
Meeting Minutes of February 14, 2023
3. CONSIDERATION OF NEW BUSINESS
 - a. 9889 Alkire Street Annexation, Comp Plan, & Zoning (Brauch Property), 12620 Zuni Street Annexation, Comp Plan, & Zoning (Bushnell Property), 7371 West 92nd Ave Annexation, Comp Plan, & Zoning (Diekmann Property), 68th & Federal Blvd Annexation, Comp Plan, & Zoning (Federal Blvd South Property), 3421 and 3431 Mosko Court Annexation, Comp Plan, & Zoning (Mosko Court Properties)

Prepared by: Patrick Caldwell, Senior Planner
 - b. Public Hearing and Action on a Rezoning, a Preliminary Development Plan, and an Official Development Plan for Huron Farm

Prepared by: Jacob Kasza, Senior Planner
 - c. Public Hearing and Action of a Preliminary Development Plan Amendment and an Official Development Plan Amendment for the Tri-State Subdivision

Prepared by: Amy Johnson, Senior Planner
4. OLD BUSINESS
5. MISCELLANEOUS BUSINESS
6. ADJOURNMENT

PLEASE NOTE

The following are the procedures used by the Planning Commission for in-person meetings.
For virtual participation guidelines please visit www.cityofwestminster.us/pc

1. Staff will present agenda items. The Developer may present after Staff.
2. Those in attendance who favor the proposed development may address the Commission, followed by those who do not favor the proposed development. The Chair may impose time limits on speakers.
PLEASE SIGN THE SHEET IN THE FRONT OF THE COUNCIL CHAMBERS WHEN YOU SPEAK.
3. All questions shall be addressed to the Chair of the Planning Commission. The Chair will call on Staff to address questions at the end of the hearing. Planning Commission reserves the right to question anyone at any time during the Public Hearing.
4. The Commission is charged with the review of Comprehensive Plan Amendments, Rezoning, Preliminary Development Plans, Amended Preliminary Development Plans, Official Development Plans, Amended Official Development Plans, Preliminary Plats and Amended Preliminary Plats that are not approved administratively by the City Manager.
5. There are two different procedures involved in the review of applications for development plan approval and the procedure depends on the type of plan under consideration:

- a. After review and a public hearing, the Planning Commission may recommend approval of an application, approval subject to specified conditions, or denial of an application. The Planning Commission is **not** the final authority on these applications. The City Council is the final decision maker.
- b. On applications for Official Development Plans and Amended Official Development Plans, the Planning Commission **does** make the final decision, unless the decision of the Planning Commission is appealed to the City Council within 10 days of the Planning Commission decision by a “party-in-interest,” as described in Section 11-5-13(B.1) of the Westminster Municipal Code. If a decision of the Planning Commission is properly appealed to the City Council, the City Council will schedule the item for consideration at one of their upcoming meetings and, after holding a public hearing, make a final decision on the application.

If you need further information regarding this process, or any other matter related to the City’s development review process, please contact the City Planning Division at 303-658-2092.

NOTE: Persons needing an accommodation, such as an interpreter for another language, or who have an impairment that requires accommodation, must notify the Planning Aide no later than noon on the Thursday prior to the scheduled Planning Commission hearing to allow adequate time to discuss arrangements. Please call 303-658-2092/TTY711 or State Relay or email jbaden@cityofwestminster.us to make a reasonable accommodation request.



WESTMINSTER

CITY OF WESTMINSTER
PLANNING COMMISSION
Meeting Minutes
February 14, 2023-DRAFT

1. ROLL CALL

The meeting was called to order at 7:00 pm by Vice-Chair Joe McConnell. Present were, Commissioners Lawrence Dunn, David Carpenter, David Tomecek, Rick Mayo and Tracy Colling and Elisa Torrez. Excused from attendance were Chair Jim Boschert and Chennou Xiong. Also present: Staff members John McConnell, Principal Planner, Andrew Spurgin, Principal Planner, Interim Public Works and Utilities Director, Sarah Borgers, and Jennifer Baden, Associate Planner. With the roll called, Vice-Chairperson McConnell stated that a quorum was present

CONSIDERATION OF MINUTES

Meeting Minutes from November 8, 2022.

Commissioner Colling made a motion to accept the minutes from the November 8, 2022, Planning Commission meeting. Commissioner Tomecek seconded the motion. The minutes were unanimously accepted (7-0).

2. CONSIDERATION OF NEW BUSINESS AND PUBLIC HEARINGS

3a) Election of Chair and Vice-Chair positions to the Planning Commission

Commissioner Mayo nominated current Chair Jim Boschert as Chair of the Planning Commission.

Commissioners Colling and Dunn seconded the motion.

Chair Boschert was elected by acclimation.

Commissioner Carpenter nominated current Vice-Chair Joe McConnell as Vice-Chair of the Planning Commission.

Commissioner Dunn seconded the motion.

Vice-Chair was elected by acclimation.

3b) Public Hearing and Recommendation on the revised 2040 Comprehensive Plan

Andrew Spurgin, Principal Planner, entered into the record the agenda memorandum, attachments, and public notice affidavit of publication from the *Westminster Window* on February 2, 2023. Mr. Spurgin narrated a PowerPoint presentation for the proposal to:

a. Hold a public hearing.

b. Recommend that the Planning Commission recommend that the City Council approve an ordinance adopting the 2040 Comprehensive Plan.

After completion of the staff presentation, Vice-Chair McConnell asked for clarification if the water usage and modeling tool used would be the responsibility of the Planning team. Mr. Spurgin credited the Public Works and Utilities department as their staff developed it to benefit the Comprehensive Plan.

Vice-Chair McConnell opened the public hearing at 7:31 pm.

Public testimony heard was in favor of a request from the Erickson Group for a property specific request for the Hawn property from the current Mixed Use Activity Center designation to Employment-Flex designation and to include a text amendment to allow housing.

Public testimony was also heard in favor of the plan overall.

Vice-Chair McConnell closed the public hearing at 8:02 pm.

Commissioner Carpenter stated he appreciated staff's work on the new plan and is pleased with the changes. He asked staff how much of the current infrastructure maintenance and replacement is collected through tap fees and not rate payers (page 10). Ms. Borgers responded that the rate app modeling structure that is being worked through with Council takes into account all the upgrades for infrastructure and balances that with affordability.

Commissioner Carpenter asked staff if air pollution (page 11) is actually increasing or has the standard changed. Mr. Spurgin stated that a greenhouse gas study was conducted with the Sustainability Plan and there are locations that are showing increases from external sources such as the wildfire events, and other things like airport operations.

Commissioner Carpenter suggested to add reducing congestion or looking at that as an option in or around page 12.

Commissioner Carpenter stated that Highway 128 should have a different symbol on the land use maps since it is a Colorado State Highway.

On page 42, Commissioner Carpenter asked staff about the Accessory Dwelling Unit (ADUs) if they would be required to have a separate water tap. Mr. Spurgin stated that the Development Code currently does not allow for ADUs, and this will be determined at the time of a code update.

On page 45, Commissioner Carpenter asked about potentially prohibited uses and suggested that City Council and staff review these uses. Mr. Spurgin stated these uses are carry over from previous plans but potentially prohibited doesn't mean it's prohibited but gives a little more scrutiny when coming before the committee with PDP and ODP requesting one of these uses. Everyone still gets to come forward and make their request.

Commissioner Carpenter asked about zoning categories and where tiny home communities would fit. Mr. Spurgin stated that tiny homes would be considered another type of single-family housing. Staff will be having a separate discussion with the Economic Development department to discuss further.

Commissioner Carpenter recommended that the drive-thru restriction in Commercial Mixed Use with residential use be revisited because the need still exists. Mr. Spurgin stated that this is another carry over from the previous plan and that this plan provides the option for Horizontal Mixed-Use. Staff would see the intent as to keep the drive-thru type of use outside of residential projects but if it was a stand-alone commercial project off to the side, that would be another way to look at it. This is intended for that vertically integrated type of use.

Page 64 under 10.6, Commissioner Carpenter supports working with Adams County and/or Highland Hills Parks and Recreation District to find potential parks and recreation sites for unincorporated areas south of 92nd Avenue but would like to include incorporated as well to not limit other opportunities.

Commissioner Carpenter stated that in the transportation section, page 68, under 3.3, Vision Zero was mentioned again and reiterated that he does not support this language. Mr. Spurgin suggested to add the language 'as identified in the Transportation & Mobility Plan (TMP)' as this is a stand-alone plan that speaks for itself. Commissioner Carpenter agreed with this revision.

Under Balanced Economy, 1.6 Commissioner Carpenter stated he would like to see encouragement of all types of business growth and continue to promote focus areas. Mr.

Spurgin stated that the intent is the programmatic side, but the wording could be misconstrued. That could be a simple edit.

Chapter 7.1 Community Design and Built Forum, Commissioner Carpenter stated the 8/80 paradigm seems cliché. He agrees to include it but suggests a change in wording in that section.

Page 90, Commissioner Carpenter asked about the Harris Park Community Vision Plan and asked if the plan has been implemented. Mr. Spurgin stated that Council approved this plan.

Commissioner Carpenter asked staff the intent of Rental Housing Inspection Program in the Comprehensive Plan. Mr. Spurgin responded this was meant to be informative only.

Page 101, Commissioner Carpenter asked about the accuracy of the paragraph regarding the Circle Point development now that it is being built out with apartments. Mr. Spurgin stated that the northwest quadrant that still has land capacity that is preserved for employment.

Page 102, Commissioner Carpenter asked about the land use map as it relates to the water treatment plant that Council has approved and the Hawn property. Mr. Spurgin stated that approximately 66 acres on the north end would remain in private ownership and roughly 40 acres on the south end would be the city water treatment plant.

Page 104, Commissioner Carpenter quoted the statement of 'Expansion of additional retail uses outside of existing retail properties along Wadsworth Boulevard and West 88th Avenue is strongly discouraged in order to focus retail and entertainment opportunities in Brookhill and established centers such as Mission Commons' and stated that he does not agree with this statement. Mr. Spurgin responded that this sentence could potentially be removed from the Plan since the boundaries of the focus area are already retail.

Page 105, Commissioner Carpenter asked about other undeveloped areas where the "Agrihood" neighborhood could happen. Mr. Spurgin responded that it is possible as there is surplus land all around the St. Anthony's campus and if that is evolved into healthy living-oriented environment, there could be an opportunity for that type of community garden, etc.

Page 110, Commissioner Carpenter requested that the graphic on Figure 8.9 be upgraded to show a potential bike and pedestrian connection over the creek and along Simms to the dog park to relate to the text for this area.

Page 123, looking at the Utilities & Resources graphic, Commissioner Carpenter asked what the 126 gpcd (gallons per capita per day) is based on. Mr. Spurgin responded that with water, the city plans very conservatively with the target being to decrease that over time. Commissioner Carpenter asked what the Utility Condition Index at 41.5 represents. Mr. Spurgin responded that he understands we want to keep that or increase that number. Ms. Borgers stated that the 41.5 is out of 100.

Page 124, Transportation & Mobility Commissioner Carpenter requests that we change the verbiage to 'maintain' instead of 'reduce' as it pertains to the drive along modal split as a goal.

Commissioner Carpenter stated that there are two potential amendments to land use tonight - the Northgate property and the Hawn property. He wanted to confirm that if the commission decides to recommend passing the Plan tonight without including those amendments, they can still go through the traditional land use change process. Mr. Spurgin stated that the applicants would have the benefit of focused discussion on the specific site, companion zoning and PDP, and the surrounding residents would have the opportunity to participate.

Commissioner Tomecek asked staff about conversations with Regional Transportation District (RTD) because route maps have changed as recently as the last few months. Mr. Spurgin responded that staff referred the Plan to RTD in December 2022, and it was decided that it would be cleanest to include the maps from the Transportation & Mobility Plan since there was a stakeholder group that informed where transit is desired in the future, whether through RTD or another transit provider.

Commissioner Colling asked staff to explain why staff is not supporting the Hawn property request. Mr. Spurgin responded that the Hawn property site is larger, it's at a location adjacent to US 36 with great visibility that lends itself to the employment-flex land use, it has one of the largest water decreases in the city, and the text changes could potentially apply to any office campus site and are not site specific. The Northgate site is smaller, lends itself to residential use, and the changes to the site are site specific. Mr. McConnell stated that City Council outlined goals that they wanted to see accomplished in the new Comprehensive Plan and the Hawn property request does not align with these goals.

Commissioner Carpenter followed up on Commissioner Colling's question regarding the Hawn property. He stated that the revised 2023 Plan is Employment-Flex which is the city's recommendation for the land use. They are requesting Employment Office Institutional Campus with text amendments to allow housing. Do we have those text amendments? Mr. Spurgin stated that they are included in Attachment 12. Mr. McConnell also stated that they included specific text amendments that would apply to that land use category citywide if adopted but they were intended to facilitate the intended development.

Vice-Chair McConnell stated that Vision Zero is not an unusual goal in almost any industry. It is almost an impossible goal to achieve but it helps emphasize the importance of reaching that goal at some point in time. The other item is the 8/80 paradigm, looking at that differently. It takes everyone in between the ages of 8 and 80 to take care of those on the end and am not troubled by that.

Vice-Chair McConnell asked staff about the 40% open space charts in the Comprehensive Plan and what those percentages are. Mr. Spurgin stated that this percentage is within the existing city limits today, not taking into the account the annexation areas. More specifically the parks, golf courses, and open space that make up the 40% with open space being 21% of that and the golf courses and parks are the remaining 19%.

Commissioner Colling stated that her document stops on page 20 (Chapter 2) and picks back up on page 36 (Chapter 3) and the PDF online shows the same thing. Mr. Spurgin stated that the change was made by Council to move Chapter 8 up front and the page numbers got thrown off. There are no pages missing to this document.

Commissioner Carpenter motioned that the Planning Commission recommend that the City Council approve an ordinance adopting the 2040 Comprehensive Plan as presented tonight with the following changes.

Commissioner Tomecek seconded the motion.

Mr. Spurgin read the changes:

Page 12-adding reducing vehicular congestion to the sentence describing ways air quality may be enhanced through multiple techniques.

Commissioner Colling motioned to make that change. Commissioner Mayo seconded the motion. The suggestion for the change is passed unanimously (7-0).

Page 64-Policy 10.6 to strike out the words for “unincorporated” areas that would leave the sentence to read Work with Adams County and/or Highland Hills Parks and Recreation District to identify potential parks and recreation sites south of 92nd Avenue.

Commissioner Colling motioned to make the change. Commissioner Tomecek seconded the motion. The suggestion for the change is passed unanimously (7-0).

Page 68-within Goal TM-3 policy 3.3 to remove the last six words of the statement Vision Zero plans, goals, and initiatives and leave the statement to read Coordinate within the city and with other agencies to reduce and eliminate traffic deaths and sever injuries across all modes, as identified in the TMP.

Commissioner Carpenter motioned to accept the change. Commissioner Tomecek seconded the change.

Commissioner Dunn stated he is favor of Vision Zero plans and will be voting against this change.

Commissioner Carpenter stated his suggestion is deferring the policy from the Comprehensive Plan to the Transportation & Mobility Plan.

Vice-Chair McConnell stated he will not be voting for this motion.
The suggestion for the change is passed (5-2).

Page 69-under Goal TM-6, Policy 6.1 to expand on that statement to include reducing congestion to read Coordinate with other agencies, such as CDOT, RTD, DRCOG, and adjacent communities, to implement a seamless and safe multimodal transportation network and reduce congestion, as identified in the TMP.

Commissioner Carpenter motioned to accept the change. Commissioner Colling seconded the motion. Motion passed unanimously (7-0).

Page 80-under Goal ER-1 policy 1.6 -striking out the businesses and words which would leave the goal to read Encourage business programs focused on renewable energy, water conservation, clean technology, waste reduction, and recycling in accordance with Sustainability Plan policies and where consistent with the city’s industry and employment composition.

Commissioner Colling motioned to accept the change. Commissioner Tomecek seconded the motion.

Commissioner Dunn asked what the reason was for the change. Commissioner Carpenter explained that this is referring to goals and policies of employment and it sounds like we are encouraging businesses specifically there and we should be encouraging all types of businesses.

Motion passed unanimously (7-0).

Page 104-deleting first full sentence that is on that page - Expansion of additional retail uses outside of existing retail properties along Wadsworth Boulevard and West 88th Avenue is strongly discouraged in order to focus retail and entertainment opportunities in Brookhill and established centers such as Mission Commons.

Commissioner Colling motioned to accept the change. Commissioner Mayo seconded the motion. Motion passed unanimously (7-0).

Page 110-in regard to the Westmoor and vicinity employment area to make sure that the street names on the graphic are correct (Westmoor instead of Westminster) but the substantive change would be to indicate both a potential connection across the creek and to show connectivity south along Simms to better correspond to the text to the connection to the open space dog park.

Commissioner Carpenter motioned to accept the change. Commissioner Mayo seconded the motion. Motion passed unanimously (7-0).

Page 124-proposed indicators. There were two identified, the first being under Transportation & Mobility-Drive alone modal split. The target identified in the first draft is 'reduce' and it has been suggested to change this to 'maintain'.

Commissioner Tomecek motioned to accept the change. Commissioner Mayo seconded the motion.

Commissioner Colling thinks that reduction is a viable goal and will be voting no on this motion.

Commissioner Dunn asked what staff's view on this is. Mr. Spurgin responded that the desire of the TMP is to continue to provide all types of transportation options but to increase opportunities for public transportation and decrease the drive alone over time.

Motion passed (5-2).

Page 124-proposed indicator of Miles of bike lanes, buffered bike lanes or shared lanes - the target is currently increase and the proposed change is to increase without reducing vehicular level of service.

Commissioner Carpenter motioned to accept the change. Commissioner Mayo seconded the motion.

Commissioner Mayo stated that reductions should not occur until other modes of transportation are available.

Commissioner Colling stated she agreed with Commissioner Mayo's comments.

Vice-Chair McConnell stated he hasn't seen an increase of bike usage as we have added bike lanes and reduced some of the traffic lanes that we have.

Mr. Spurgin offered staff's perspective that these are indicators are things that staff would measure, these are not policy statements. Staff looks at what are metrics that can be tracked and readily reported on. The miles of miles of bike lanes are very easy to track, however correlating where the bikes lanes increase with vehicular levels of service may not be able to be tracked over time.

Commissioner Mayo responded that when the time comes that the bike lanes are too congested, then we can look at increasing bike lanes.

Motion passed (4-3).

Commissioner Carpenter motioned to accept the land use change for the Northgate property from the residential low density as presented in the plan to the residential medium density for 26.9 acres in commercial for 1 acre. Commissioner Colling seconded the motion. Motion passed unanimously (7-0).

Commissioner Carpenter motioned the Planning Commission reclassify the land use for the Hawn property from employment flex to employment office institutional campus with the text amendments to allow housing as seen in Attachment 12. Commissioner Dunn seconded the motion.

Commissioner Mayo stated he would like to see the acreage limitation mentioned earlier to make sure the changes don't affect other development in the city and only applies to this property.

Commissioner Carpenter stated that he would like to accept this as a friendly amendment for a 50-acre limitation for Continuing Care Retirement Communities.

Mr. Spurgin reminded the Commission that the applicant's representative recommended a 50-acre minimum size for these amendments.

Commissioner Colling asked staff if this is the only property that this would apply to.

Mr. Spurgin stated that based on the current Comprehensive Plan, this is the only property that the amendment would apply to.

Commissioner Colling stated that the amendments that are being discussed are very specific and the text amendments are very specific that it is like we are making a decision on a specific property for land use which is not the intention of the comprehensive plan so my recommendation would be a denial.

Commissioner Tomecek agrees with Commissioner Colling in that this is something that should come before the Planning Commission with more information.

Commissioner Carpenter understands the comments that are made but notes that the way that the amendment is written, it appears that it is changing the definition of employment office institutional campus. From that standpoint, maybe instead of changing the land use, we look at changing that definition and have them come back with their specific comp plan.

Mr. Spurgin responded that staff's opinion is that the definitions proposed is what we are used to seeing in the PDP document, not in a comprehensive plan document.

Vice-Chair McConnell stated that if we approve the change as supported in Attachment 12, we are giving approval to a project that we have seen nothing about. We need to go through the process that we are used to seeing and get any questions that we may have through the normal application process.

Commissioner Dunn asked to repeat the motion.

Commissioner Carpenter stated the motion on the floor is to change the land use from employment flex to employment office institutional campus with the text amendments to allow housing as seen in Attachment 12 with a limitation to sites of 50-acres or greater.

Commissioner Dunn seconded the motion.

The motion passed (4-3).

Commissioner Colling asked Mr. Graham about the motion. If there are some items that I don't agree with, I am to vote no, correct? Mr. Graham responded to keep in mind that we are voting to approve the recommended changes to the City Council, and those changes with the comp plan moving forward with a recommendation from this body. If any Commissioner feels that

they don't want to support a recommendation to the City Council with all those changes, then a no vote would be appropriate.

Vice-Chair McConnell did inquire if someone did vote no for any reason, the Commission could ask them on the record for a reason for their no vote and Mr. Graham responded yes.

Commissioner Dunn seconded the motion recommending to City Council to approve the Comprehensive Plan to City Council with the approved changes.

Mr. Spurgin stated that when the prior version went to City Council for adoption, they were disappointed that the Planning Commission vote was 5-2. Staff believes that the City Council is giving a lot of weight to this body for their vote. There were no actual amendments identified by the Planning Commission that went to Council with the prior version.

The motion passed (6-1).

Commissioner Colling stated she did not vote in favor of the plan at this time due to the Hawn property.

4. ADJOURNMENT

The meeting was adjourned at 9:46 p.m.

THE WESTMINSTER PLANNING COMMISSION

Joe McConnell, Vice-Chairperson

A full recording of the meeting has been posted on The City of Westminster website. www.cityofwestminster.us/pc



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting
February 28, 2023



Strategic Priority 4: Quality of Life – Ensure that Westminster offers a diverse range of amenities and activities for residents, businesses, and visitors that honor the City's history and supports the arts, parks, recreation, open spaces, and libraries.

SUBJECT: Public Hearing and Action on Annexation of Property, Comprehensive Plan Amendment, and Designation of Zoning for Property Located at 9889 Alkire Street

PREPARED BY: Patrick Caldwell, Senior Planner

RECOMMENDED CITY COUNCIL ACTION:

1. Recommend that City Council approve the Annexation of Property Located at 9889 Alkire Street based on a finding that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.
2. Recommend that City Council approve the Comprehensive Plan Designation as City Open Space for Property Located at 9889 Alkire Street based on a finding that the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.
3. Recommend that City Council approve the Designation of Zoning as O-1 for Property Located at 9889 Alkire Street based on a finding that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

SUMMARY STATEMENT:

- This 17.92-acre City owned property is commonly referenced as the Brauch Property.
- The property was purchased by the City in 2022 to be used as open space that is part of the larger City owned open spaces in the Standley Lake and Westminster Hills Open Spaces that are adjacent to the Brauch Property.
- All structures on the site have been removed and the site is presently vacant.
- Property to the north, west, and east are City owned Open Space property that are part of the Standley Lake and Westminster Hills Open Spaces. Property to the south is privately owned.
- The property is accessed by a drive aisle from Alkire Street that is part of the annexation. The north side of the drive is City owned open space that is part of the Standley Lake and Westminster Hills Open Spaces. The south side of the drive aisle is privately owned.

- A part of the Church Ditch is part of the annexation. The part of the Ditch in this annexation parallels the south side of the drive aisle, then extends south between privately owned land.

FISCAL IMPACT: \$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

1. Should Planning Commission recommend that City Council approve the annexation for the subject property known as the BrauchProperty?
2. Should Planning Commission recommend that City Council approve the Comprehensive Plan Designation of City Open Space for the subject property known as the Brauch Property?
3. Should Planning Commission recommend that City Council approve the Zoning Designation of O-1 for the subject property known as the Brauch Property?

ALTERNATIVE(S):

1. Planning Commission could recommend that City Council deny the Annexation of the Brauch Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space that is part of the larger Standley Lake and Westminster Hills Open Spaces. Staff finds that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.
2. Planning Commission could recommend that City Council deny the Comprehensive Plan Designation as Open Space for the Brauch Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space that is part of the larger Standley Lake and Westminster Hills Open Spaces. Staff finds the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.
3. Planning Commission could recommend that City Council deny the Zoning Designation of O-1 for the Brauch Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space that is part of the larger Standley Lake and Westminster Hills Open Spaces. Staff finds that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

BACKGROUND INFORMATION:

Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a Preliminary Development Plan (PDP) and an Official Development Plan (ODP) pursuant to the land use allowances established by the Comprehensive Plan. At this time no development is proposed for this parcel and a PDP and ODP are not proposed for this City owned property. Any future development will comply with both the Comprehensive Plan designation of City Open Space, and the zoning designation of O-1.

History of Subject Property

The 17.92-acre parcel was purchased by the City in 2022, and is adjacent to City Open Space on the west, the north, and the east. The drive aisle from Alkire Street provides improved vehicular access to the larger City

owned Standley Lake and Westminster Hills Open Spaces that are adjacent to this site. The property has been used as passive Open Space since the City purchase.

Nature of Request

The City owns this 17.92-acre parcel of land, and is Annexing the land into the City, designating the Comprehensive Plan as City Open Space, and designating the zoning for the site as O-1. This expands the Standley Lake Open Space in the City.

Applicant

City of Westminster
 Contact: Tomas Herrera-Mishler, Director of Parks Recreation and Libraries
 Street Address: 4800 West 92nd Avenue,
 Westminster, Colorado 80031

Property Owner

City of Westminster
 Contact: Tomas Herrera-Mishler, Director of Parks Recreation and Libraries
 Street Address: 4800 West 92nd Avenue,
 Westminster, Colorado 80031

Location

This 17.92-acre parcel is on the west side of Alkire Street in the vicinity of West 100th Avenue. An access driveway approximately 94 feet in width at Alkire Street provides the only frontage on Alkire Street. City owned open space is adjacent to the west, north, and to the east. At the driveway entrance at Alkire Street, the Church Ditch crosses Alkire Street in an east to west direction. The Church Ditch parallels the south side of the access driveway and is part of this annexation. The access driveway opens to the larger acreage at a point several hundred feet west of Alkire Street. Land to the north of the access driveway is City owned Open Space, and was annexed into the City a number of years ago and forms the angled edge along the northwest edge of the lengthy driveway.

Surrounding Land Uses and Comprehensive Land Use Plan Designation

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	City owned land that is part of the Standley Lake and Westminster Hills Open Space	O-1	City Open Space	City owned land that is part of the Standley Lake and Westminster Hills Open Space
East	East of Alkire Street is City owned land that is part of the Standley Lake and Westminster Hills Open Space	PUD as Standley Lake Regional Park	Public Parks	City owned land that is part of the Standley Lake and Westminster Hills Open Space
South	Privately owned land that is in unincorporated Jefferson County	NA	NA	Privately owned land that is in unincorporated Jefferson County
West	City owned land that is part of the Standley Lake and	O-1	NA	City owned land that is part of the

	Westminster Hills Open Space			Standley Lake and Westminster Hills Open Space
--	------------------------------	--	--	--

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before Planning Commission shall be published at least ten days prior to such hearing and at least ten days prior to City Council public hearings. Notice was published in the Westminster Window by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City’s Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.
- **Written Notice:** At least ten days prior to the date of the public hearing, the applicant shall send notice by first-class mail to occupants, property owners, and homeowner’s associations registered with the City within 1,000 feet of the subject property and in accordance with the requirements of this section. The applicant has provided the City’s Planning Manager with a certification that the required notices were mailed by the required deadline.

Westminster Municipal Code Analysis

11-5-1. - Annexations.

The annexation of property to the City shall occur pursuant to and be governed by the provisions of Sections 31-12-101, et seq., C.R.S., also known as the Municipal Annexation Act of 1965, as the same may from time to time be amended.

The annexation of City owned property is in compliance with all requirements outlined in C.R.S. 31-12-01.

C.R.S. 31-12-15 requires that annexed land be zoned within 90 days of the annexation. The zoning designation for this property will be reviewed concurrently with the annexation and this will meet the 90-day requirement.

11-5-21. - Standards for Approval of Land Use Plan Amendments.

(B) In reviewing an application for an amendment to the Land Use Plan, the following criteria shall be considered:

- 1. The proposed amendment is consistent with the vision, intent and applicable policies of the Comprehensive Plan and other adopted plans, policies and guidelines.*

The proposed Comprehensive Plan designation of City Open Space is consistent with the vision, intent and applicable policies of the Comprehensive Plan and other adopted plans, policies and guidelines. The existing Comprehensive Plan indicates the Brauch property and adjacent areas are to be part of the Standley Lake and Westminster Hills Open Spaces.

- 2. The proposed amendment serves a substantial public purpose and will not be substantially detrimental to the surrounding lands.*

The existing Comprehensive Plan indicates the Brauch property and adjacent areas are to be part of the Standley Lake and Westminster Hills Open Spaces. Open Space serves a substantial public purpose and adding the Brauch Property to the City will not be detrimental to the surrounding Open Space land.

- 3. The proposed amendment shall consider the nature and degree of impacts on neighboring lands. Individual parcels or groups of parcels shall not be subject to a change in land use in such way that the new designation is substantially inconsistent with the uses of the surrounding area.*

The proposed Comprehensive Plan designation of City Open Space is consistent with the existing Plan designation of City Open Space and Public Parks for land adjacent to the Brauch property.

- 4. The proposed amendment is necessary in order to address substantially changed conditions in the immediate area of the subject tract since adoption of the Land Use Plan or an error contained in that document.*

The proposed amendment to the Comprehensive Plan is necessary because the annexation of the Brauch Property changes the status from Unincorporated Jefferson County to a status as part of the incorporated City of Westminster.

- 5. The proposed amendment provides for the orderly physical growth of the City.*

This proposed amendment to the Comprehensive Plan assists with the orderly physical growth of the City by adding to the existing Open Space lands that are adjacent to the west, north, and east in the Standley Lake and Westminster Hills Open Spaces.

- 6. The proposed amendment furthers an important public policy, including but not limited to a need for affordable housing, protection of historic resources, preservation of open space, or reduction in water demand by virtue of a different land use category.*

The proposed amendment to the Comprehensive Plan to designate the Brauch Property as City Open Space furthers an important public policy that supports preservation of open space.

- 7. The proposed amendment is appropriate in order to address a uniqueness in the size, shape and character of the parcel in relation to neighboring lands. Proof that a small parcel is unsuitable for use as presently designated or that there have been substantial changes in the immediate area may justify an amendment subject to evidence furnished by the applicant.*

The proposed amendment to the Comprehensive Plan is appropriate in order to address the annexation of the Brauch Property into the City.

- 8. The proposed amendment will not negatively impact the transportation system, drainage, water and sewer infrastructure, water supply, fire and police services, the parks and open space system, or the City's general fund revenue.*

The proposed amendment to the Comprehensive Plan to designate the Brauch Property as City Open Space will not negatively impact the transportation system, drainage system, water and sewer infrastructure, water supply, fire and police services, the parks and open space system, or the City's general fund revenues.

- 9. The proposed amendment will not negatively impact referral agencies such as the Colorado Department of Transportation, local school districts, the Rocky Mountain Metropolitan Airport, or other agencies pertinent to the location and nature of the requested amendment.*

The proposed amendment to the Comprehensive Plan to designate the Brauch Property as Open Space will not negatively impact referral agencies such as the Colorado Department of Transportation, local school districts, the Rocky Mountain Metropolitan Airport, or other agencies pertinent to the location and nature of the requested amendment.

- 10. The proposed amendment establishes minimal environmental impacts or has sufficiently mitigated any identified impacts.*

The proposed amendment to the Comprehensive Plan to designate the Brauch Property as City Open Space has minimal environmental impacts because the land has been restored to its natural state.

Staff's analysis of the ten criteria listed in W.M.C. 11-5-21, above, generally supports the proposed amendment to the land use plan in the City's Comprehensive Plan to designate the Brauch Property as City Open Space.

11-5-3. - Standards for Approval of Zonings and Rezoning.

(A) The following criteria shall be considered in the approval of any application for zoning or rezoning to a zoning district other than Planned Unit Development (PUD):

- 1. The proposed zoning or rezoning is in conformance with the City's Comprehensive Plan and all City policies, standards and sound planning principles and practice.*

The designation of this site as an O-1 zone is consistent with the City's Comprehensive Plan and all City policies, standards and sound planning principles and practice because the site is presently used as Open Space, and is adjacent on all sides to existing City owned Open Space. The existing adjacent City owned Open Space is part of the Standley Lake and Westminster Hills Open Spaces, and this will become part of that larger open space area.

- 2. There is either existing capacity in the City's street, drainage or utility systems to accommodate the proposed zoning or rezoning, or arrangements have been made to provide such capacity in a manner and timeframe acceptable to City Council.*

There is existing capacity in the City's street, drainage and utility systems to accommodate this site as an O-1 Zone because as an O-1 Zone there is very limited impact to the City's existing infrastructure. No development is proposed, so new streets are not needed, existing drainage will not change, and no utilities are needed for the site. The site will be incorporated into the adjacent Standley Lake and Westminster Hills Open Spaces.

(B) The City may initiate a rezoning of any property in the City without the consent of the property owner, including property annexed or being annexed to the City, provided a City-initiated zoning or rezoning shall not take effect unless City Council finds, as part of the final rezoning ordinance, at least one of the following:

- 1. The current zoning is inconsistent with one or more of the goals or objectives of the City's Comprehensive Land Use Plan.*

Staff finds that the current zoning for residential use in unincorporated Jefferson County is not consistent with the goal of the City's Comprehensive Plan to expand the open space areas in the Westminster Hills Open Space. Annexing the Brauch Property, and designating the zoning as O-1 is consistent with the goals of the Comprehensive Plan.

- 2. The current zoning is incompatible with one or more of the surrounding land uses, either existing or approved.*

NA

- 3. The surrounding development is or may be adversely impacted by the current zoning.*

NA

- 4. The City's water, sewer or other services are or would be significantly and negatively impacted by the current zoning and the property is not currently being served by the City.*

NA

(C) Any City-initiated rezoning shall satisfy the standards set forth in subsection (A) above.

As noted in A above, the designation of the site as an O-1 Zone satisfies the standards set forth in that subsection.

(D) Any application for zoning or rezoning to PUD shall satisfy the requirements of Section 11-5-14, W.M.C.

NA

(E) Any zoning or rezoning to Specific Plan District shall satisfy the standards set forth in Section 11-5-20, W.M.C.

NA

Neighborhood Meetings and Public Comments

A neighborhood meeting was not held for the purchase of this property in 2022, this annexation, the Comprehensive Plan designation to Open Space, or for Zoning Designation to O-1 in 2023. Annexation of City owned land does not require neighborhood meetings, or neighborhood contact. Most adjacent property is either owned by the City of Westminster and is used as Open Space, or the property is in unincorporated Jefferson County. This annexation is focused on supporting the larger City owned Open Spaces in the Standley Lake and Westminster Hills Open Spaces.

Summary of Staff Recommendation

The annexing ordinance states that the area proposed to be annexed is owned by the City of Westminster, and is not solely a public street or right-of-way. The Staff recommendation is for Annexation of the Brauch Property, Comprehensive Plan land use designation as City Open Space, and Zoning designation as O-1 because it is open space that is part of the larger City owned Open Spaces in the Standley Lake and Westminster Hills Open Spaces.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of Quality of Life is met by expanding the size of the Standley Lake Open Space with the addition of this property. All residents of the City can enjoy this open space amenity.

Respectfully Submitted,



John McConnell, AICP

Interim Planning Manager

ATTACHMENTS:

Attachment 1: Annexation Map of the Brauch Property

Attachment 2: Comprehensive Plan Amendment

Attachment 3: Zoning Map Amendment

Attachment 4: Legal Description

**ANNEXATION
TO THE CITY OF WESTMINSTER
A PORTION OF THE SE 1/4 OF SECTION 18, T. 2 S., R. 69 W., 6TH P.M.
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 1 OF 1**

LAND DESCRIPTION

(AS INCIDENTALLY RETRACED AND DOCUMENTED AT REC NO. 2021179760 OF A SURVEY RECORDED AT REC. NO. 2013075066),
QUIT CLAIM DEED REC. NO. 2016075055
THE NORTHEAST ONE QUARTER OF THE SOUTHEAST ONE QUARTER OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 69 WEST OF THE 6TH P.M., JEFFERSON COUNTY, COLORADO,
EXCEPT THE PORTIONS DESCRIBED IN THE FOLLOWING DOCUMENTS RECORDED IN THE OFFICE OF THE JEFFERSON COUNTY CLERK AND RECORDER:
RECEPTION NO. F0185284, RECEPTION NO. F0181670, RECEPTION NO. F0354655,
RECEPTION NO. F2001564, RECEPTION NO. 78014673, RECEPTION NO. F1506960
CONTAINING AN AREA OF 17.916 ACRES, MORE OR LESS,
COUNTY OF JEFFERSON, STATE OF COLORADO.

THE ABOVE LAND DESCRIPTION, MONUMENTED AS SHOWN HEREON, IS CHARACTERIZED BY THE FOLLOWING METES AND BOUNDS DESCRIPTION AS DIRECTED BY CITY OF WESTMINSTER PARKS, RECREATION AND LIBRARIES:
COMMENCING AND BEGINNING AT THE INTERSECTION OF ALKIRE ST WEST RIGHT OF WAY AND THE EXISTING FIELD CENTERLINE OF CHURCH DITCH AS FIELD COLLECTED ON THE DATES SHOWN HEREON, FROM WHICH SAID INTERSECTION POINT, THE SOUTH 1/16 CORNER OF SECTION 18 BEARS S00°00'50"W, A DISTANCE OF 720.05 FEET;
THENCE RUNNING SOUTHWESTERLY ALONG SAID CHURCH DITCH CENTERLINE THE FOLLOWING COURSES, DISTANCES AND CURVES:
S83°20'32"W, A DISTANCE OF 49.50 FEET;
ALONG A CURVE TO THE LEFT HAVING A DELTA OF 38°41'00", A RADIUS OF 204.12 FEET AND ARC LENGTH OF 137.81 FEET;
S44°39'32"W, A DISTANCE OF 35.70 FEET;
ALONG A CURVE TO THE LEFT HAVING A DELTA OF 251°13'45", A RADIUS OF 162.13 FEET AND ARC LENGTH OF 71.39 FEET;
S19°25'47"W, A DISTANCE OF 408.80 FEET;
THENCE DEPARTING SAID CHURCH DITCH CENTERLINE THEN ABUTTING LANDS OF ANTHONY DOWGIERT THE FOLLOWING COURSES AND DISTANCES:
N87°47'47"E, A DISTANCE OF 37.65 FEET; S24°50'02"W, A DISTANCE OF 148.35 FEET TO THE SOUTH LINE OF THE NE 1/4 OF THE SE 1/4 OF SAID SECTION 18;
THENCE DEPARTING SAID LANDS OF ANTHONY DOWGIERT THEN ABUTTING LANDS OF BTZ LAND LLC, RUNNING S87°30'12"W, A DISTANCE OF 60.26 FEET TO THE WEST BANK OF CHURCH DITCH AND LANDS OF STEVE BETTIS;
THENCE DEPARTING SAID SOUTH LINE AND LANDS OF BTZ THEN ALONG SAID WEST BANK OF CHURCH DITCH AND LANDS OF STEVE BETTIS THE FOLLOWING COURSES AND DISTANCES:
N34°17'25"E, A DISTANCE OF 61.16 FEET; N25°57'25"E, A DISTANCE OF 62.83 FEET;
N20°05'24"E, A DISTANCE OF 449.26 FEET; N83°20'00"W, A DISTANCE OF 12.53 FEET;
THENCE DEPARTING SAID WEST BANK OF CHURCH DITCH BUT CONTINUING ABUTTING LANDS OF STEVE BETTIS THE FOLLOWING COURSES AND DISTANCES:
N83°20'00"W, A DISTANCE OF 12.53 FEET; S42°51'37"W, A DISTANCE OF 115.73 FEET;
S75°41'55"W, A DISTANCE OF 237.93 FEET; S00°00'41"W, A DISTANCE OF 391.39 FEET TO THE SOUTH LINE OF THE NE 1/4 OF THE SE 1/4 OF SAID SECTION 18 AND ABUTTING LANDS OF BTZ LAND LLC AND DEPARTING SAID LANDS OF STEVE BETTIS
S87°30'12"W, A DISTANCE OF 315.50 FEET;
THENCE DEPARTING SAID SOUTH LINE BUT CONTINUING ABUTTING LANDS OF SAID BTZ THE FOLLOWING COURSES AND DISTANCES:
N42°17'23"W, A DISTANCE OF 61.06 FEET;
N82°30'10"W, A DISTANCE OF 326.10 FEET TO LANDS OF THE CITY OF WESTMINSTER FROM WHICH THE SE 1/4 CORNER OF SAID SECTION 18 BEARS S00°07'40"E, A DISTANCE OF 103.59 FEET;
THENCE DEPARTING SAID LANDS OF BTZ THEN ABUTTING LANDS OF THE CITY OF WESTMINSTER THE FOLLOWING COURSES AND DISTANCES:
N00°07'40"E, A DISTANCE OF 1019.39 FEET;
N87°37'28"E, A DISTANCE OF 652.51 FEET; S00°01'52"W, A DISTANCE OF 697.69 FEET;
N75°36'29"E, A DISTANCE OF 248.11 FEET; N40°54'26"E, A DISTANCE OF 351.09 FEET;
N00°01'45"E, A DISTANCE OF 11.46 FEET TO LANDS OF NORMAN FUNK;
THENCE DEPARTING SAID LANDS OF THE CITY OF WESTMINSTER THEN ABUTTING LANDS OF NORMAN FUNK RUNNING N67°12'51"E, A DISTANCE OF 206.19 FEET TO THE ALKIRE ST WEST RIGHT OF WAY; THENCE DEPARTING SAID LANDS OF NORMAN FUNK THEN ALONG SAID ALKIRE ST WEST RIGHT OF WAY S00°00'50"W, A DISTANCE OF 93.57 FEET TO THE POINT OF BEGINNING,
CONTAINING 767,800 SQ FT OR 17.627± ACRES(M)
NOTE: Length: 6.363' Closure distance: 0.02' Closure angle: N83°04'34"E
Precision: 1:318,150

CONTIGUITY SUMMARY

ANNEXATION BOUNDARY PERIMETER= 6,363 FT
ANNEXATION BOUNDARY ABUTTING CITY OF WESTMINSTER LAND= 2,980 FT
PERCENT CITY ANNEXATION BOUNDARY CONTIGUOUS= 46.8%
1/6 (ONE SIXTH OR 16.7%) OF ABUTTING ANNEXATION BOUNDARY NEEDED= 1,060 FT

NOTES

PREPARED FOR COLORADO LLC SERVICES, INC. THIS MAP IS FOR ANNEXATION PURPOSES ONLY.
SITE ADDRESS: 9889 ALKIRE ST, ARVADA, CO 80005
Note: A Title Commitment is a Critical Aspect of Land transfers and Highly Recommended.
Geometry of Exception Descriptions refer to Basis of Bearings and to eliminate gaps or overlaps.
Field location of CL Church Ditch defines Boundary Location where applicable.
SENIOR RIGHTS AND INTENTIONS OF PARTIES TO DEEDS IN SEQUENTIAL CONVEYANCES DETERMINE TITLE AND BOUNDARY LOCATION IF OVERLAPS, AMBIGUITIES AND CONFLICTING EVIDENCE EXISTS.
RECORD TITLE INFORMATION:
THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY COLORADO LLC SERVICES. THE INFORMATION OF RECORD SHOWN HEREON WAS OBTAINED FROM SEARCHES OF PUBLIC RECORDS, COUNTY OF JEFFERSON, WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
SURVEY FIELD DATE: OCTOBER 23, 25, 26, 29, 31, 2021
BASIS OF BEARINGS:
BEARINGS CONTAINED HEREIN ARE BASED UPON THE RECORD BEARING OF N87°36'54"E REC NO. F0185284 NORTH LINE SE 1/4 SECTION 18, ASSIGNED TO THE FOUND AND DESCRIBED MONUMENTS AS SHOWN HEREON.
20° CLOCKW Rotation GPS to Deed F0185284
BASIS OF ELEVATION:
4" METAL CAP IN NGS BOX STAMPED "CITY OF WESTMINSTER CONTROL POINT" ASSIGNED ELEV 5584.90
HORIZONTAL UNITS:
DISTANCES CONTAINED HEREIN ARE BASED UPON THE U.S. BUREAU OF STANDARDS DEFINITION OF ONE SURVEY FOOT = 1200/3937 METERS.
UNDERGROUND UTILITIES:
COLORADO LLC SERVICES MAKES NO REPRESENTATION REGARDING THE UNDERGROUND UTILITIES (IF ANY) SHOWN HEREON. ANY UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON ACTUAL FIELD LOCATES. STANDARD UTILITY NOTIFICATION PROTOCOL SHOULD BE USED PRIOR TO EXCAVATION.
ACCORDING TO COLORADO REVISED STATUTES, SECTION 18-4-508, A CLASS 2 MISDEMEANOR IS COMMITTED BY ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT, BOUNDARY MONUMENT, OR ACCESSORY THEREOF.
NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.



1"=2000'
VICINITY MAP

CITY APPROVAL

ACCEPTED AND APPROVED BY THE CITY OF WESTMINSTER THIS ____ DAY OF ____ 202__ A.D.

MAYOR

ATTEST: CITY CLERK

NOTARY PUBLIC

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF ____ 202__ A.D.

BY _____ OF _____ STATE OF COLORADO)
WITNESS MY HAND AND OFFICIAL SEAL _____ COUNTY OF JEFFERSON)SS

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

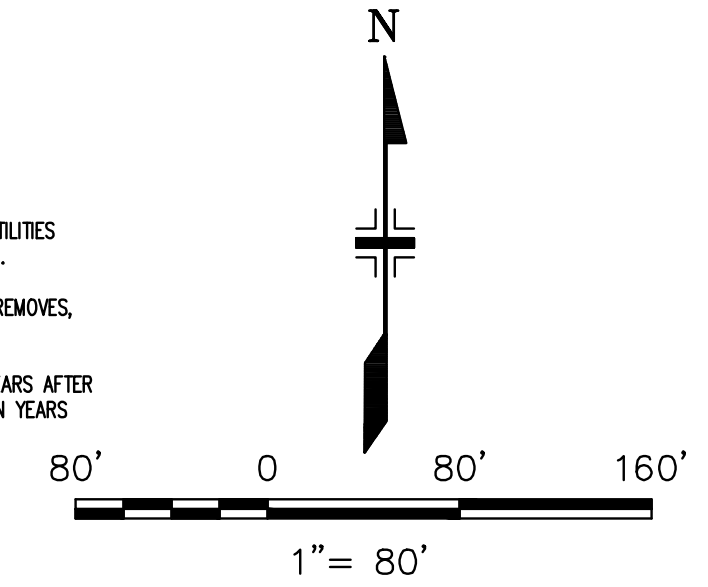
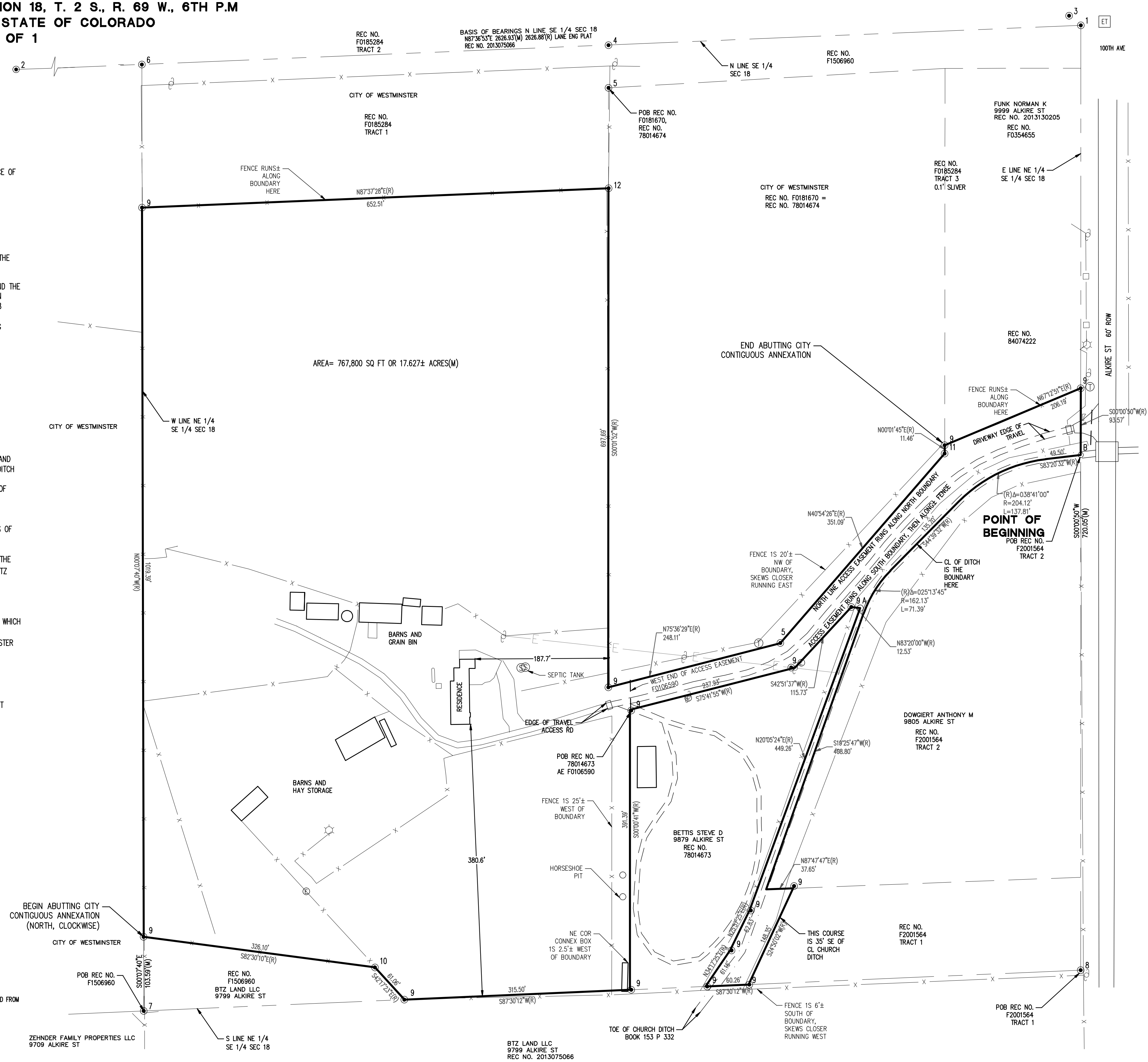
I, LAWRENCE J. BUCAR, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO HEREBY STATE THAT THIS ANNEXATION MAP TO THE CITY OF WESTMINSTER WAS MADE UNDER MY DIRECT SUPERVISION FOR AND BEHALF OF COLORADO LLC SERVICES, THAT AT LEAST 1/6 (16.7%) OF THE PARCEL SURVEYED HEREON IS CONTIGUOUS TO SAID CITY'S BOUNDARY, AND THE ATTACHED DRAWINGS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



LAWRENCE J. BUCAR
P.L.S. NO. 35595

MONUMENTATION

- FOUND:
- 1 E 1/4 SEC 18, 2" METAL CAP STAMPED "1/4 S18 S17 LS 2390 1995"
 - 2 CENTER SEC 18, 3.25" METAL CAP STAMPED "C 1/4 S18 LS 24949 1995"
 - 3 4" METAL CAP IN NGS BOX STAMPED "CITY OF WESTMINSTER CONTROL POINT"
 - 4 MUSHROOMED #5 REBAR AND RECESSED ALLEGIBLE YELLOW CAP
 - 5 REBAR AND 1" YELLOW PLASTIC CAP STAMPED "BOLIS LS 1210"
 - 6 CE 1/16 SEC 18, 3.25" METAL CAP STAMPED "E 1/16 S18 LS 24949 1995"
 - 7 SE 1/16 SEC 18, 3.25" METAL CAP STAMPED "E 1/16 S18 LS 24949 1995"
 - 8 S 1/16 SEC 18, SEC 17, 3.25" METAL CAP STAMPED "S 1/16 LS 16837 LANE ENGR 2012"
 - 9 REBAR AND 1.5" METAL CAP STAMPED "LS 16837 LANE ENGR SRV INC"
 - 10 NAIL AND 0.75" METAL DISC IN FENCE CORNER
 - 11 REBAR AND 1.25" YELLOW PLASTIC CAP STAMPED "BENCHMARK LS 24949"
 - 12 1.5" PIPE
- SET:
- 1 LATH IN CL CHURCH DITCH
 - 2 DOUBLE HEAD FORM NAIL AND 1" METAL DISC STAMPED "PLS 35595" IN WOOD FENCE POST



LEGEND

- ANNEXATION BOUNDARY
- - - DEED LINE
- (R) REVISED VALUE
- (M) MEASURED VALUE
- (C) CALCULATED VALUE
- CL CENTER LINE

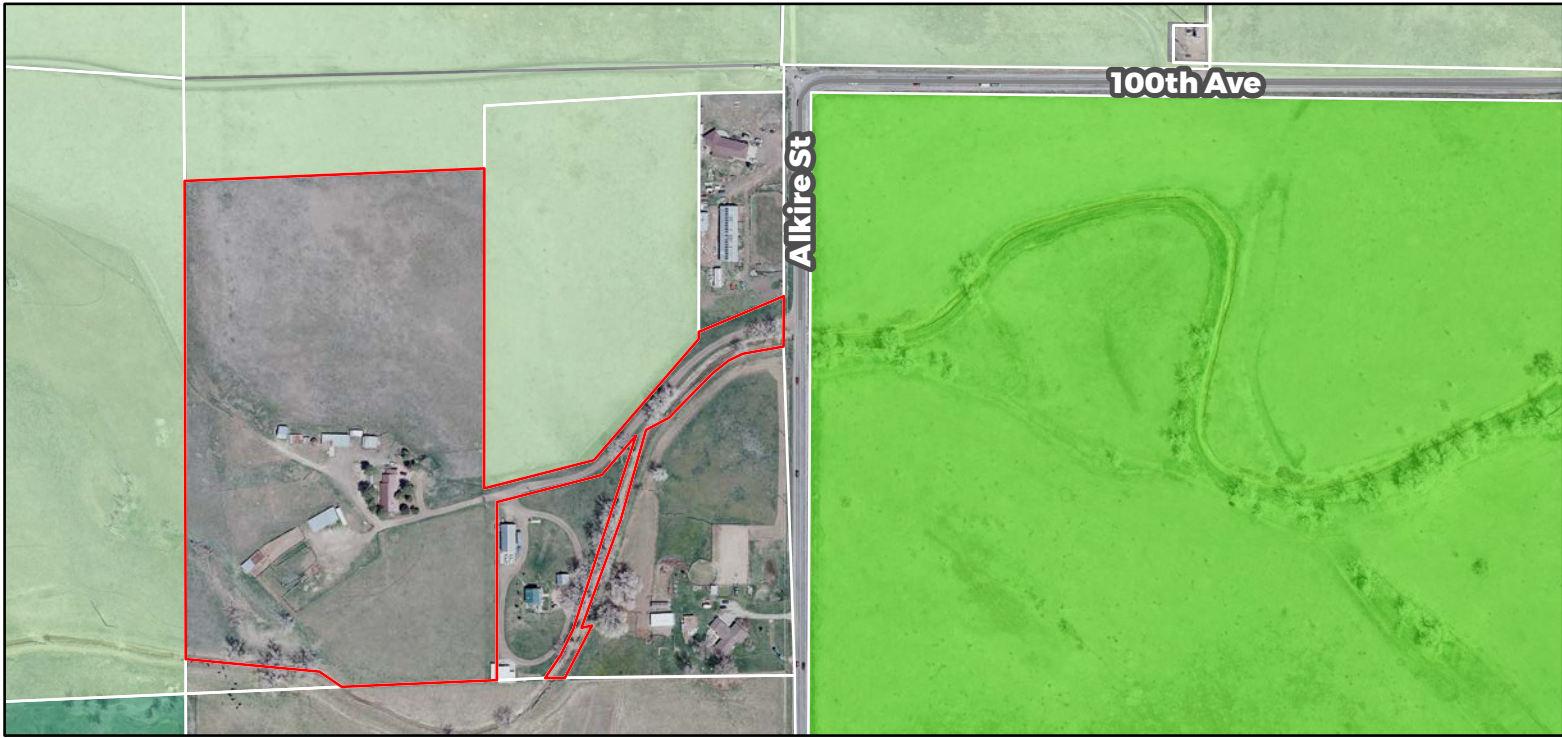
1	Thurs Jan 5 10:05 AM email	Jan 12	LJB
Rev No.	Comments	2023	By

Colorado LLC
LAND SURVEYING
3000 Lawrence St Suite 111 Denver CO 80205 P# 303 668 7540
adam@coloradolc.com www.coloradolc.com

Title: A PORTION OF THE SE 1/4 OF SECTION 18, T. 2 S., R. 69 W., 6TH P.M.
Site Address: 9889 Alkire St, Arvada, CO 80005
Drawn By: LJB
Checked By: AME \C\3D Projects\9879 Alkire St.dwg\ANNEXATION PLAT\9889 Alkire St-CofW.dwg





Sheet 1 of 1
Date: Oct 7, 2022

ATTACHMENT B




Before Annexation

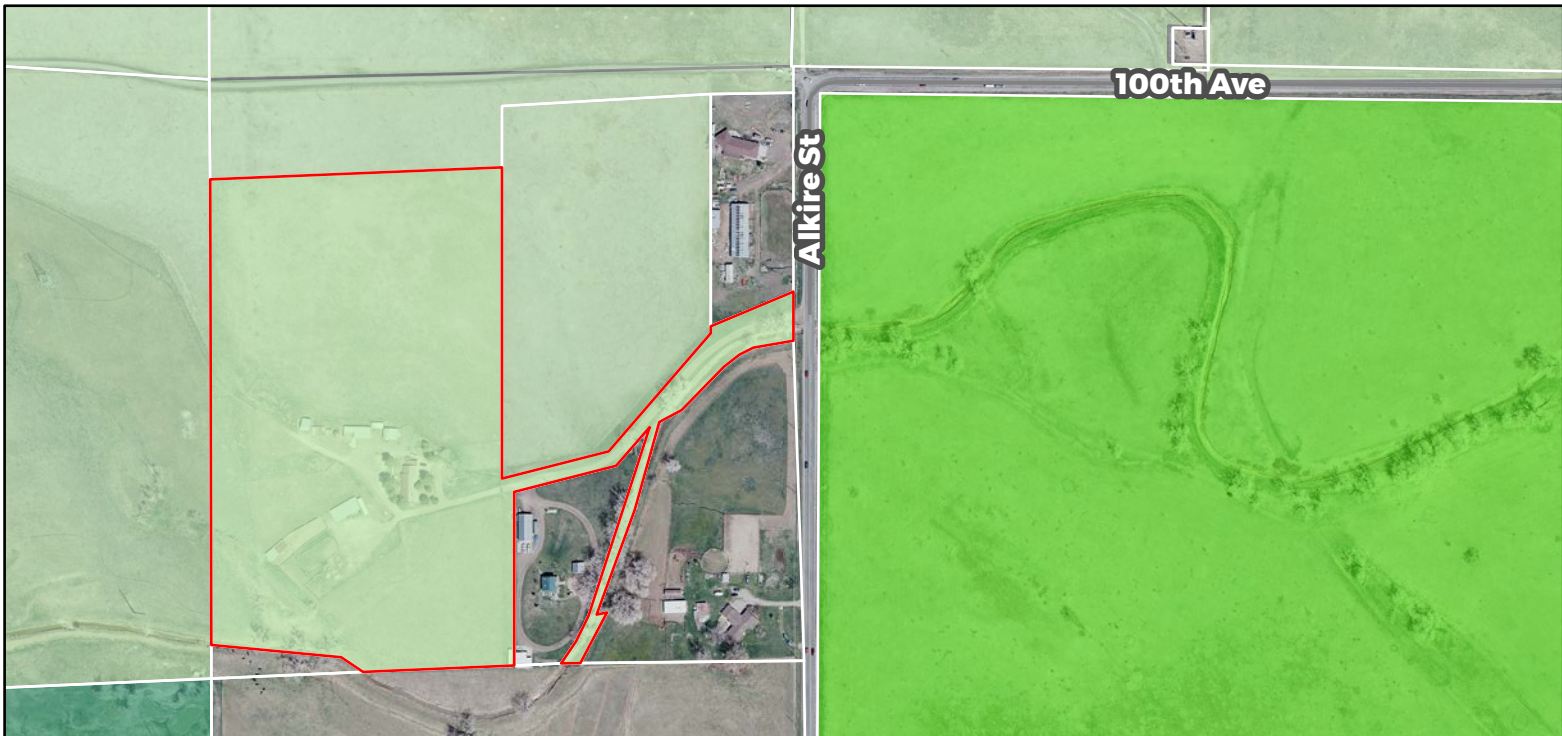
Comp Plan Designation

City Open Space	
Public Parks	
Golf Courses	
Parcel to be annexed	

0 150 300 Feet






After Annexation



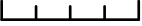
ATTACHMENT C



Before Annexation

Zone Code	
O-1	
PUD	
Parcel to be annexed	

0 150 300 Feet



After Annexation



Attachment 4

LAND DESCRIPTION

2

(AS INCIDENTALLY RETRACED AND DOCUMENTED AT REC NO. 2021179760 OF A SURVEY RECORDED AT REC NO. 2013075066),

QUIT CLAIM DEED REC NO. 2016075055

THE NORTHEAST ONE QUARTER OF THE SOUTHEAST ONE QUARTER OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 69 WEST OF THE 6TH P.M., JEFFERSON COUNTY, COLORADO,

EXCEPT THE PORTIONS DESCRIBED IN THE FOLLOWING DOCUMENTS RECORDED IN THE OFFICE OF THE JEFFERSON COUNTY CLERK AND RECORDER:

RECEPTION NO. F0185284, RECEPTION NO. F0181670, RECEPTION NO. F0354655, RECEPTION NO. F2001564, RECEPTION NO. 78014673, RECEPTION NO. F1506960

CONTAINING AN AREA OF 17.916 ACRES, MORE OR LESS, COUNTY OF JEFFERSON, STATE OF COLORADO.

THE ABOVE LAND DESCRIPTION, MONUMENTED AS SHOWN HEREON, IS CHARACTERIZED BY THE FOLLOWING METES AND BOUNDS DESCRIPTION AS DIRECTED BY CITY OF WESTMINSTER PARKS, RECREATION AND LIBRARIES:
COMMENCING AND BEGINNING AT THE INTERSECTION OF ALKIRE ST WEST RIGHT OF WAY AND THE EXISTING FIELD CENTERLINE OF CHURCH DITCH AS FIELD COLLECTED ON THE DATES SHOWN HEREON, FROM WHICH SAID INTERSECTION POINT, THE SOUTH 1/16 CORNER OF SECTION 18 BEARS S00°00'50"W, A DISTANCE OF 720.05 FEET;
THENCE RUNNING SOUTHWESTERLY ALONG SAID CHURCH DITCH CENTERLINE THE FOLLOWING COURSES, DISTANCES AND CURVES:
S83°20'32"W, A DISTANCE OF 49.50 FEET;
ALONG A CURVE TO THE LEFT HAVING A DELTA OF 38°41'00", A RADIUS OF 204.12 FEET AND ARC LENGTH OF 137.81 FEET;
S44°39'32"W, A DISTANCE OF 135.70 FEET;
ALONG A CURVE TO THE LEFT HAVING A DELTA OF 25°13'45", A RADIUS OF 162.13 FEET AND ARC LENGTH OF 71.39 FEET;
S19°25'47"W, A DISTANCE OF 408.80 FEET;
THENCE DEPARTING SAID CHURCH DITCH CENTERLINE THEN ABUTTING LANDS OF ANTHONY DOWGIERT THE FOLLOWING COURSES AND DISTANCES:
N87°47'47"E, A DISTANCE OF 37.65 FEET; S24°50'02"W, A DISTANCE OF 148.35 FEET
TO THE SOUTH LINE OF THE NE ¼ OF THE SE ¼ OF SAID SECTION 18;
THENCE DEPARTING SAID LANDS OF ANTHONY DOWGIERT THEN ABUTTING LANDS OF BTZ LAND LLC, RUNNING S87°30'12"W, A DISTANCE OF 60.26 FEET TO THE WEST BANK OF CHURCH DITCH AND LANDS OF STEVE BETTIS;
THENCE DEPARTING SAID SOUTH LINE AND LANDS OF BTZ THEN ALONG SAID WEST BANK OF CHURCH DITCH AND LANDS OF STEVE BETTIS THE FOLLOWING COURSES AND DISTANCES:
N34°17'25"E, A DISTANCE OF 61.16 FEET; N25°57'25"E, A DISTANCE OF 62.83 FEET;
N20°05'24"E, A DISTANCE OF 449.26 FEET; N83°20'00"W, A DISTANCE OF 12.53 FEET;
THENCE DEPARTING SAID WEST BANK OF CHURCH DITCH BUT CONTINUING ABUTTING LANDS OF STEVE BETTIS THE FOLLOWING COURSES AND DISTANCES:
N83°20'00"W, A DISTANCE OF 12.53 FEET; S42°51'37"W, A DISTANCE OF 115.73 FEET;
S75°41'55"W, A DISTANCE OF 237.93 FEET; S00°00'41"W, A DISTANCE OF 391.39 FEET TO THE SOUTH LINE OF THE NE ¼ OF THE SE ¼ OF SAID SECTION 18 AND ABUTTING LANDS OF BTZ LAND LLC AND DEPARTING SAID LANDS OF STEVE BETTIS
S87°30'12"W, A DISTANCE OF 315.50 FEET;
THENCE DEPARTING SAID SOUTH LINE BUT CONTINUING ABUTTING LANDS OF SAID BTZ THE FOLLOWING COURSES AND DISTANCES: N42°17'23"W, A DISTANCE OF 61.06 FEET;
N82°30'10"W, A DISTANCE OF 326.10 FEET TO LANDS OF THE CITY OF WESTMINSTER FROM WHICH THE SE ¼ CORNER OF SAID SECTION 18 BEARS S00°07'40"E, A DISTANCE OF 103.59 FEET;
THENCE DEPARTING SAID LANDS OF BTZ THEN ABUTTING LANDS OF THE CITY OF WESTMINSTER THE FOLLOWING COURSES AND DISTANCES: N00°07'40"W, A DISTANCE OF 1019.39 FEET;
N87°37'28"E, A DISTANCE OF 652.51 FEET; S00°01'52"W, A DISTANCE OF 697.69 FEET;
N75°36'29"E, A DISTANCE OF 248.11 FEET; N40°54'26"E, A DISTANCE OF 351.09 FEET;
N00°01'45"E, A DISTANCE OF 11.46 FEET TO LANDS OF NORMAN FUNK;
THENCE DEPARTING SAID LANDS OF THE CITY OF WESTMINSTER THEN ABUTTING LANDS OF NORMAN FUNK RUNNING N67°12'51"E, A DISTANCE OF 206.19 FEET TO THE ALKIRE ST WEST RIGHT OF WAY; THENCE DEPARTING SAID LANDS OF NORMAN FUNK THEN ALONG SAID ALKIRE ST WEST RIGHT OF WAY S00°00'50"W, A DISTANCE OF 93.57 FEET
TO THE POINT OF BEGINNING,
CONTAINING 767,800 SQ FT OR 17.627± ACRES(M)
NOTE: Length: 6,363' Closure distance: 0.02' Closure angle: N83°04'34"E
Precision: 1:318,150



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting
February 28, 2023



Strategic Priority 4: Quality of Life – Ensure that Westminster offers a diverse range of amenities and activities for residents, businesses, and visitors that honor the City’s history and supports the arts, parks, recreation, open spaces, and libraries.

SUBJECT: Public Hearing and Action on Annexation of Property, Comprehensive Plan Amendment, and Designation of Zoning for Property Located at 12620 Zuni Street

PREPARED BY: Patrick Caldwell, Senior Planner

RECOMMENDED CITY COUNCIL ACTION:

1. Recommend that City Council approve the Annexation of Property Located at 12620 Zuni Street based on a finding that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.
2. Recommend that City Council approve the Comprehensive Plan Designation as Open Space for Property Located at 12620 Zuni Street based on a finding that the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.
3. Recommend that City Council approve the Designation of Zoning as O-1 for Property Located at 12620 Zuni Street based on a finding that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

SUMMARY STATEMENT:

- This 2.62-acre City owned property is on the east side of Zuni Street at approximately West 126th Avenue, and is commonly referenced as the Bushnell Property.
- The property was purchased by the City in 2015 to be used as open space that is part of the larger City owned Open Spaces in the Big Dry Creek Corridor that is adjacent to the Bushnell Property.
- All structures on the site have been removed and the site is presently vacant.
- A small part of Zuni Street is to be annexed with the Bushnell Property. Adding the Zuni Street section west of the property to the Zuni Street center line is consistent with City policy for streets that form a municipal boundary.

- A portion of the Caulkins Ditch is in the City, and forms the northwest edge of the site. The vacant parcel that extends to West 128th Avenue and that is north of the Ditch is privately owned and is in unincorporated Adams County.

FISCAL IMPACT:

\$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

1. Should Planning Commission recommend that City Council approve the Annexation for the subject property known as the Bushnell Property?
2. Should Planning Commission recommend that City Council approve the Comprehensive Plan Designation of City Open Space for the subject property known as the Bushnell Property?
3. Should Planning Commission recommend that City Council approve the Zoning Designation of O-1 for the subject property known as the Bushnell Property?

ALTERNATIVE(S):

1. Planning Commission could recommend that City Council deny the Annexation of the Bushnell Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space. Staff finds that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.
2. Planning Commission could recommend that City Council deny the Comprehensive Plan Designation as City Open Space for the Bushnell Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space. Staff finds the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.
3. Planning Commission could recommend that City Council deny the Zoning Designation of O-1 for the Bushnell Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space. Staff finds that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

BACKGROUND INFORMATION:

Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a PDP and ODP pursuant to the land use allowances established by the Comprehensive Plan. At this time no development is proposed for this parcel and a PDP and ODP are not proposed for this City owned property. Any future development will comply with both the Comprehensive Plan designation of Open Space, and the zoning designation of O-1.

History of Subject Property

The 2.62 – acre parcel was purchased by the City in 2015, and is adjacent to City Open Space on the south, and the east, and along the northwest edge that is part of the Caulkins Ditch. The property has been used as passive Open Space since the City purchase.

Nature of Request

The City owns this 2.62 – acre parcel of land, and is annexing the land into the City, designating the Comprehensive Plan as City Open Space, and designating the zoning for the site as O-1. This expands the Big Dry Creek Corridor open spaces in the City.

Applicant

City of Westminster
 Contact: Tomas Herrera-Mishler, Director Parks Recreation & Libraries
 Street Address: 4800 West 92nd Avenue,
 Westminster, Colorado 80031

Property Owner

City of Westminster
 Contact: Tomas Herrera-Mishler, Director Parks Recreation & Libraries
 Street Address: 4800 West 92nd Avenue,
 Westminster, Colorado 80031

Location

This vacant parcel is on the west side of Zuni Street in the vicinity of West 126th Avenue. City owned open space is adjacent to the east and to the south. This parcel is entirely south of the Caulkins Ditch. The adjacent portion of the Caulkins Ditch is City owned and was annexed into the City a number of years ago and forms the angled edge along the northwest edge of the parcel. The land on the west side of the centerline of Zuni Street is in the City and County of Broomfield.

Surrounding Land Uses and Comprehensive Land Use Plan Designation

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	Caulkins Ditch, and Vacant in Unincorporated Adams County	O-1 (Caulkins Ditch)	City Open Space	Caulkins Ditch and Vacant in Unincorporated Adams County
East	Vacant City owned land that is part of the Big Dry Creek Open Space Corridor	R-3	City Open Space	Vacant – City owned land that is part of the Big Dry Creek Open Space Corridor, and Big Dry Creek Park
South	Vacant City owned land that is part of the Big Dry Creek Open Space Corridor (formerly Doulos Ministries Property)	PUD	City Open Space	Vacant – City Owned land that is part of the Big Dry Creek Open Space Corridor
West	Willow Run Apartments, City and County of Broomfield	NA	NA	Multi-Family, Willow Run Apartments

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before Planning Commission shall be published at least ten days prior to such hearing and at least ten days prior to City Council public hearings. Notice was published in the Westminster Window by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City's Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period

Written Notice: At least ten days prior to the date of the public hearing, the applicant shall send notice by first-class mail to occupants, property owners, and homeowner's associations registered with the City within 1,000 feet of the subject property and in accordance with the requirements of this section. The applicant has provided the City's Planning Manager with a certification that the required notices were mailed by the required deadline

Westminster Municipal Code Analysis

11-5-1. - Annexations.

The annexation of property to the City shall occur pursuant to and be governed by the provisions of Sections 31-12-101, et seq., C.R.S., also known as the Municipal Annexation Act of 1965, as the same may from time to time be amended.

The annexation of City owned property is in compliance with all requirements outlined in C.R.S. 31-12-01.

C.R.S. 31-12-15 requires that annexed land be zoned within 90 days of the annexation. The zoning designation for this property will be reviewed concurrently with the annexation and this will meet the 90-day requirement.

11-5-21. - Standards for Approval of Land Use Plan Amendments.

(B) In reviewing an application for an amendment to the Land Use Plan, the following criteria shall be considered:

- 1. The proposed amendment is consistent with the vision, intent and applicable policies of the Comprehensive Plan and other adopted plans, policies and guidelines.*

The proposed Comprehensive Plan designation of City Open Space is consistent with the vision, intent and applicable policies of the Comprehensive Plan and other adopted plans, policies and guidelines. The existing Comprehensive Plan indicates the Bushnell property and adjacent areas are to be part of the Big Dry Creek Open Space Corridor.

- 2. The proposed amendment serves a substantial public purpose and will not be substantially detrimental to the surrounding lands.*

The existing Comprehensive Plan indicates the Bushnell property and adjacent areas are to be part of the Big Dry Creek Open Space Corridor. Open Space serves a substantial public purpose and adding the Bushnell Property to the City will not be detrimental to the surrounding Open Space land.

- 3. The proposed amendment shall consider the nature and degree of impacts on neighboring lands. Individual parcels or groups of parcels shall not be subject to a change in land use in such way that the new designation is substantially inconsistent with the uses of the surrounding area.*

The proposed Comprehensive Plan designation of City Open Space is consistent with the existing Plan designation of Open Space for land adjacent to the Bushnell property.

- 4. The proposed amendment is necessary in order to address substantially changed conditions in the immediate area of the subject tract since adoption of the Land Use Plan or an error contained in that document.*

The proposed amendment to the Comprehensive Plan is necessary because the annexation of the Bushnell Property changes the status from Unincorporated Adams County to a status as part of the incorporated City of Westminster.

- 5. The proposed amendment provides for the orderly physical growth of the City.*

This proposed amendment to the Comprehensive Plan assists with the orderly physical growth of the City by adding to the existing Open Space lands that are adjacent to the south and east in the Big Dry Creek Open Space Corridor.

- 6. The proposed amendment furthers an important public policy, including but not limited to a need for affordable housing, protection of historic resources, preservation of open space, or reduction in water demand by virtue of a different land use category.*

The proposed amendment to the Comprehensive Plan to designate the Bushnell Property as City Open Space furthers an important public policy that supports preservation of open space.

- 7. The proposed amendment is appropriate in order to address a uniqueness in the size, shape and character of the parcel in relation to neighboring lands. Proof that a small parcel is unsuitable for use as presently designated or that there have been substantial changes in the immediate area may justify an amendment subject to evidence furnished by the applicant.*

The proposed amendment to the Comprehensive Plan is appropriate in order to address the annexation of the Bushnell Property into the City.

- 8. The proposed amendment will not negatively impact the transportation system, drainage, water and sewer infrastructure, water supply, fire and police services, the parks and open space system, or the City's general fund revenue.*

The proposed amendment to the Comprehensive Plan to designate the Bushnell Property as City Open Space will not negatively impact the transportation system, drainage system, water and sewer infrastructure, water supply, fire and police services, the parks and open space system, or the City's general fund revenues.

- 9. The proposed amendment will not negatively impact referral agencies such as the Colorado Department of Transportation, local school districts, the Rocky Mountain Metropolitan Airport, or other agencies pertinent to the location and nature of the requested amendment.*

The proposed amendment to the Comprehensive Plan to designate the Bushnell Property as City Open Space will not negatively impact referral agencies such as the Colorado Department of Transportation, local school districts, the Rocky Mountain Metropolitan Airport, or other agencies pertinent to the location and nature of the requested amendment.

- 10. The proposed amendment establishes minimal environmental impacts or has sufficiently mitigated any identified impacts.*

The proposed amendment to the Comprehensive Plan to designate the Bushnell Property as City Open Space has minimal environmental impacts because the land has been restored to its natural state.

Staff's analysis of the ten criteria listed in W.M.C. 11-5-21, above, generally supports the proposed amendment to the land use plan in the City's Comprehensive Plan to designate the Bushnell Property as City Open Space.

11-5-3. - Standards for Approval of Zonings and Rezoning.

(A) The following criteria shall be considered in the approval of any application for zoning or rezoning to a zoning district other than Planned Unit Development (PUD):

- 1. The proposed zoning or rezoning is in conformance with the City's Comprehensive Plan and all City policies, standards and sound planning principles and practice.*

The designation of this site as an O-1 zone is consistent with the City's Comprehensive Plan and all City policies, standards and sound planning principles and practice because the site is presently used as Open Space, and is adjacent on all sides to existing City owned Open Space. The existing adjacent City owned Open Space is part of the Big Dry Creek Open Space Corridor, and this will become part of that larger Corridor.

- 2. There is either existing capacity in the City's street, drainage or utility systems to accommodate the proposed zoning or rezoning, or arrangements have been made to provide such capacity in a manner and timeframe acceptable to City Council.*

There is existing capacity in the City's street, drainage and utility systems to accommodate this site as an O-1 Zone because as an O-1 Zone there is very limited impact to the City's existing infrastructure. No development is proposed, so new streets are not needed, existing drainage will not change, and no utilities are needed for the site. The site will be incorporated into the adjacent Big Dry Creek Open Space Corridor.

(B) The City may initiate a rezoning of any property in the City without the consent of the property owner, including property annexed or being annexed to the City, provided a City-initiated zoning or rezoning shall not take effect unless City Council finds, as part of the final rezoning ordinance, at least one of the following:

- 1. The current zoning is inconsistent with one or more of the goals or objectives of the City's Comprehensive Land Use Plan.*

Staff finds that the current zoning for residential use in unincorporated Adams County is not consistent with the goal of the City's Comprehensive Plan to expand the open space areas in the Big Dry Creek Open Space Corridor. Annexing the Bushnell Property, and designating the zoning as O-1 is consistent with the goals of the Comprehensive Plan.

- 2. The current zoning is incompatible with one or more of the surrounding land uses, either existing or approved.*

NA

- 3. The surrounding development is or may be adversely impacted by the current zoning.*

NA

- 4. The City's water, sewer or other services are or would be significantly and negatively impacted by the current zoning and the property is not currently being served by the City.*

NA

(C) Any City-initiated rezoning shall satisfy the standards set forth in subsection (A) above.

As noted in A above, the designation of the site as an O-1 Zone satisfies the standards set forth in that subsection.

(D) Any application for zoning or rezoning to PUD shall satisfy the requirements of Section 11-5-14, W.M.C.

NA

(E) Any zoning or rezoning to Specific Plan District shall satisfy the standards set forth in Section 11-5-20, W.M.C.

NA

Neighborhood Meetings and Public Comments

A neighborhood meeting was not held for the purchase of this property in 2015, this annexation, the Comprehensive Plan designation to Open Space, or for Zoning Designation to O-1 in 2023. Annexation of City owned land does not require neighborhood meetings, or neighborhood contact. All adjacent property is either owned by the City of Westminster and is used as Open Space, or the property is in the City and County of Broomfield. This annexation is focused on supporting the larger City owned Open Spaces in the Big Dry Creek corridor.

Summary of Staff Recommendation

The annexing ordinance states that the area proposed to be annexed is owned by the City of Westminster, and is not solely a public street or right-of-way. The Staff recommendation is for annexation of the Bushnell Property, Comprehensive Plan land use designation as City Open Space, and Zoning designation as O-1 because it is open space that is part of the larger City owned Open Spaces in the Big Dry Creek Corridor.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of Quality of Life is met by expanding the size of the Big Dry Creek Open Space corridor with the addition of this property. All residents of the City can enjoy this open space amenity.

Respectfully Submitted,



John McConnell, AICP

Interim Planning Manager

ATTACHMENTS:

Attachment 1: Annexation Map of the Bushnell Property

Attachment 2: Comprehensive Plan Amendment

Attachment 3: Zoning Map Amendment

Attachment 4: Legal Description

**12620 ZUNI ST ANNEXATION
TO THE CITY OF WESTMINSTER
NORTHWEST 1/4 OF SECTION 33,
TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, STATE OF COLORADO**

DESCRIPTION OF LAND TO BE ANNEXED

THAT PART OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 33;

THENCE ON THE WEST LINE OF SAID THE NORTHWEST 1/4, ALSO BEING THE LINE BETWEEN BROOMFIELD COUNTY COLORADO AND ADAMS COUNTY COLORADO, N00°00'06"E, A DISTANCE OF 1312.84 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ON SAID WEST LINE, N00°00'06"E, A DISTANCE OF 150.81 FEET;

THENCE N89°45'33"E, A DISTANCE OF 30.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF ZUNI STREET;

THENCE ON THE SOUTHEAST LINE OF THE ANNEXATION MAP CAULKINS DITCH RIGHT OF WAY (RECORDED AT RECEPTION NUMBER C0694595, FILE 18, MAP NO. 265) THE FOLLOWING TWO COURSES;

- 1) N65°40'01"E, A DISTANCE OF 131.91 FEET;
- 2) N36°51'43"E, A DISTANCE OF 395.80 FEET;

THENCE ON THE WESTERLY LINE OF THE ANNEXATION MAP KNOWN AS STINGRAY GROUP WEST ANNEXATION, RECORDED AT FILE 13, MAP NO. 31, THE FOLLOWING TWO COURSES:

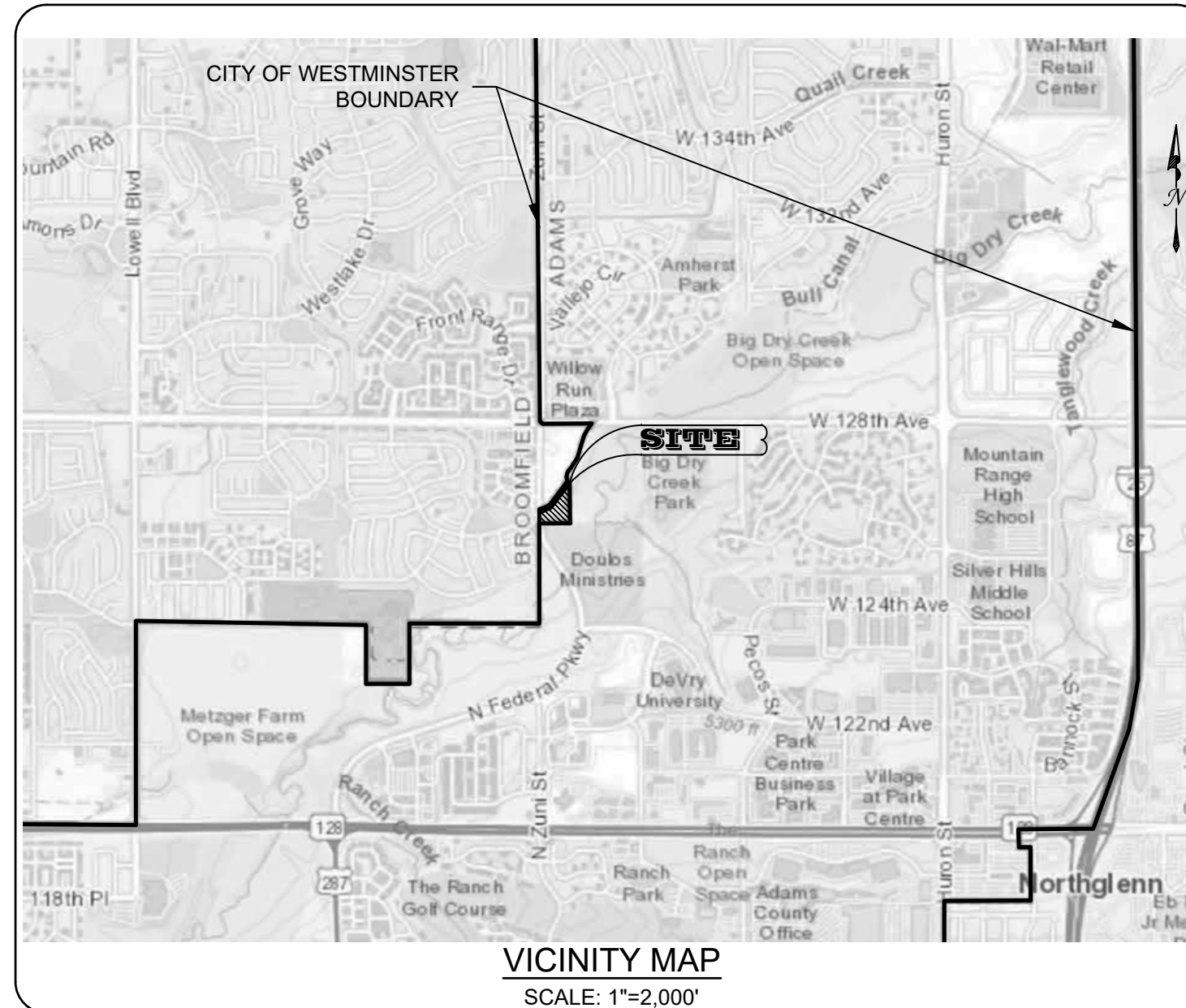
- 1) S16°05'58"E, A DISTANCE OF 8.62 FEET;
- 2) S00°26'40"E, A DISTANCE OF 512.04 FEET;

THENCE ON THE NORTH LINE OF THE SOUTH 1/2 OF SAID NORTHWEST 1/4, ALSO BEING THE NORTH LINE OF THE DULOS PROPERTY ANNEXATION (RECORDED AT RECEPTION NUMBER B1185248, FILE 17, MAP 176), S89°45'33"W, A DISTANCE OF 394.00 FEET TO THE POINT OF BEGINNING;

CONTAINING 114,209 SQUARE FEET OR 2.62 ACRES, MORE OR LESS.

NOTES

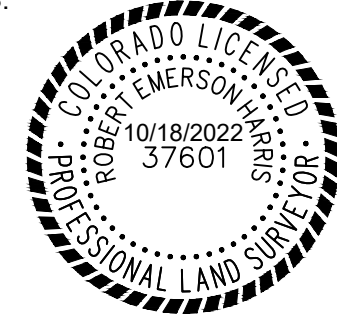
1. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
2. BASIS OF BEARINGS: THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN IS ASSUMED TO BEAR N89°45'33"E, A DISTANCE OF 1304.84 FEET, MONUMENTED ON THE WEST END BY A WITNESS CORNER FOR THE N1/16 CORNER OF SECTIONS 32 & 33, A FOUND 3.25" ALUMINUM CAP STAMPED "PE-PLS 5447" AND ON THE EAST END BY A FOUND 2.5" ALUMINUM CAP STAMPED "2149" AT THE CENTER-NORTH 1/16 CORNER OF SAID SECTION 33, AS SHOWN AND LABELED HEREON.
3. DISTANCES ON THIS SURVEY ARE EXPRESSED IN US SURVEY FEET AND DECIMALS THEREOF. A US SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
4. ANNEXATION PERIMETER: 1,623.19'
EXISTING, CONTIGUOUS CITY LIMIT BOUNDARY LENGTH: 1,442.37'
1442.37/1623.19 = 89% CONTIGUOUS (LARGER THAN 1/6 OR 16.7%)



SURVEYOR'S CERTIFICATE

I, ROBERT E. HARRIS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS ANNEXATION MAP WAS PREPARED UNDER MY DIRECT SUPERVISION, AND THAT AT LEAST ONE-SIXTH OF ITS BOUNDARY IS CONTIGUOUS TO THE EXISTING CITY OF WESTMINSTER CITY LIMITS.

ROBERT E. HARRIS
COLORADO P.L.S. 37601
FOR & ON BEHALF OF
GILLIANS LAND CONSULTANTS
rharris@gillianslc.com



CITY OF WESTMINSTER

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER THIS ____ DAY OF _____, 20__.

MAYOR

ATTEST: CITY CLERK

ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

FILE NO. _____ MAP NO. _____ RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS ____ DAY OF _____, 20__, AT _____, M.

ADAMS COUNTY CLERK AND RECORDER

BY: DEPUTY CLERK (SEAL)

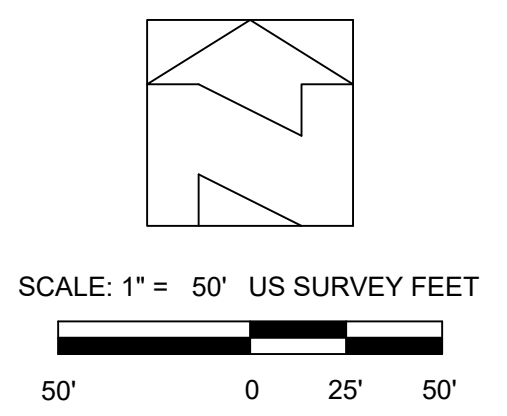
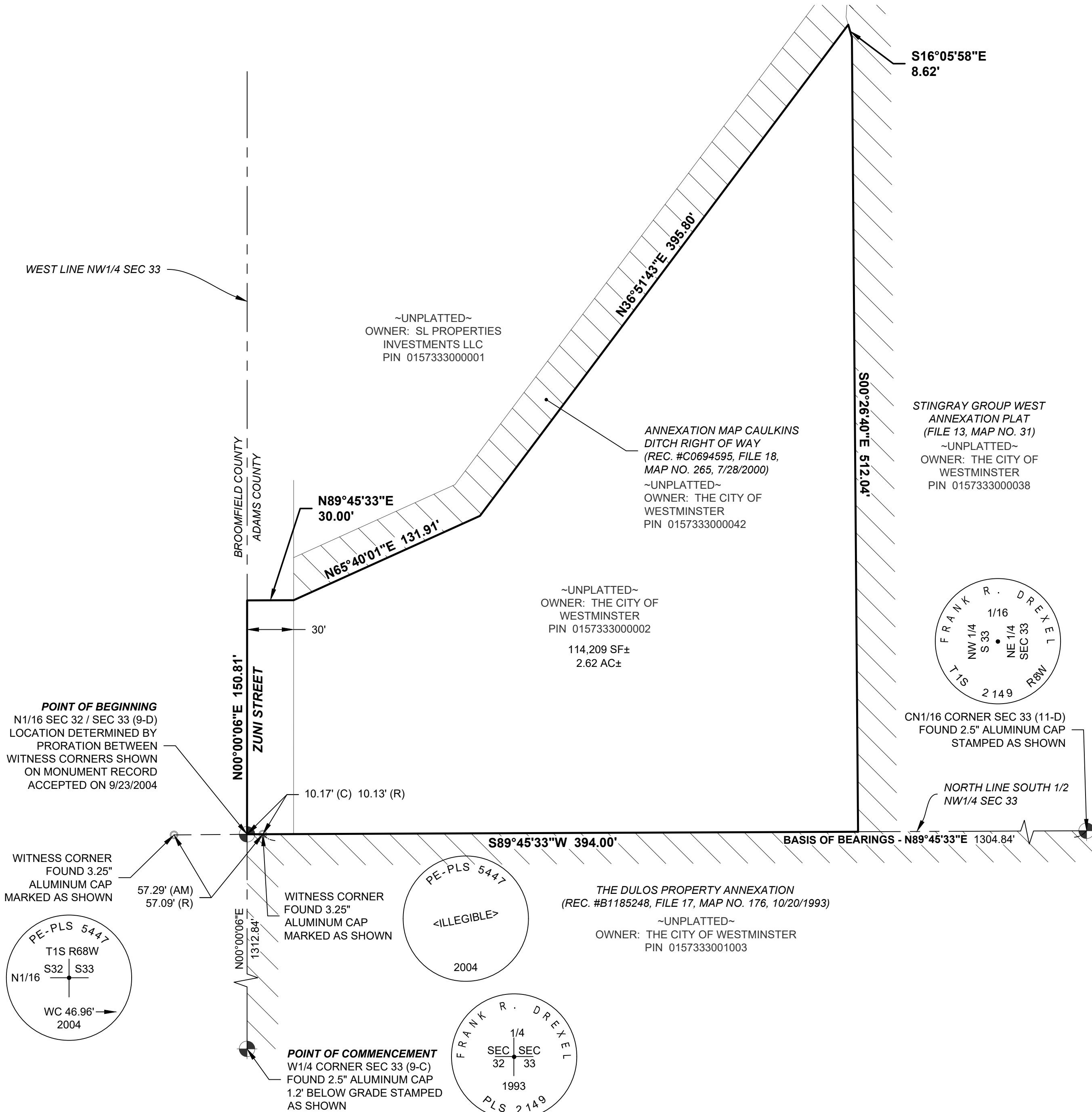
NO	REVISION RECORD	DATE	BY
1			

GILLIANS LAND CONSULTANTS
P.O. BOX 375
BENNETT, CO 80102
303-972-6640
www.gillianslc.com

LAND SURVEYING
ALTA/NSPS SURVEYS
TOPOGRAPHIC MAPS
CONSULTING SERVICES

JOB NO.: 22223
DRAWN: ALB
CHECKED: REH
DESIGNER: JK
ISSUE DATE: 10/18/2022
SCALE: AS NOTED
FILE: 22223ANNEX
SHEET: 1 OF 2

12620 ZUNI ST ANNEXATION
 TO THE CITY OF WESTMINSTER
 NORTHWEST 1/4 OF SECTION 33,
 TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
 COUNTY OF ADAMS, STATE OF COLORADO



LEGEND

	FOUND ALIQUOT CORNER MONUMENT AS NOTED
	FOUND MONUMENT AS NOTED
	EXISTING WESTMINSTER ANNEX PROPERTY
	PROPERTY TO BE ANNEXED



NO	REVISION RECORD	DATE	BY
1			

Gillians

GILLIANS LAND CONSULTANTS
 P.O. BOX 375
 BENNETT, CO 80102
 303-972-6640
 www.gillianslc.com

LAND SURVEYING
 ALTA/NSPS SURVEYS
 TOPOGRAPHIC MAPS
 CONSULTING SERVICES

JOB NO.: 22223
 DRAWN: ALB
 CHECKED: REH
 DESIGNER: JK
 ISSUE DATE: 10/18/2022
 SCALE: 1"=50'
 FILE: 22223ANNEX

SHEET: **2**
OF 2

ATTACHMENT B

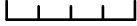


Before Annexation

Comp Plan Designation

City Open Space	
Public Parks	
Parcel to be annexed	

0 100 200 Feet







After Annexation



ATTACHMENT C



Before Annexation

Zone Code	
O-1	
PUD	
R-3	
Parcel to be annexed	

0 100 200 Feet



After Annexation



ATTACHMENT 4

DESCRIPTION OF LAND TO BE ANNEXED

THAT PART OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 33;

THENCE ON THE WEST LINE OF SAID THE NORTHWEST 1/4, ALSO BEING THE LINE BETWEEN BROOMFIELD COUNTY COLORADO AND ADAMS COUNTY COLORADO, N00°00'06"E, A DISTANCE OF 1312.84 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ON SAID WEST LINE, N00°00'06"E, A DISTANCE OF 150.81 FEET;

THENCE N89°45'33"E, A DISTANCE OF 30.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF ZUNI STREET;

THENCE ON THE SOUTHEAST LINE OF THE ANNEXATION MAP CAULKINS DITCH RIGHT OF WAY (RECORDED AT RECEPTION NUMBER C0694595, FILE 18, MAP NO. 265) THE FOLLOWING TWO COURSES;

- 1) N65°40'01"E, A DISTANCE OF 131.91 FEET;
- 2) N36°51'43"E, A DISTANCE OF 395.80 FEET;

THENCE ON THE WESTERLY LINE OF THE ANNEXATION MAP KNOWN AS STINGRAY GROUP WEST ANNEXATION, RECORDED AT FILE 13, MAP NO. 31, THE FOLLOWING TWO COURSES:

- 1) S16°05'58"E, A DISTANCE OF 8.62 FEET;
- 2) S00°26'40"E, A DISTANCE OF 512.04 FEET;

THENCE ON THE NORTH LINE OF THE SOUTH 1/2 OF SAID NORTHWEST 1/4, ALSO BEING THE NORTH LINE OF THE DULOS PROPERTY ANNEXATION (RECORDED AT RECEPTION NUMBER B1185248, FILE 17, MAP 176), S89°45'33"W, A DISTANCE OF 394.00 FEET TO THE POINT OF BEGINNING;

CONTAINING 114,209 SQUARE FEET OR 2.62 ACRES, MORE OR LESS.

DESCRIPTION PREPARED BY AMY BACHER UNDER THE DIRECT SUPERVISION OF ROBERT E. HARRIS, COLORADO PLS 37601 ON 10/18/2022, FOR AN ON BEHALF OF GILLIANS LAND CONSULTANTS.



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting
February 28, 2023



Strategic Priority 4: Quality of Life – Ensure that Westminster offers a diverse range of amenities and activities for residents, businesses, and visitors that honor the City's history and supports the arts, parks, recreation, open spaces, and libraries.

SUBJECT: Public Hearing and Action on Annexation of Property, Comprehensive Plan Amendment, and Designation of Zoning for Property Located at 7371 West 92nd Avenue

PREPARED BY: Patrick Caldwell, Senior Planner

RECOMMENDED CITY COUNCIL ACTION:

1. Recommend that City Council approve the Annexation of Property Located at 7371 West 92nd Avenue based on a finding that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code
2. Recommend that City Council approve the Comprehensive Plan Designation as City Open Space for Property Located at 7371 West 92nd Avenue based on a finding that the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code
3. Recommend that City Council approve the Designation of Zoning as O-1 for Property Located at 7371 West 92nd Avenue based on a finding that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code

SUMMARY STATEMENT:

- This 0.58-acre City owned property is commonly referenced as the Diekmann Property.
- The property was purchased by the City in 2022 to be used as open space that is part of the larger City owned Niver Canal and Semper House Open Spaces that are adjacent to the Diekmann Property.
- Recent fires at the site have resulted in the initial stages of the removal of all structures on the site. The site is presently vacant, and the site will be restored to a natural state over the next few years.
- City trails are adjacent to the site.

FISCAL IMPACT: \$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

1. Should Planning Commission recommend that City Council approve the annexation for the subject property known as the Diekmann Property?
2. Should Planning Commission recommend that City Council approve the Comprehensive Plan Designation of City Open Space for the subject property known as the Diekmann Property?
3. Should Planning Commission recommend that City Council approve the Zoning Designation of O-1 for the subject property known as the Diekmann Property?

ALTERNATIVE(S):

1. Planning Commission could recommend that City Council deny the Annexation of the Diekmann Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space. Staff finds that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.
2. Planning Commission could recommend that City Council deny the Comprehensive Plan Designation as City Open Space for the Diekmann Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space. Staff finds the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.
3. Planning Commission could recommend that City Council deny the Zoning Designation of O-1 for the Diekmann Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space. Staff finds that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

BACKGROUND INFORMATION:

Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a Preliminary Development Plan (PDP) and an Official Development Plan (ODP) pursuant to the land use allowances established by the Comprehensive Plan. At this time no development is proposed for this parcel and a PDP and ODP are not proposed for this City owned property. Any future development will comply with both the Comprehensive Plan designation of City Open Space, and the zoning designation of O-1.

History of Subject Property

The City owned Niver Canal, now abandoned, forms the north edge of this site. The parcel is adjacent to West 92nd Avenue on the south edge of the site. The original house on the site was constructed in approximately 1902 on a "garden tract" on Lot 1 of Greenlawn Acres. This was one of the few structures constructed in Greenlawn Acres. Numerous outbuildings were added to the site over the years, and in recent decades these have deteriorated to an unsafe condition. On most 20th century Census records the general area near this site was known as Semper town site, and prior to World War 2 there was a stop called Semper stop on the nearby commuter rail, called the Kite route, between Denver and Boulder. The Diekmann family purchased the property in the 1970's and owned the property until the City purchase of the 0.58-acre parcel in 2022. The site is adjacent to City Open Space on all sides. As noted earlier, recent fires have destroyed most of the

structures on the site, and cleanup and restoration to a more natural condition will continue through the next few years. The property has been used as passive Open Space since the City purchase.

Nature of Request

The City owns this 0.58-acre parcel of land, and is Annexing the land into the City, designating the Comprehensive Plan as City Open Space, and designating the zoning for the site as O-1. This expands the Niver Canal Open Space Corridor and Semper House open spaces in the City.

Applicant

City of Westminster
 Contact: Tomas Herrera-Mishler, Director, Parks Recreation and Libraries
 Street Address: 4800 West 92nd Avenue,
 Westminster, Colorado 80031

Property Owner

City of Westminster
 Contact: Tomas Herrera-Mishler, Director, Parks Recreation and Libraries
 Street Address: 4800 West 92nd Avenue,
 Westminster, Colorado 80031

Location

This parcel is west of Pierce Street and has frontage along the north edge of West 92nd Avenue. A trail called the Farmers Highline Canal Trail is along the West 92nd Avenue frontage of the site, but the actual Farmers Highline Canal crosses West 92nd Avenue just east of this site, and that trail joins the Canal there. The driveway access from West 92nd Avenue to this site crosses that trail. City owned open space is adjacent to the west, the north, and the east. This parcel is entirely south of the City owned and abandoned Niver Canal that was annexed into the City a number of years ago. No vehicle access to the site is available from the north side of the site from West 92nd Lane because that access crosses the abandoned Niver Canal.

Surrounding Land Uses and Comprehensive Land Use Plan Designation

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	City Open Space that is part of the Niver Canal and Semper House Corridor	O-1	R-1	City Open Space that is part of the Niver Canal and Semper House Corridor
East	City Open Space that is part of the Niver Canal and Semper House Corridor	NA	City Open Space	City Open Space that is part of the Niver Canal and Semper House Corridor
South	Farmers Highline Canal Trail adjacent to West 92 nd Avenue	O-1 in West 92nd Avenue right of way	West 92nd Avenue right of way	West 92nd Avenue right of way
West	City Open Space that is part of the Niver Canal and Semper House Corridor	O-1	City Open Space	City Open Space that is part of the Niver Canal and Semper House Corridor

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before Planning Commission shall be published at least ten days prior to such hearing and at least ten days prior to City Council public hearings. Notice was published in the Westminster Window by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City's Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.
- **Written Notice:** At least ten days prior to the date of the public hearing, the applicant shall send notice by first-class mail to occupants, property owners, and homeowner's associations registered with the City within 1,000 feet of the subject property and in accordance with the requirements of this section. The applicant has provided the City's Planning Manager with a certification that the required notices were mailed by the required deadline.

Westminster Municipal Code Analysis

11-5-1. - Annexations.

The annexation of property to the City shall occur pursuant to and be governed by the provisions of Sections 31-12-101, et seq., C.R.S., also known as the Municipal Annexation Act of 1965, as the same may from time to time be amended.

The annexation of City owned property is in compliance with all requirements outlined in C.R.S. 31-12-01.

C.R.S. 31-12-15 requires that annexed land be zoned within 90 days of the annexation. The zoning designation for this property will be reviewed concurrently with the annexation and this will meet the 90-day requirement.

11-5-21. - Standards for Approval of Land Use Plan Amendments.

(B) In reviewing an application for an amendment to the Land Use Plan, the following criteria shall be considered:

1. *The proposed amendment is consistent with the vision, intent and applicable policies of the Comprehensive Plan and other adopted plans, policies and guidelines.*

The proposed Comprehensive Plan designation of City Open Space is consistent with the vision, intent and applicable policies of the Comprehensive Plan and other adopted plans, policies and guidelines. The existing Comprehensive Plan indicates the Diekmann property and adjacent areas are to be part of the Niver Canal and Semper House Corridor.

2. *The proposed amendment serves a substantial public purpose and will not be substantially detrimental to the surrounding lands.*

The existing Comprehensive Plan indicates the Diekmann property and adjacent areas are to be part of the Niver Canal and Semper House Corridor. Open Space serves a substantial public purpose and adding the Diekmann Property to the City will not be detrimental to the surrounding Open Space land.

- 3. The proposed amendment shall consider the nature and degree of impacts on neighboring lands. Individual parcels or groups of parcels shall not be subject to a change in land use in such way that the new designation is substantially inconsistent with the uses of the surrounding area.*

The proposed Comprehensive Plan designation of City Open Space is consistent with the existing Plan designation of Open Space for land adjacent to the Diekmann property.

- 4. The proposed amendment is necessary in order to address substantially changed conditions in the immediate area of the subject tract since adoption of the Land Use Plan or an error contained in that document.*

The proposed amendment to the Comprehensive Plan is necessary because the annexation of the Diekmann Property changes the status from Unincorporated Adams County to a status as part of the incorporated City of Westminster.

- 5. The proposed amendment provides for the orderly physical growth of the City.*

This proposed amendment to the Comprehensive Plan assists with the orderly physical growth of the City by adding to the existing Open Space lands that are adjacent to the south and east in the Niver Canal and Semper House Corridor.

- 6. The proposed amendment furthers an important public policy, including but not limited to a need for affordable housing, protection of historic resources, preservation of open space, or reduction in water demand by virtue of a different land use category.*

The proposed amendment to the Comprehensive Plan to designate the Diekmann Property as City Open Space furthers an important public policy that supports preservation of open space.

- 7. The proposed amendment is appropriate in order to address a uniqueness in the size, shape and character of the parcel in relation to neighboring lands. Proof that a small parcel is unsuitable for use as presently designated or that there have been substantial changes in the immediate area may justify an amendment subject to evidence furnished by the applicant.*

The proposed amendment to the Comprehensive Plan is appropriate in order to address the annexation of the Diekmann Property into the City.

- 8. The proposed amendment will not negatively impact the transportation system, drainage, water and sewer infrastructure, water supply, fire and police services, the parks and open space system, or the City's general fund revenue.*

The proposed amendment to the Comprehensive Plan to designate the Diekmann Property as City Open Space will not negatively impact the transportation system, drainage system, water and sewer infrastructure, water supply, fire and police services, the parks and open space system, or the City's general fund revenues.

- 9. The proposed amendment will not negatively impact referral agencies such as the Colorado Department of Transportation, local school districts, the Rocky Mountain Metropolitan Airport, or other agencies pertinent to the location and nature of the requested amendment.*

The proposed amendment to the Comprehensive Plan to designate the Diekmann Property as City Open Space will not negatively impact referral agencies such as the Colorado Department of Transportation, local school districts, the Rocky Mountain Metropolitan Airport, or other agencies pertinent to the location and nature of the requested amendment.

- 10. The proposed amendment establishes minimal environmental impacts or has sufficiently mitigated any identified impacts.*

The proposed amendment to the Comprehensive Plan to designate the Diekmann Property as City Open Space has minimal environmental impacts because the land has been restored to its natural state.

Staff's analysis of the ten criteria listed in W.M.C. 11-5-21, above, generally supports the proposed amendment to the land use plan in the City's Comprehensive Plan to designate the Diekmann Property as Open Space.

11-5-3. - Standards for Approval of Zonings and Rezoning.

(A) The following criteria shall be considered in the approval of any application for zoning or rezoning to a zoning district other than Planned Unit Development (PUD):

- 1. The proposed zoning or rezoning is in conformance with the City's Comprehensive Plan and all City policies, standards and sound planning principles and practice.*

The designation of this site as an O-1 zone is consistent with the City's Comprehensive Plan and all City policies, standards and sound planning principles and practice because the site is presently used as Open Space, and is adjacent on all sides to existing City owned Open Space. The existing adjacent City owned Open Space is part of the Niver Canal and Semper House Corridor, and this will become part of that larger Corridor.

- 2. There is either existing capacity in the City's street, drainage or utility systems to accommodate the proposed zoning or rezoning, or arrangements have been made to provide such capacity in a manner and timeframe acceptable to City Council.*

There is existing capacity in the City's street, drainage and utility systems to accommodate this site as an O-1 Zone because as an O-1 Zone there is very limited impact to the City's existing infrastructure. No development is proposed, so new streets are not needed, existing drainage will not change, and no utilities are needed for the site. The site will be incorporated into the adjacent Niver Canal and Semper House Corridor.

(B) The City may initiate a rezoning of any property in the City without the consent of the property owner, including property annexed or being annexed to the City, provided a City-initiated zoning or rezoning shall not take effect unless City Council finds, as part of the final rezoning ordinance, at least one of the following:

- 1. The current zoning is inconsistent with one or more of the goals or objectives of the City's Comprehensive Land Use Plan.*

Staff finds that the current zoning for residential use in unincorporated Jefferson County is not consistent with the goal of the City's Comprehensive Plan to expand the open space areas in the Niver Canal and Semper House Corridor. Annexing the Diekmann Property, and designating the zoning as O-1 is consistent with the goals of the Comprehensive Plan.

- 2. The current zoning is incompatible with one or more of the surrounding land uses, either existing or approved.*

NA

- 3. The surrounding development is or may be adversely impacted by the current zoning.*

NA

- 4. The City's water, sewer or other services are or would be significantly and negatively impacted by the current zoning and the property is not currently being served by the City.*

NA

(C) Any City-initiated rezoning shall satisfy the standards set forth in subsection (A) above.

As noted in A above, the designation of the site as an O-1 Zone satisfies the standards set forth in that subsection.

(D) Any application for zoning or rezoning to PUD shall satisfy the requirements of Section 11-5-14, W.M.C.

NA

(E) Any zoning or rezoning to Specific Plan District shall satisfy the standards set forth in Section 11-5-20, W.M.C.

NA

Neighborhood Meetings and Public Comments

A neighborhood meeting was not held for the purchase of this property in 2022, this Annexation, the Comprehensive Plan designation to City Open Space, or for Zoning Designation to O-1 in 2023. Annexation of City owned land does not require neighborhood meetings, or neighborhood contact. All adjacent property within 1,000 feet is either owned by the City of Westminster and is used as Open Space, or the property is very separated from this site. This annexation is focused on supporting the larger City owned Open Spaces in the Niver Canal and Semper House Corridor.

Summary of Staff Recommendation

The annexing ordinance states that the area proposed to be annexed is owned by the City of Westminster, and is not solely a public street or right-of-way. The Staff recommendation is for annexation of the Diekmann Property, Comprehensive Plan land use designation as City Open Space, and Zoning designation as O-1 because it is open space that is part of the larger City owned Open Spaces in the Niver Canal and Semper House Corridor.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of Quality of Life is met by expanding the size of the Niver Canal and Semper House Corridor with the addition of this property. All residents of the City can enjoy this open space amenity.

Respectfully Submitted,



John McConnell, AICP

Interim Planning Manager

ATTACHMENTS:

Attachment 1: Annexation Map of the Diekmann Property

Attachment 2: Comprehensive Plan Amendment

Attachment 3: Zoning Map Amendment

Attachment 4: Legal Description

ANNEXATION MAP
7371 W 92ND AVE ANNEXATION
 TO THE CITY OF WESTMINSTER,
 NORTHEAST 1/4 OF SECTION 23,
 TOWNSHIP 2 SOUTH, RANGE 69 WEST OF THE 6TH P.M.,
 COUNTY OF JEFFERSON, STATE OF COLORADO

DESCRIPTION OF LAND TO BE ANNEXED

THAT PART OF THE NORTHEAST 1/4 OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 23;

THENCE ON THE EAST LINE OF SAID NORTHEAST 1/4, N00°18'16"W, A DISTANCE OF 30.00 FEET;

THENCE ON THE NORTH RIGHT-OF-WAY LINE OF WEST 92ND AVENUE, S89°00'41"W, A DISTANCE OF 419.69 FEET TO THE SOUTHWEST CORNER OF PARCEL 1 OF THE ANNEXATION RECORDED AT RECEPTION NUMBER F1684386 (KNOWN AS THE LOMBARDI ANNEXATION), BEING A POINT ON THE NORTH LINE OF THE GREENLAWN ANNEXATION RECORDED AT RECEPTION NUMBER 8408357, ALSO BEING THE POINT OF BEGINNING;

THENCE SAID NORTH RIGHT-OF-WAY LINE, ALSO BEING THE NORTH LINE OF THE GREENLAWN ANNEXATION AND A NORTH LINE OF THE ANNEXATION RECORDED AT RECEPTION NUMBER 93037806 (KNOWN AS THE NIVER CANAL / W 92ND ANNEXATION), S89°00'41"W, A DISTANCE OF 247.88 FEET TO THE SOUTHEAST CORNER OF PARCEL 2 OF SAID LOMBARDI ANNEXATION;

THENCE ON THE EAST LINE OF SAID PARCEL 2, N00°05'17"W, A DISTANCE OF 111.50 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 2 AND A POINT ON A SOUTHERLY LINE OF SAID NIVER CANAL / W 92ND ANNEXATION;

THENCE ON SAID SOUTHERLY LINE THE FOLLOWING TWO COURSES,

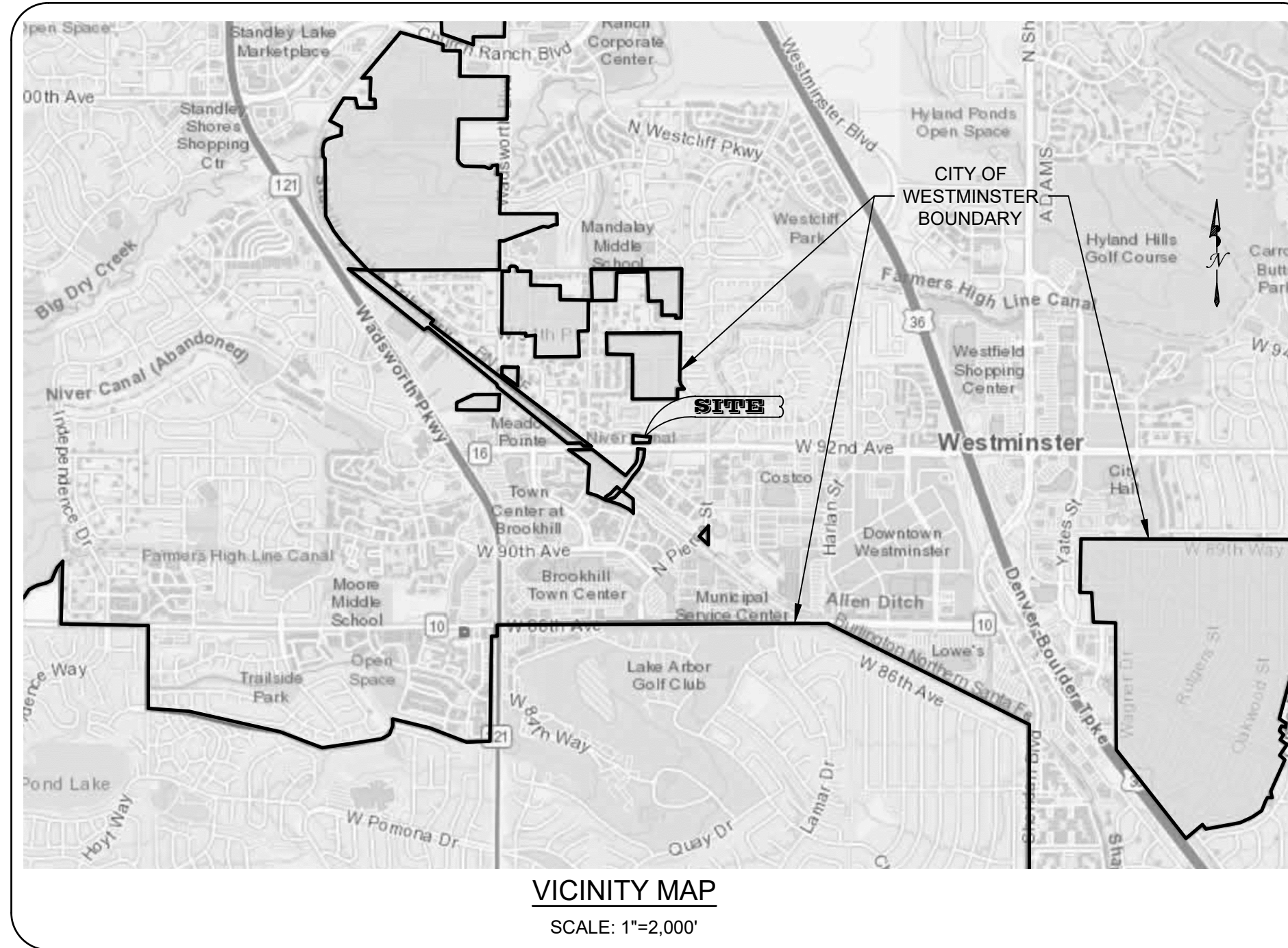
- 1) S85°13'35"E, A DISTANCE OF 199.36 FEET;
- 2) A DISTANCE OF 68.85 FEET ON A TANGENT CURVE TO THE LEFT WHICH HAS A RADIUS OF 2908.63 FEET, A DELTA OF 01°21'22", A CHORD BEARING S85°54'17"E AND A CHORD LENGTH OF 68.85 FEET TO THE NORTHWEST CORNER OF SAID PARCEL 1;

THENCE ON THE WEST LINE OF SAID PARCEL 1, S12°42'17"W, A DISTANCE OF 87.87 FEET TO THE POINT OF BEGINNING;

CONTAINING 25,392 SQUARE FEET OR 0.58 ACRES, MORE OR LESS.

GENERAL SURVEY NOTES

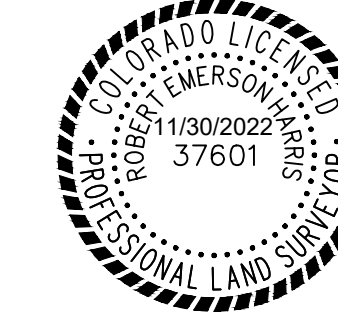
1. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
2. BASIS OF BEARING: THE WEST LINE OF PARCEL 2, LOMBARDI ANNEXATION (REC. #F1684386) IS ASSUMED TO BEAR N00°05'17"W, A DISTANCE OF 111.50 FEET, MONUMENTED ON THE SOUTH END BY A FOUND 1.5" ALUMINUM CAP STAMPED "PLS 38594" AND ON THE NORTH END BY A FOUND 1.5" ALUMINUM CAP STAMPED "PLS 10717".
3. DATE OF FIELD WORK: MARCH & APRIL 2022
4. DISTANCES ON THIS SURVEY ARE EXPRESSED IN US SURVEY FEET AND DECIMALS THEREOF. A US SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
5. ANNEXATION PERIMETER:
 EXISTING, CONTIGUOUS CITY LIMIT BOUNDARY LENGTH: 715.45'
 715.45/715.45 = 100% CONTIGUOUS (LARGER THAN 1/6 OR 16.7%)



SURVEYOR'S CERTIFICATE

I, ROBERT E. HARRIS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS ANNEXATION MAP WAS PREPARED UNDER MY DIRECT SUPERVISION, AND THAT AT LEAST ONE-SIXTH OF ITS BOUNDARY IS CONTIGUOUS TO THE EXISTING CITY OF WESTMINSTER CITY LIMITS.

ROBERT E. HARRIS
 COLORADO P.L.S. 37601
 FOR & ON BEHALF OF
 GILLIANS LAND CONSULTANTS
 rharris@gillianslc.com



CITY OF WESTMINSTER

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER THIS ____ DAY OF _____, 20__.

 MAYOR

 ATTEST: CITY CLERK

RECORDER'S CERTIFICATE

ACCEPTED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF JEFFERSON COUNTY AT GOLDEN, COLORADO, ON THIS ____ DAY OF _____, 20__, AT _____, M.

 JEFFERSON COUNTY CLERK AND RECORDER

 BY: DEPUTY CLERK

RECEPTION # _____ /20__ M. COUNTY OF JEFFERSON, STATE OF COLORADO

NO	REVISION RECORD	DATE	BY
1	NO	11/30/2022	ALB

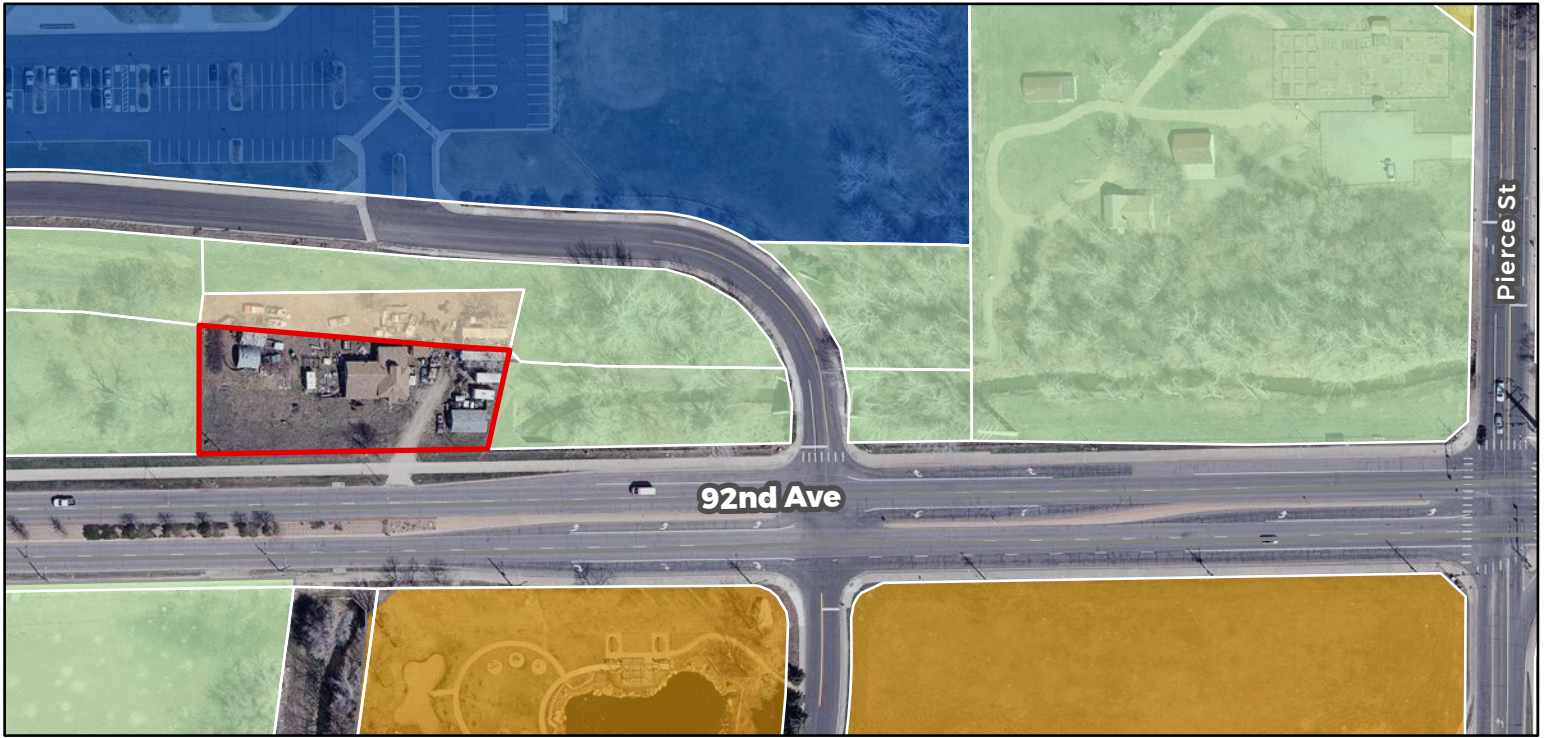
7371 W 92ND AVE ANNEXATION
TO THE CITY OF WESTMINSTER
JEFFERSON COUNTY, COLORADO

CERTIFICATION

Gillians
 LAND SURVEYING
 LAND CONSULTANTS
 P.O. BOX 746358
 ARVADA, CO 80006-6358
 303-972-8640
 www.gillianslc.com







JOB NO: 22224
 DRAWN: ALB
 CHECKED: REH
 FIELD: JK
 ISSUE DATE: 10/19/2022
 SCALE: N/A
 FILE: 22224ANNEX

ATTACHMENT B



Before Annexation

Comp Plan Designation

R-1	
R-3.5	
R-18	
City Open Space	
Public/Quasi Public	
Parcel to be annexed	






After Annexation

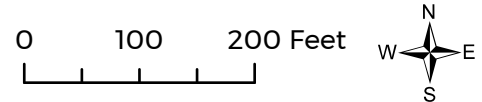


ATTACHMENT C



Before Annexation

Zone Code	
O-1	
PUD	
Parcel to be annexed	



After Annexation



ATTACHMENT 4

DESCRIPTION OF LAND TO BE ANNEXED

THAT PART OF THE NORTHEAST 1/4 OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 23;

THENCE ON THE EAST LINE OF SAID NORTHEAST 1/4, N00°18'16"W, A DISTANCE OF 30.00 FEET;

THENCE ON THE NORTH RIGHT-OF-WAY LINE OF WEST 92ND AVENUE, S89°00'41"W, A DISTANCE OF 419.69 FEET TO THE SOUTHWEST CORNER OF PARCEL 1 OF THE ANNEXATION RECORDED AT RECEPTION NUMBER F1684386 (KNOWN AS THE LOMBARDI ANNEXATION), BEING A POINT ON THE NORTH LINE OF THE GREENLAWN ANNEXATION RECORDED AT RECEPTION NUMBER 84083557, ALSO BEING THE POINT OF BEGINNING;

THENCE SAID NORTH RIGHT-OF-WAY LINE, ALSO BEING THE NORTH LINE OF THE GREENLAWN ANNEXATION AND A NORTH LINE OF THE ANNEXATION RECORDED AT RECEPTION NUMBER 93037806 (KNOWN AS THE NIVER CANAL / W 92ND ANNEXATION), S89°00'41"W, A DISTANCE OF 247.88 FEET TO THE SOUTHEAST CORNER OF PARCEL 2 OF SAID LOMBARDI ANNEXATION;

THENCE ON THE EAST LINE OF SAID PARCEL 2, N00°05'17"W, A DISTANCE OF 111.50 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 2 AND A POINT ON A SOUTHERLY LINE OF SAID NIVER CANAL / W 92ND ANNEXATION;

THENCE ON SAID SOUTHERLY LINE THE FOLLOWING TWO COURSES,

- 1) S85°13'35"E, A DISTANCE OF 199.36 FEET;
- 2) A DISTANCE OF 68.85 FEET ON A TANGENT CURVE TO THE LEFT WHICH HAS A RADIUS OF 2908.63 FEET, A DELTA OF 01°21'22", A CHORD BEARING S85°54'17"E AND A CHORD LENGTH OF 68.85 FEET TO THE NORTHWEST CORNER OF SAID PARCEL 1;

THENCE ON THE WEST LINE OF SAID PARCEL 1, S12°42'17"W, A DISTANCE OF 87.87 FEET TO THE POINT OF BEGINNING;

CONTAINING 25,392 SQUARE FEET OR 0.58 ACRES, MORE OR LESS.



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting February 28, 2023



Strategic Priority 4: Quality of Life – Ensure that Westminster offers a diverse range of amenities and activities for residents, businesses, and visitors that honor the City's history and supports the arts, parks, recreation, open spaces, and libraries.

SUBJECT: Public Hearing and Action on Annexation of Property, Comprehensive Plan Amendment, and Designation of Zoning for Property Located at West 68th Avenue & Federal Boulevard

PREPARED BY: Patrick Caldwell, Senior Planner

RECOMMENDED CITY COUNCIL ACTION:

1. Recommend that City Council approve the Annexation of Property Located at West 68th Avenue & Federal Boulevard based on a finding that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.
2. Recommend that City Council approve the Comprehensive Plan Designation as City Open Space for Property Located at West 68th Avenue & Federal Boulevard based on a finding that the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.
3. Recommend that City Council approve the Designation of Zoning as O-1 for Property Located at West 68th Avenue & Federal Boulevard based on a finding that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

SUMMARY STATEMENT:

- This 2.7484-acre City owned property is commonly referenced as the Federal Boulevard South Property.
- The property was purchased by the City in 2018 to be used for a trail connection and as open space that is part of the larger City owned Open Spaces in the Little Dry Creek Corridor.
- The site is presently vacant with only the bicycle/pedestrian trail at the east side near Little Dry Creek.

FISCAL IMPACT: \$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

1. Should Planning Commission recommend that City Council approve the Annexation for the subject property known as the Federal Boulevard South Property?
2. Should Planning Commission recommend that City Council approve the Comprehensive Plan Designation of City Open Space for the subject property known as the Federal Boulevard South Property?
3. Should Planning Commission recommend that City Council approve the Zoning Designation of O-1 for the subject property known as the Federal Boulevard South Property?

ALTERNATIVE(S):

1. Planning Commission could recommend that City Council deny the Annexation of the Federal Boulevard South Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space, and a regional trail. Staff finds that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.
2. Planning Commission could recommend that City Council deny the Comprehensive Plan Designation as City Open Space for the Federal Boulevard South Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space, and a regional trail. Staff finds the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.
3. Planning Commission could recommend that City Council deny the Zoning Designation of O-1 for the Federal Boulevard South Property. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space, and a regional trail. Staff finds that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

BACKGROUND INFORMATION:

Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a Preliminary Development Plan (PDP) and an Official Development Plan (ODP) pursuant to the land use allowances established by the Comprehensive Plan. At this time no development is proposed for this parcel and a PDP and ODP are not proposed for this City owned property. Any future development will comply with both the Comprehensive Plan designation of City Open Space, and the zoning designation of O-1

History of Subject Property

The 2.7484- acre parcel was purchased by the City in 2018, and is adjacent to City Open Space on the west, and the east. The parcel is underneath the Federal Boulevard bridge for Little Dry Creek and the Burlington Northern Railroad, and was purchased to link the Little Dry Creek Trail in this vicinity. The property has been used as Open Space since the City purchase.

Nature of Request

The City owns this 2.7484- acre parcel of land, and is Annexing the land into the City, designating the Comprehensive Plan as City Open Space, and designating the zoning for the site as O-1. This expands the Little Dry Creek Corridor open spaces in the City.

Applicant

City of Westminster

Contact: Tomas Herrera-Mishler, Director, Parks, Recreation & Libraries

Street Address: 4800 West 92nd Avenue,

Westminster, Colorado 80031

Property Owner

City of Westminster

Contact: Tomas Herrera-Mishler, Director, Parks, Recreation & Libraries

Street Address: 4800 West 92nd Avenue,

Westminster, Colorado 80031

Location

This vacant parcel is in the vicinity of West 68th Avenue and Federal Boulevard. The property does not have accessible street frontage. The property is entirely underneath the Federal Boulevard bridge that goes over Little Dry Creek and over the Burlington Northern Santa Fe railroad tracks. The property is visible from Federal Boulevard from the bridge over the property. The Little Dry Creek Trail is constructed on the eastern edge of the property, and that trail provides access to this property. The railroad right of way in this vicinity is in the City and that right of way forms the northern edge of the property. Privately owned land in unincorporated Adams County border the property at the south and partially at the west. Approximately 300 feet of the west edge is adjacent to existing City Open Space in the Little Dry Creek Corridor and that edge is not fenced and provides additional pedestrian access to the site.

Surrounding Land Uses and Comprehensive Land Use Plan Designation

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	Burlington Northern Railroad	West of Federal Boulevard is SPD adjacent to the TOD area, and Open Space on the east side of Federal Boulevard	City Open Space	Burlington Northern Railroad
East	Open Space in unincorporated Adams County	NA	NA	Open Space
South	U-Store Mini-storage, and Federal Boulevard right of way in unincorporated Adams County	NA	NA	U-Store Mini-storage, and Federal Boulevard right of way in unincorporated Adams County
West	City of Westminster Open Space in TOD Area, and outdoor storage in unincorporated Adams County	SPD in Westminster, and NA in unincorporated Adams County	City Open Space and NA in unincorporated Adams County	City of Westminster Open Space in TOD Area, and outdoor storage in unincorporated Adams County

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before Planning Commission shall be published at least ten days prior to such hearing and at least ten days prior to City Council public hearings. Notice was published in the Westminster Window by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City's Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.
- **Written Notice:** At least ten days prior to the date of the public hearing, the applicant shall send notice by first-class mail to occupants, property owners, and homeowner's associations registered with the City within 1,000 feet of the subject property and in accordance with the requirements of this section. The applicant has provided the City's Planning Manager with a certification that the required notices were mailed by the required deadline.

Westminster Municipal Code Analysis

11-5-1. - Annexations.

The annexation of property to the City shall occur pursuant to and be governed by the provisions of Sections 31-12-101, et seq., C.R.S., also known as the Municipal Annexation Act of 1965, as the same may from time to time be amended.

The Annexation of City owned property is in compliance with all requirements outlined in C.R.S. 31-12-01.

C.R.S. 31-12-15 requires that annexed land be zoned within 90 days of the annexation. The zoning designation for this property will be reviewed concurrently with the annexation and this will meet the 90-day requirement.

11-5-21. - Standards for Approval of Land Use Plan Amendments.

(B) In reviewing an application for an amendment to the Land Use Plan, the following criteria shall be considered:

- 1. The proposed amendment is consistent with the vision, intent and applicable policies of the Comprehensive Plan and other adopted plans, policies and guidelines.*

The proposed Comprehensive Plan designation of City Open Space is consistent with the vision, intent and applicable policies of the Comprehensive Plan and other adopted plans, policies and guidelines. The existing Comprehensive Plan indicates the Federal Boulevard South Property and adjacent areas are to be part of the Little Dry Creek Open Space Corridor.

- 2. The proposed amendment serves a substantial public purpose and will not be substantially detrimental to the surrounding lands.*

The existing Comprehensive Plan indicates the Federal Boulevard South Property and adjacent areas are to be part of the Little Dry Creek Open Space Corridor. Open Space serves a substantial public purpose and adding the Federal Boulevard South Property to the City will not be detrimental to the surrounding Open Space land.

- 3. The proposed amendment shall consider the nature and degree of impacts on neighboring lands. Individual parcels or groups of parcels shall not be subject to a change in land use in such way that the new designation is substantially inconsistent with the uses of the surrounding area.*

The proposed Comprehensive Plan designation of City Open Space is consistent with the existing Plan designation of Open Space for land adjacent to the Federal Boulevard South Property.

- 4. The proposed amendment is necessary in order to address substantially changed conditions in the immediate area of the subject tract since adoption of the Land Use Plan or an error contained in that document.*

The proposed amendment to the Comprehensive Plan is necessary because the annexation of the Federal Boulevard South Property changes the status from Unincorporated Adams County to a status as part of the incorporated City of Westminster.

- 5. The proposed amendment provides for the orderly physical growth of the City.*

This proposed amendment to the Comprehensive Plan assists with the orderly physical growth of the City by adding to the existing Open Space lands that are adjacent to the south and east in the Little Dry Creek Open Space Corridor.

- 6. The proposed amendment furthers an important public policy, including but not limited to a need for affordable housing, protection of historic resources, preservation of open space, or reduction in water demand by virtue of a different land use category.*

The proposed amendment to the Comprehensive Plan to designate the Federal Boulevard South Property as City Open Space furthers an important public policy that supports preservation of open space.

- 7. The proposed amendment is appropriate in order to address a uniqueness in the size, shape and character of the parcel in relation to neighboring lands. Proof that a small parcel is unsuitable for use as presently designated or that there have been substantial changes in the immediate area may justify an amendment subject to evidence furnished by the applicant.*

The proposed amendment to the Comprehensive Plan is appropriate in order to address the annexation of the Federal Boulevard South Property into the City.

- 8. The proposed amendment will not negatively impact the transportation system, drainage, water and sewer infrastructure, water supply, fire and police services, the parks and open space system, or the City's general fund revenue.*

The proposed amendment to the Comprehensive Plan to designate the Federal Boulevard South Property as City Open Space will not negatively impact the transportation system, drainage system, water and sewer infrastructure, water supply, fire and police services, the parks and open space system, or the City's general fund revenues.

- 9. The proposed amendment will not negatively impact referral agencies such as the Colorado Department of Transportation, local school districts, the Rocky Mountain Metropolitan Airport, or other agencies pertinent to the location and nature of the requested amendment.*

The proposed amendment to the Comprehensive Plan to designate the Federal Boulevard South Property as City Open Space will not negatively impact referral agencies such as the Colorado Department of Transportation, local school districts, the Rocky Mountain Metropolitan Airport, or other agencies pertinent to the location and nature of the requested amendment.

- 10. The proposed amendment establishes minimal environmental impacts or has sufficiently mitigated any identified impacts.*

The proposed amendment to the Comprehensive Plan to designate the Federal Boulevard South Property as City Open Space has minimal environmental impacts because the land has been restored to its natural state.

Staff's analysis of the ten criteria listed in W.M.C. 11-5-21, above, generally supports the proposed amendment to the land use plan in the City's Comprehensive Plan to designate the Federal Boulevard South Property as Open Space.

11-5-3. - Standards for Approval of Zonings and Rezoning.

(A) The following criteria shall be considered in the approval of any application for zoning or rezoning to a zoning district other than Planned Unit Development (PUD):

- 1. The proposed zoning or rezoning is in conformance with the City's Comprehensive Plan and all City policies, standards and sound planning principles and practice.*

The designation of this site as an O-1 zone is consistent with the City's Comprehensive Plan and all City policies, standards and sound planning principles and practice because the site is presently used as Open Space, and is adjacent to existing City owned Open Space. The existing adjacent City owned Open Space is part of the Little Dry Creek Open Space Corridor, and this will become part of that larger Corridor.

- 2. There is either existing capacity in the City's street, drainage or utility systems to accommodate the proposed zoning or rezoning, or arrangements have been made to provide such capacity in a manner and timeframe acceptable to City Council.*

There is existing capacity in the City's street, drainage and utility systems to accommodate this site as an O-1 Zone because as an O-1 Zone there is very limited impact to the City's existing infrastructure. No development is proposed, so new streets are not needed, existing drainage will not change, and no utilities are needed for the site. The site will be incorporated into the adjacent Little Dry Creek Open Space Corridor.

(B) The City may initiate a rezoning of any property in the City without the consent of the property owner, including property annexed or being annexed to the City, provided a City-initiated zoning or rezoning shall not take effect unless City Council finds, as part of the final rezoning ordinance, at least one of the following:

- 1. The current zoning is inconsistent with one or more of the goals or objectives of the City's Comprehensive Land Use Plan.*

Staff finds that the current zoning for residential use in unincorporated Adams County is not consistent with the goal of the City's Comprehensive Plan to expand the open space areas in the Little Dry Creek Open Space Corridor. Annexing the Federal Boulevard South Property, and designating the zoning as O-1 is consistent with the goals of the Comprehensive Plan.

- 2. The current zoning is incompatible with one or more of the surrounding land uses, either existing or approved.*

NA

- 3. The surrounding development is or may be adversely impacted by the current zoning.*

NA

- 4. The City's water, sewer or other services are or would be significantly and negatively impacted by the current zoning and the property is not currently being served by the City.*

NA

(C) Any City-initiated rezoning shall satisfy the standards set forth in subsection (A) above.

As noted in A above, the designation of the site as an O-1 Zone satisfies the standards set forth in that subsection.

(D) Any application for zoning or rezoning to PUD shall satisfy the requirements of Section 11-5-14, W.M.C.

NA

(E) Any zoning or rezoning to Specific Plan District shall satisfy the standards set forth in Section 11-5-20, W.M.C.

NA

Neighborhood Meetings and Public Comments

A neighborhood meeting was not held for the purchase of this property in 2018, this annexation, the Comprehensive Plan designation to Open Space, or for Zoning Designation to O-1 in 2023. Annexation of City owned land does not require neighborhood meetings or neighborhood contact. Adjacent property is either owned by the City of Westminster and is used as Open Space, or the property is in unincorporated Adams County. This annexation is focused on supporting the larger City owned Open Spaces in the Little Dry Creek corridor.

Summary of Staff Recommendation

The annexing ordinance states that the area proposed to be annexed is owned by the City of Westminster, and is not solely a public street or right-of-way. The Staff recommendation is for Annexation of the Federal Boulevard South Property, Comprehensive Plan land use designation as City Open Space, and Zoning designation as O-1 because it is open space that is part of the larger City owned Open Spaces in the Little Dry Creek Corridor.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of Quality of Life is met by expanding the size of the Little Dry Creek Open Space corridor with the addition of this property. All residents of the City can enjoy this open space amenity.

Respectfully Submitted,



John McConnell, AICP

Interim Planning Manager

ATTACHMENTS:

Attachment 1: Annexation Map of the Federal Boulevard South Property

Attachment 2: Comprehensive Plan Amendment

Attachment 3: Zoning Map Amendment

Attachment 4: Legal Description

ANNEXATION MAP FEDERAL BOULEVARD SOUTH TO THE CITY OF WESTMINSTER

A PART OF LOT 11, BLOCK 3, NORTH FEDERAL HILLS
SITUATED IN SECTION 5, T.3S., R.68W. OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 2

ANNEXATION DESCRIPTION:

A PART OF LOT 11, BLOCK 3, NORTH FEDERAL HILLS AND A PART OF SECTION 5, T.3S., R.68W., OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE N1/4 CORNER OF SECTION 5, T.3S., R.68W., OF THE 6TH P.M.;
THENCE S00°47'33"W ALONG THE WEST LINE OF THE NE 1/4 OF SAID SECTION 5, A DISTANCE OF 2425.48 FEET TO A POINT ON THE BURLINGTON NORTHERN RAILROAD SOUTHWESTERLY R.O.W. LINE AND THE POINT OF BEGINNING;
THENCE S57°36'54"E ALONG SAID SOUTHWESTERLY R.O.W. LINE, A DISTANCE OF 176.10 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN BOOK 4863 AT PAGE 493, ADAMS COUNTY RECORDS;
THENCE S00°47'33"W ALONG THE WEST LINE OF SAID PARCEL AND ALONG THE EASTERLY R.O.W. LINE OF FEDERAL BOULEVARD, A DISTANCE OF 136.56 FEET;
THENCE S19°50'03"W CONTINUING ALONG SAID WEST LINE AND ALONG SAID EASTERLY R.O.W. LINE A DISTANCE OF 61.25 FEET TO THE NORTH CORNER OF A PARCEL OF LAND OWNED BY THE CITY OF WESTMINSTER, COLORADO, AS DESCRIBED IN INSTRUMENT RECORDED IN BOOK 4852 AT PAGE 412, ADAMS COUNTY RECORDS;
THENCE ALONG THE NORTHERLY LINE OF SAID CITY OF WESTMINSTER PARCEL THE FOLLOWING THREE (3) COURSES:

- 1) THENCE S00°47'33"W A DISTANCE OF 25.83 FEET;
- 2) THENCE S53°32'00"E A DISTANCE OF 87.94 FEET;
- 3) THENCE S88°45'54"E A DISTANCE OF 179.10 FEET;

THENCE S01°14'06"W ALONG THE EAST LINE OF SAID CITY OF WESTMINSTER PARCEL, A DISTANCE OF 42.60 FEET TO A POINT ON THE NORTH LINE OF LOT 1, U-STOR FEDERAL SUBDIVISION;
THENCE S89°37'59"W ALONG THE SOUTH LINE OF SAID CITY OF WESTMINSTER PARCEL AND LONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 471.17 FEET TO A POINT ON THE WESTERLY R.O.W. LINE OF FEDERAL BOULEVARD;
THENCE ALONG THE WESTERLY R.O.W. LINE OF FEDERAL BOULEVARD AND THE EAST LINE OF A PARCEL OF LAND OWNED BY THE CITY OF WESTMINSTER, COLORADO AS DESCRIBED IN INSTRUMENT RECORDED IN BOOK 4866 AT PAGE 156, ADAMS COUNTY RECORDS FOLLOWING THREE (3) COURSES:

- 1) THENCE N14°21'50"W A DISTANCE OF 73.22 FEET;
- 2) THENCE N06°35'27"W A DISTANCE OF 116.71 FEET;
- 3) THENCE N00°47'33"E A DISTANCE OF 307.80 FEET TO A POINT ON THE SOUTHWESTERLY R.O.W. LINE OF THE BURLINGTON NORTHERN RAILROAD;

THENCE S57°36'54"E ALONG SAID SOUTHWESTERLY R.O.W. LINE, A DISTANCE OF 146.75 FEET TO THE POINT OF BEGINNING.

SAID ANNEXATION PARCEL CONTAINS (119,722 SQUARE FEET) 2.7484 ACRES, MORE OR LESS, SUBJECT TO ALL EASEMENTS AND ENCUMBRANCES OF RECORD.

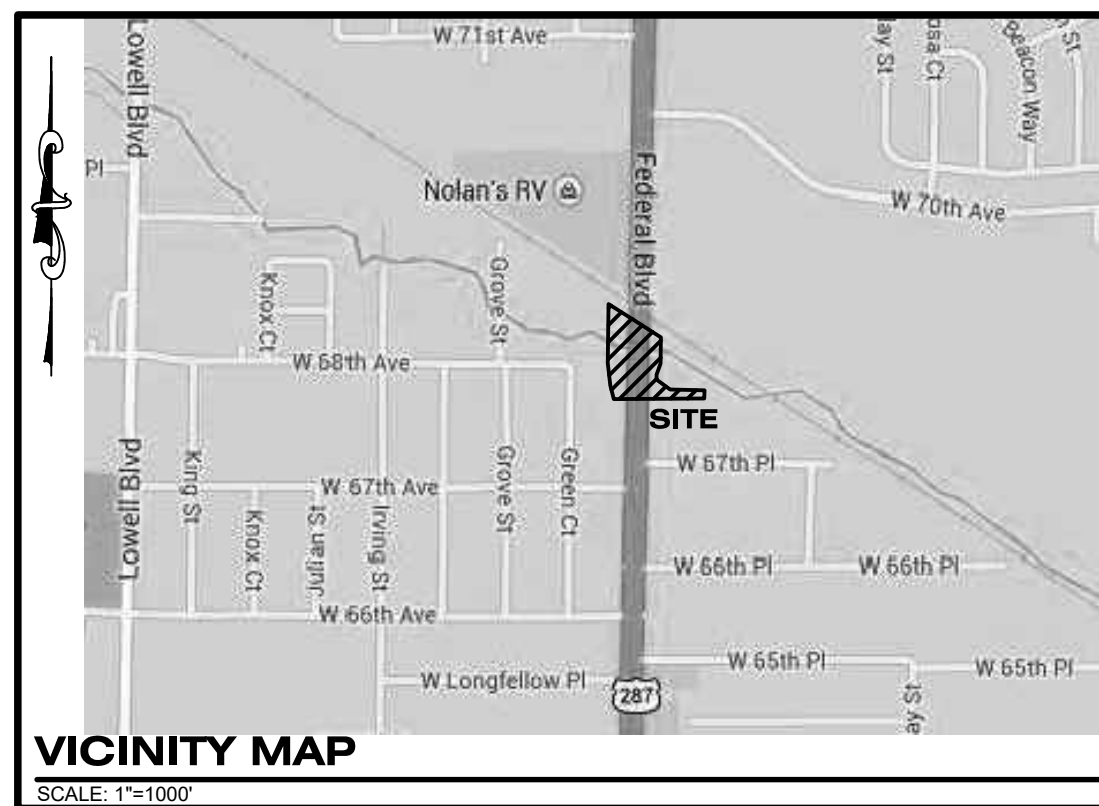
CITY ACCEPTANCE:

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER

THIS _____ DAY OF _____, 20_____.

MAYOR

ATTEST: CITY CLERK



STATEMENT ON CONTIGUITY:

THE ABOVE-DESCRIBED LAND IS CONTIGUOUS TO THE CITY OF WESTMINSTER AND MEETS THE REQUIREMENTS OF C.R.S. §31-12-104(1)(A) THAT ONE-SIXTH (1/6TH) OR MORE OF THE PERIMETER OF THE AREA TO BE ANNEXED IS CONTIGUOUS WITH THE ANNEXING MUNICIPALITY.

TOTAL PERIMETER OF AREA CONSIDERED FOR ANNEXATION: 1825.04 FEET

ONE SIXTH OF TOTAL PERIMETER OF AREA: 304.17 FEET

PERIMETER OF THE AREA CONTIGUOUS WITH EXISTING WESTMINSTER CITY LIMITS: 620.65 FEET

SURVEYOR'S CERTIFICATE:

I, CHARLES N. BECKSTROM, BEING A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT NOT LESS THAN ONE-SIXTH (1/6) OF THE PERIMETER OF THE AREA PROPOSED TO BE ANNEXED TO THE CITY OF WESTMINSTER, COLORADO, IS CONTIGUOUS WITH THE BOUNDARIES OF THE ANNEXING MUNICIPALITY, AND WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THE ANNEXATION DESCRIPTION SHOWN HEREON WAS PREPARED FOR ANNEXATION PURPOSES ONLY.

CHARLES N. BECKSTROM
COLORADO P.L.S. NO. 33202
FOR AND ON THE BEHALF OF
ENGINEERING SERVICE COMPANY



NOTICE:

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT, LAND BOUNDARY MONUMENT, OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR, PURSUANT TO STATE STATUTE 18-4-508 OF THE COLORADO REVISED STATUTES.

NOTES:

1. BEARINGS ARE BASED ON THE NORTH-SOUTH CENTERLINE OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°47'33"W BOUNDED BY THE MONUMENTS SHOWN HEREON.
2. THE ANNEXATION DESCRIPTION AND AREA SHOWN HEREON WERE PREPARED FOR ANNEXATION PURPOSES ONLY.
3. THIS IS NOT A MONUMENTED LAND SURVEY.
4. PRIOR ANNEXATION MAPS, RIGHT OF WAY PLANS AND MONUMENT RECORDS ON FILE WITH THE COUNTY, STATE HIGHWAY DEPARTMENT AND STATE BOARD OBTAINED BY ENGINEERING SERVICE COMPANY DURING THE COURSE OF THIS ANNEXATION MAP HAVE SHOWN THAT THERE WERE TWO PHYSICALLY MONUMENTED LOCATIONS FOR THE CENTER QUARTER CORNER OF SECTION 5, T.3S., R.68W. ENGINEERING SERVICE COMPANY TRIED TO RECOVER THESE CORNERS DURING THE COURSE OF GATHERING DATA FOR THIS ANNEXATION MAP, HOWEVER NEITHER OF THESE CORNERS WERE FOUND TO EXIST IN THE FIELD. RECENT CONSTRUCTION FOR FEDERAL BOULEVARD IMPROVEMENTS HAVE OBLITERATED THESE CORNERS AND TIES AS SHOWN ON CDOT R.O.W. PLANS AND MONUMENT RECORDS. THE LOCATION FOR THE CENTER QUARTER CORNER SHOWN HEREON IS BASED ON THE INTERSECTION OF THE N-S AND E-W CENTERLINES FOR SECTION 5 PER OUR FIELD LOCATION OF THE POSITIONS FOR THE FOUND FOUR SECTION QUARTER CORNERS SHOWN HEREON.

CLERK AND RECORDER'S CERTIFICATE:

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20_____ AT _____ O'CLOCK _____ M.

ADAMS COUNTY CLERK AND RECORDER

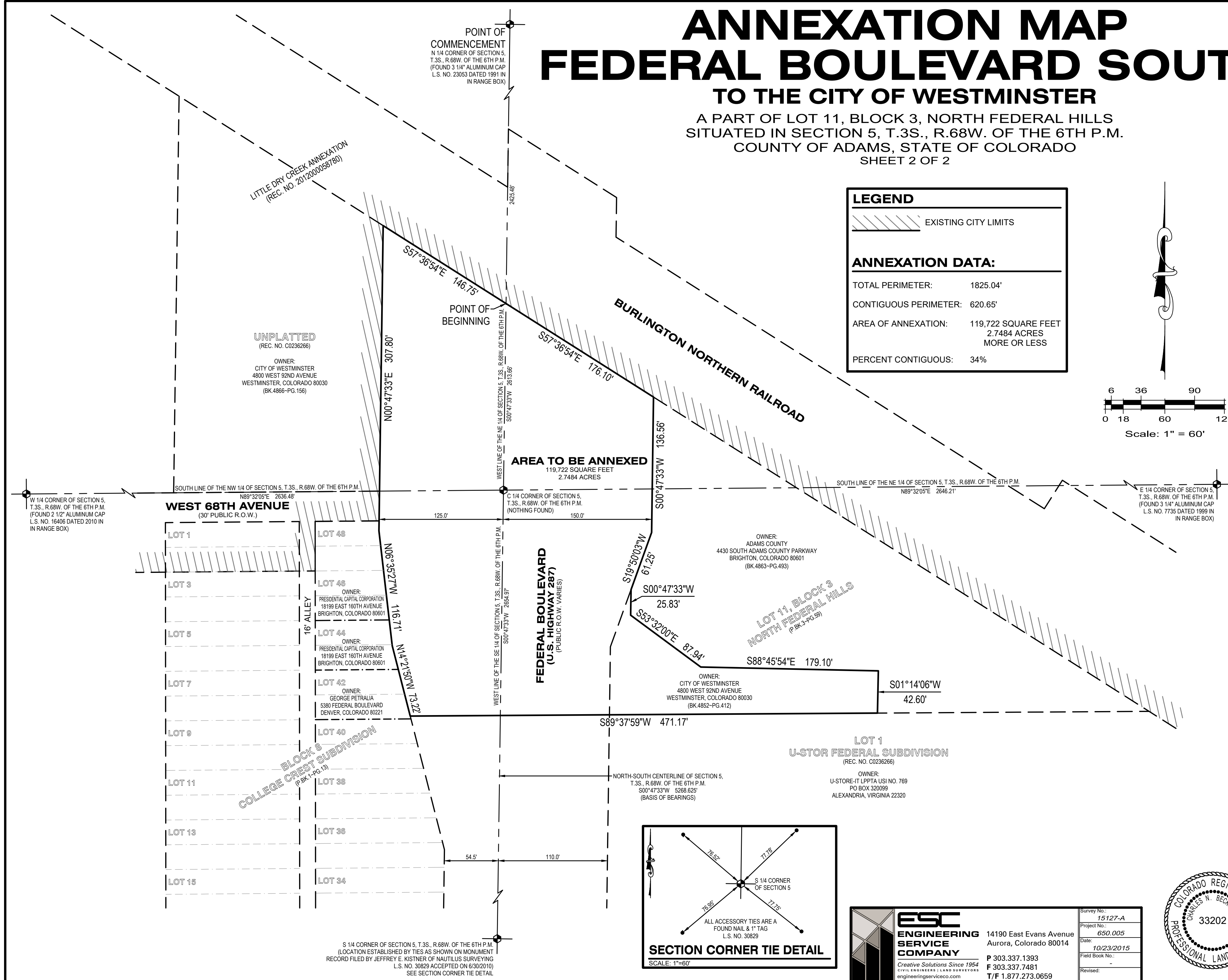
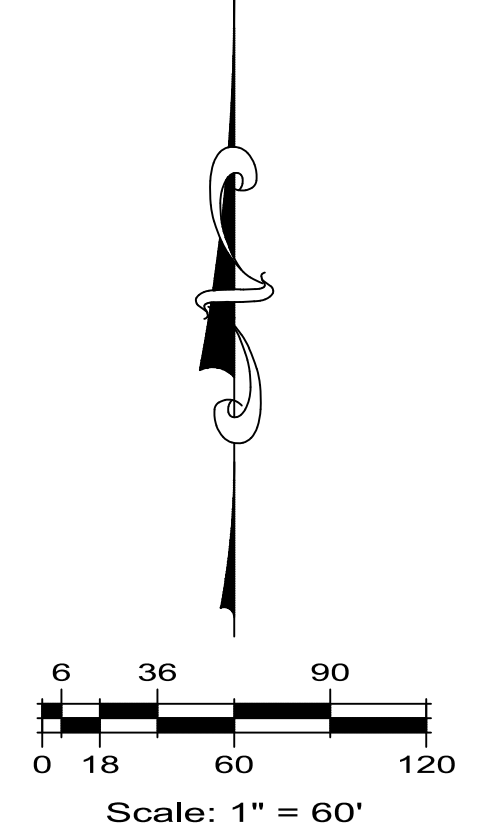
BY: DEPUTY CLERK

<p>ESC ENGINEERING SERVICE COMPANY <small>Creative Solutions Since 1954 CIVIL ENGINEERS LAND SURVEYORS engineeringserviceco.com</small></p>	14190 East Evans Avenue Aurora, Colorado 80014 P 303.337.1393 F 303.337.7481 T/F 1.877.273.0659	Survey No.: 15127-A Project No.: 650.005 Date: 10/23/2015 Field Book No.: - Revised:
--	---	--

ANNEXATION MAP FEDERAL BOULEVARD SOUTH TO THE CITY OF WESTMINSTER

A PART OF LOT 11, BLOCK 3, NORTH FEDERAL HILLS
SITUATED IN SECTION 5, T.3S., R.68W. OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 2

LEGEND	
	EXISTING CITY LIMITS
ANNEXATION DATA:	
TOTAL PERIMETER:	1825.04'
CONTIGUOUS PERIMETER:	620.65'
AREA OF ANNEXATION:	119,722 SQUARE FEET 2.7484 ACRES MORE OR LESS
PERCENT CONTIGUOUS:	34%



POINT OF COMMENCEMENT
N 1/4 CORNER OF SECTION 5,
T.3S., R.68W. OF THE 6TH P.M.
(FOUND 3 1/4" ALUMINUM CAP
L.S. NO. 23053 DATED 1991 IN
IN RANGE BOX)

LITTLE DRY CREEK ANNEXATION
(REC. NO. 2012000058780)

UNPLATTED
(REC. NO. C0236266)

OWNER:
CITY OF WESTMINSTER
4800 WEST 92ND AVENUE
WESTMINSTER, COLORADO 80030
(BK.4866-PG.156)

AREA TO BE ANNEXED
119,722 SQUARE FEET
2.7484 ACRES

W 1/4 CORNER OF SECTION 5,
T.3S., R.68W. OF THE 6TH P.M.
(FOUND 2 1/2" ALUMINUM CAP
L.S. NO. 16406 DATED 2010 IN
IN RANGE BOX)

WEST 68TH AVENUE
(30' PUBLIC R.O.W.)

FEDERAL BOULEVARD
(U.S. HIGHWAY 287)
(PUBLIC R.O.W. VARIES)

OWNER:
ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PARKWAY
BRIGHTON, COLORADO 80601
(BK.4863-PG.493)

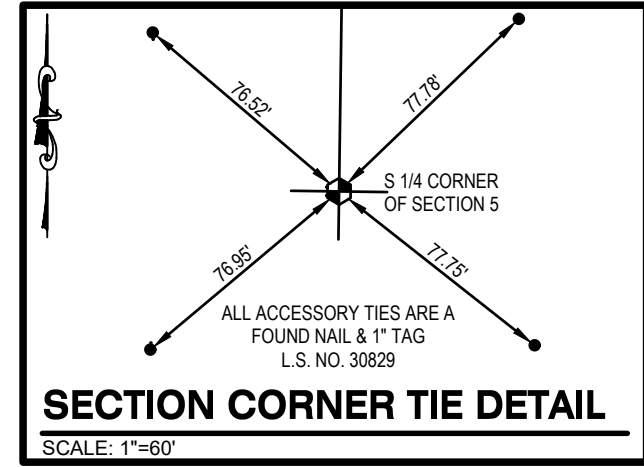
LOT 11, BLOCK 3
NORTH FEDERAL HILLS
(P. BK.3-PG.99)

OWNER:
CITY OF WESTMINSTER
4800 WEST 92ND AVENUE
WESTMINSTER, COLORADO 80030
(BK.4852-PG.412)

LOT 1
U-STOR FEDERAL SUBDIVISION
(REC. NO. C0236266)

OWNER:
U-STOR-IT LP/PTA USI NO. 769
PO BOX 320099
ALEXANDRIA, VIRGINIA 22320

BLOCK 3
COLLEGE CREST SUBDIVISION
(P. BK.1-PG.13)



S 1/4 CORNER OF SECTION 5, T.3S., R.68W. OF THE 6TH P.M.
(LOCATION ESTABLISHED BY TIES AS SHOWN ON MONUMENT
RECORD FILED BY JEFFREY E. KISTNER OF NAUTILUS SURVEYING
L.S. NO. 30829 ACCEPTED ON 6/30/2010)
SEE SECTION CORNER TIE DETAIL

ESC ENGINEERING SERVICE COMPANY
14190 East Evans Avenue
Aurora, Colorado 80014
P 303.337.1393
F 303.337.7481
T/F 1.877.273.0659

Survey No.:	15127-A
Project No.:	650.005
Date:	10/23/2015
Field Book No.:	-
Revised:	-







ATTACHMENT B



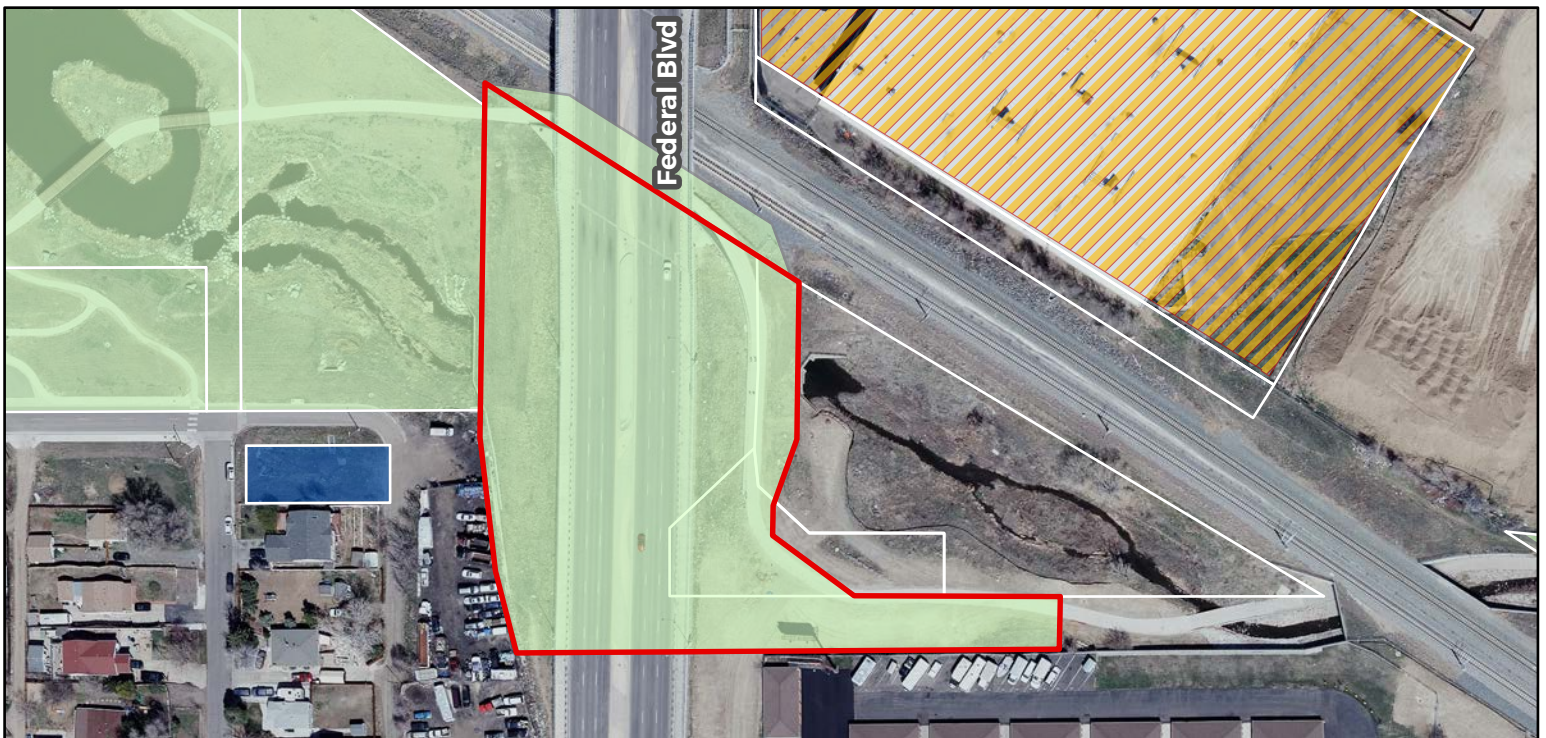
Before Annexation

Comp Plan Designation

TMUND	
City Open Space	
Public/Quasi Public	
Parcel to be annexed	







After Annexation



ATTACHMENT C



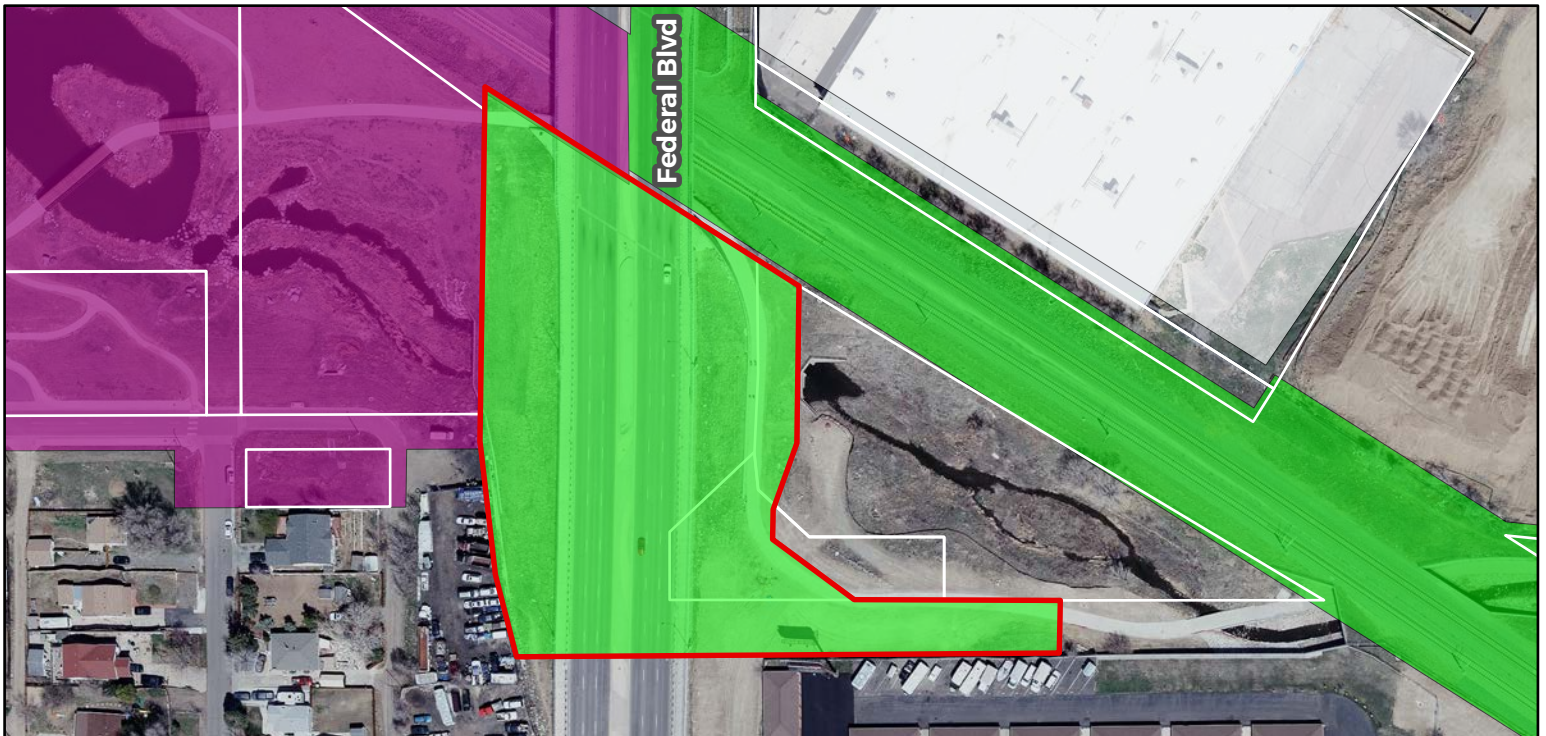
Before Annexation

Zone Code	
O-1	
PUD	
SPD	
Parcel to be annexed	

0 100 200 Feet



After Annexation



Attachment 4

ANNEXATION DESCRIPTION:

A PART OF LOT 11, BLOCK 3, NORTH FEDERAL HILLS AND A PART OF SECTION 5, T.3S., R.68W., OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE N1/4 CORNER OF SECTION 5, T.3S., R.68W., OF THE 6TH P.M.;
THENCE S00°47'33"W ALONG THE WEST LINE OF THE NE 1/4 OF SAID SECTION 5, A DISTANCE OF 2425.48 FEET TO A POINT ON THE BURLINGTON NORTHERN RAILROAD SOUTHWESTERLY R.O.W. LINE AND THE POINT OF BEGINNING;
THENCE S57°36'54"E ALONG SAID SOUTHWESTERLY R.O.W. LINE, A DISTANCE OF 176.10 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN BOOK 4863 AT PAGE 493, ADAMS COUNTY RECORDS;
THENCE S00°47'33"W ALONG THE WEST LINE OF SAID PARCEL AND ALONG THE EASTERLY R.O.W. LINE OF FEDERAL BOULEVARD, A DISTANCE OF 136.56 FEET;
THENCE S19°50'03"W CONTINUING ALONG SAID WEST LINE AND ALONG SAID EASTERLY R.O.W. LINE A DISTANCE OF 61.25 FEET TO THE NORTH CORNER OF A PARCEL OF LAND OWNED BY THE CITY OF WESTMINSTER, COLORADO, AS DESCRIBED IN INSTRUMENT RECORDED IN BOOK 4852 AT PAGE 412, ADAMS COUNTY RECORDS;
THENCE ALONG THE NORTHERLY LINE OF SAID CITY OF WESTMINSTER PARCEL THE FOLLOWING THREE (3) COURSES:

- 1) THENCE S00°47'33"W A DISTANCE OF 25.83 FEET;
- 2) THENCE S53°32'00"E A DISTANCE OF 87.94 FEET;
- 3) THENCE S88°45'54"E A DISTANCE OF 179.10 FEET;

THENCE S01°14'06"W ALONG THE EAST LINE OF SAID CITY OF WESTMINSTER PARCEL, A DISTANCE OF 42.60 FEET TO A POINT ON THE NORTH LINE OF LOT 1, U-STOR FEDERAL SUBDIVISION;
THENCE S89°37'59"W ALONG THE SOUTH LINE OF SAID CITY OF WESTMINSTER PARCEL AND LONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 471.17 FEET TO A POINT ON THE WESTERLY R.O.W. LINE OF FEDERAL BOULEVARD;
THENCE ALONG THE WESTERLY R.O.W. LINE OF FEDERAL BOULEVARD AND THE EAST LINE OF A PARCEL OF LAND OWNED BY THE CITY OF WESTMINSTER, COLORADO AS DESCRIBED IN INSTRUMENT RECORDED IN BOOK 4866 AT PAGE 156, ADAMS COUNTY RECORDS FOLLOWING THREE (3) COURSES:

- 1) THENCE N14°21'50"W A DISTANCE OF 73.22 FEET;
- 2) THENCE N06°35'27"W A DISTANCE OF 116.71 FEET;
- 3) THENCE N00°47'33"E A DISTANCE OF 307.80 FEET TO A POINT ON THE SOUTHWESTERLY R.O.W. LINE OF THE BURLINGTON NORTHERN RAILROAD;

THENCE S57°36'54"E ALONG SAID SOUTHWESTERLY R.O.W. LINE, A DISTANCE OF 146.75 FEET TO THE POINT OF BEGINNING.

SAID ANNEXATION PARCEL CONTAINS (119,722 SQUARE FEET) 2.7484 ACRES, MORE OR LESS, SUBJECT TO ALL EASEMENTS AND ENCUMBRANCES OF RECORD.



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting
February 28, 2023



Strategic Priority 4: Quality of Life – Ensure that Westminster offers a diverse range of amenities and activities for residents, businesses, and visitors that honor the City's history and supports the arts, parks, recreation, open spaces, and libraries.

SUBJECT: Public Hearing and Action on Annexation of Property, Comprehensive Plan Amendment, and Designation of Zoning for Property Located at 3421 and 3431 Mosko Court

PREPARED BY: Patrick Caldwell, Senior Planner

RECOMMENDED CITY COUNCIL ACTION:

1. Recommend that City Council approve the Annexation of Property Located at 3421 and 3431 Mosko Court based on a finding that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code
2. Recommend that City Council approve the Comprehensive Plan Designation as City Open Space for Property Located at 3421 and 3431 Mosko Court based on a finding that the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.
3. Recommend that City Council approve the Designation of Zoning as SPD for Property Located at 3421 and 3431 Mosko Court based on a finding that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

SUMMARY STATEMENT:

- The 0.136-acre property at 3421 Mosko Court, which is Lot 7 of Block 1 in the Nash Subdivision, and the 0.014-acre property at 3431 Mosko Court, which is Lot 6 of Block 1 in the Nash Subdivision are City owned properties and are commonly referenced as the Mosko Court Properties. The total acreage to be annexed is 0.15 acres.
- The properties are small portions of the rear of these two lots, and were purchased by the City in 2018 to be used as right of way for Creekside Drive that is part of the larger City-owned Little Dry Creek Open Space Corridor that is adjacent to these lots.
- The portion of these lots that the City owns are presently vacant.

- The homes that are presently on the remainder of these lots are to remain, and no changes are proposed by the City for the existing homes or the remainder of the lots.
- The existing homes front onto Mosko Court in unincorporated Adams County, and do not have vehicular access to Creekside Drive.

FISCAL IMPACT:

\$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

1. Should Planning Commission recommend that City Council approve the annexation for the subject property known as the Mosko Court Properties?
2. Should Planning Commission recommend that City Council approve the Comprehensive Plan Designation of Open Space for the subject property known as the Mosko Court Properties?
3. Should Planning Commission recommend that City Council approve the Zoning Designation of SPD for the subject property known as the Mosko Court Properties?

ALTERNATIVE(S):

1. Planning Commission could recommend that City Council deny the Annexation of the Mosko Court Properties. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space that is part of the right of way of Creekside Drive. Staff finds that the annexation is compliant with Section 11-5-1 of the Westminster Municipal Code.
2. Planning Commission could recommend that City Council deny the Comprehensive Plan Designation as City Open Space for the Mosko Court Properties. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space that is part of the right of way of Creekside Drive Staff finds the Comprehensive Plan Designation is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code..
3. Planning Commission could recommend that City Council deny the Zoning Designation of SPD for the Mosko Court Properties. Staff does not recommend this option because the land is owned by the City and is used for passive City Open Space that is part of the right of way of Creekside Drive and was intended to be incorporated into the Westminster Station Area SPD. Staff finds that the zoning designation is generally supported by the criteria set forth in Section 11-5-3 of the Westminster Municipal Code.

BACKGROUND INFORMATION:

Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a Preliminary Development Plan (PDP) and an Official Development Plan (ODP) pursuant to the land use allowances established by the Comprehensive Plan. At this time no development is proposed for these City owned properties and a PDP and ODP are not proposed for these properties. Any future development will comply with both the Comprehensive Plan designation of City Open Space, and the zoning designation of SPD.

History of Subject Property

The properties were purchased by the City in 2018, and are part of the south slope of Creekside Drive in the Westminster Station Park that is part of the Little Dry Creek Open Space Corridor. The properties have been used as right of way since the City purchase.

Nature of Request

The City owns these properties that total 0.150-acres, and is annexing the land into the City, designating the Comprehensive Plan as City Open Space, and designating the zoning for the site as SPD. This expands the Westminster Station Park in the Little Dry Creek Open Space Corridor in the City.

Applicant

City of Westminster
Contact: Seth Plas, Capital Projects Administrator
Street Address: 4800 West 92nd Avenue,
Westminster, Colorado 80031

Property Owner

City of Westminster
Contact: David R. Downing, Director of Community Development
Street Address: 4800 West 92nd Avenue,
Westminster, Colorado 80031

Location

The Mosko Court properties are on the south side of Creekside Drive in the Westminster Station Park. The remainder of these lots are not owned by the City of Westminster and are in unincorporated Adams County. The existing dwellings on Lots 6 and 7 face onto Mosko Court and they take their access from Mosko Court and they have no vehicular or pedestrian access to the Westminster Station Park.

Surrounding Land Uses and Comprehensive Land Use Plan Designation

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	City of Westminster Station Park that is part of the Little Dry Creek Open Space Corridor	SPD	Public/Quasi Public	City of Westminster Station Park area that is part of the Little Dry Creek Open Space Corridor
East	City of Westminster Station Park that is part of the Little Dry Creek Open Space Corridor	SPD	City Open Space	City of Westminster Station Park area that is part of the Little Dry Creek Open Space Corridor
South	Nash Subdivision in unincorporated Adams County	NA	NA	Nash Subdivision in unincorporated Adams County
West	City of Westminster Station Park that is part of the Little Dry Creek SPD Corridor	SPD	City Open Space	City of Westminster Station Park area that is part of the

				Little Dry Creek Open Space Corridor
--	--	--	--	--

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before Planning Commission shall be published at least ten days prior to such hearing and at least ten days prior to City Council public hearings. Notice was published in the Westminster Window by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City’s Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.
- **Written Notice:** At least ten days prior to the date of the public hearing, the applicant shall send notice by first-class mail to occupants, property owners, and homeowner’s associations registered with the City within 1,000 feet of the subject property and in accordance with the requirements of this section. The applicant has provided the City’s Planning Manager with a certification that the required notices were mailed by the required deadline

Westminster Municipal Code Analysis

11-5-1. - Annexations.

The annexation of property to the City shall occur pursuant to and be governed by the provisions of Sections 31-12-101, et seq., C.R.S., also known as the Municipal Annexation Act of 1965, as the same may from time to time be amended.

The annexation of City owned property is in compliance with all requirements outlined in C.R.S. 31-12-01.

C.R.S. 31-12-15 requires that annexed land be zoned within 90 days of the annexation. The zoning designation for this property will be reviewed concurrently with the annexation and this will meet the 90-day requirement.

11-5-21. - Standards for Approval of Land Use Plan Amendments.

(B) In reviewing an application for an amendment to the Land Use Plan, the following criteria shall be considered:

- 1. The proposed amendment is consistent with the vision, intent and applicable policies of the Comprehensive Plan and other adopted plans, policies and guidelines.*

The proposed Comprehensive Plan designation of City Open Space is consistent with the vision, intent and applicable policies of the Comprehensive Plan and other adopted plans, policies and guidelines. The existing Comprehensive Plan indicates the Mosko Court Properties and adjacent areas are to be part of the Little Dry Creek Open Space Corridor.

- 2. The proposed amendment serves a substantial public purpose and will not be substantially detrimental to the surrounding lands.*

The existing Comprehensive Plan indicates the Mosko Court Properties and adjacent areas are to be part of the Little Dry Creek Open Space Corridor. Open Space serves a substantial public purpose and adding the Mosko Court Properties to the City will not be detrimental to the surrounding Open Space land in Westminster Station Park.

- 3. The proposed amendment shall consider the nature and degree of impacts on neighboring lands. Individual parcels or groups of parcels shall not be subject to a change in land use in such way that the new designation is substantially inconsistent with the uses of the surrounding area.*

The proposed Comprehensive Plan designation of City Open Space is consistent with the existing Plan designation of City Open Space for land adjacent to the Mosko Court Properties.

- 4. The proposed amendment is necessary in order to address substantially changed conditions in the immediate area of the subject tract since adoption of the Land Use Plan or an error contained in that document.*

The proposed amendment to the Comprehensive Plan is necessary because the annexation of the Mosko Court Properties changes the status from Unincorporated Adams County to a status as part of the incorporated City of Westminster.

- 5. The proposed amendment provides for the orderly physical growth of the City.*

This proposed amendment to the Comprehensive Plan assists with the orderly physical growth of the City by adding to the existing Open Space lands that are adjacent in Westminster Station Park in the Little Dry Creek Open Space Corridor.

- 6. The proposed amendment furthers an important public policy, including but not limited to a need for affordable housing, protection of historic resources, preservation of Open Space, or reduction in water demand by virtue of a different land use category.*

The proposed amendment to the Comprehensive Plan to designate the Mosko Court Properties as Open Space furthers an important public policy that supports preservation of Open Space.

- 7. The proposed amendment is appropriate in order to address a uniqueness in the size, shape and character of the parcel in relation to neighboring lands. Proof that a small parcel is unsuitable for use as presently designated or that there have been substantial changes in the immediate area may justify an amendment subject to evidence furnished by the applicant.*

The proposed amendment to the Comprehensive Plan is appropriate in order to address the annexation of the Mosko Court Properties into the City.

- 8. The proposed amendment will not negatively impact the transportation system, drainage, water and sewer infrastructure, water supply, fire and police services, the parks and Open Space system, or the City's general fund revenue.*

The proposed amendment to the Comprehensive Plan to designate the Mosko Court Properties as City Open Space will not negatively impact the transportation system, drainage system, water and sewer infrastructure, water supply, fire and police services, the parks and Open Space system, or the City's general fund revenues.

- 9. The proposed amendment will not negatively impact referral agencies such as the Colorado Department of Transportation, local school districts, the Rocky Mountain Metropolitan Airport, or other agencies pertinent to the location and nature of the requested amendment.*

The proposed amendment to the Comprehensive Plan to designate the Mosko Court Properties as City Open Space will not negatively impact referral agencies such as the Colorado Department of Transportation, local school districts, the Rocky Mountain Metropolitan Airport, or other agencies pertinent to the location and nature of the requested amendment.

- 10. The proposed amendment establishes minimal environmental impacts or has sufficiently mitigated any identified impacts.*

The proposed amendment to the Comprehensive Plan to designate the Mosko Court Properties as City Open Space has minimal environmental impacts because the land has been restored to its natural state.

Staff's analysis of the ten criteria listed in W.M.C. 11-5-21, above, generally supports the proposed amendment to the land use plan in the City's Comprehensive Plan to designate the Mosko Court Properties as City Open Space.

11-5-3. - Standards for Approval of Zonings and Rezoning.

(A) The following criteria shall be considered in the approval of any application for zoning or rezoning to a zoning district other than Planned Unit Development (PUD):

- 1. The proposed zoning or rezoning is in conformance with the City's Comprehensive Plan and all City policies, standards and sound planning principles and practice.*

The designation of this site as an SPD zone is consistent with the City's Comprehensive Plan and all City policies, standards and sound planning principles and practice because the site is presently used as Westminster Station Park, and is adjacent to existing City owned Open Spaces. The existing adjacent City owned Open Space is part of the Little Dry Creek Open Space Corridor, and this will become part of that larger Corridor.

- 2. There is either existing capacity in the City's street, drainage or utility systems to accommodate the proposed zoning or rezoning, or arrangements have been made to provide such capacity in a manner and timeframe acceptable to City Council.*

There is existing capacity in the City's street, drainage and utility systems to accommodate this site as an SPD Zone because as an SPD Zone there is very limited impact to the City's existing infrastructure. No development is proposed, so new streets are not needed, existing drainage will not change, and no utilities are needed for the site. The site will be incorporated into the adjacent Little Dry Creek Open Space Corridor.

(B) The City may initiate a rezoning of any property in the City without the consent of the property owner, including property annexed or being annexed to the City, provided a City-initiated zoning or rezoning shall not take effect unless City Council finds, as part of the final rezoning ordinance, at least one of the following:

- 1. The current zoning is inconsistent with one or more of the goals or objectives of the City's Comprehensive Land Use Plan.*

Staff finds that the current zoning for residential use in unincorporated Adams County is not consistent with the goal of the City's Comprehensive Plan to expand the Open Space areas in the Little Dry Creek Open Space Corridor. Annexing the Mosko Court Properties, and designating the zoning as SPD is consistent with the goals of the Comprehensive Plan.

- 2. The current zoning is incompatible with one or more of the surrounding land uses, either existing or approved.*

NA

- 3. The surrounding development is or may be adversely impacted by the current zoning.*

NA

- 4. The City's water, sewer or other services are or would be significantly and negatively impacted by the current zoning and the property is not currently being served by the City.*

NA

(C) Any City-initiated rezoning shall satisfy the standards set forth in subsection (A) above.

As noted in A above, the designation of the site as an SPD Zone satisfies the standards set forth in that subsection.

(D) Any application for zoning or rezoning to PUD shall satisfy the requirements of Section 11-5-14, W.M.C.
NA

(E) Any zoning or rezoning to Specific Plan District shall satisfy the standards set forth in Section 11-5-20, W.M.C.

The designation of the site as an SPD Zone satisfies the standards for SPD zones as set forth in Section 11-5-20 W.M.C.

Neighborhood Meetings and Public Comments

A neighborhood meeting was not held for the purchase of this property in 2018, this annexation, the Comprehensive Plan designation to SPD, or for Zoning Designation to SPD in 2023. Annexation of City owned land does not require neighborhood meetings, or neighborhood contact. All adjacent property is either owned by the City of Westminster and is used as Open Space, or the property is in unincorporated Adams County. This annexation is focused on supporting the larger City owned Open Spaces in the Little Dry Creek corridor.

Summary of Staff Recommendation

The annexing ordinance states that the area proposed to be annexed is owned by the City of Westminster, and is not solely a public street or right-of-way. The Staff recommendation is for Annexation of the Mosko Court Properties, Comprehensive Plan land use designation as City Open Space, and Zoning designation as SPD because it is open space that is part of the larger City owned Open Spaces in the Little Dry Creek Corridor.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of Quality of Life is met by expanding the size of the Little Dry Creek Open Space corridor with the addition of this property. All residents of the City can enjoy this Open Space amenity.

Respectfully Submitted,



John McConnell, AICP
Interim Planning Manager

ATTACHMENTS:

Attachment 1: Annexation Map of the Mosko Court Properties

Attachment 2: Comprehensive Plan Amendment

Attachment 3: Zoning Map Amendment

Attachment 4: Legal Description

ANNEXATION MAP

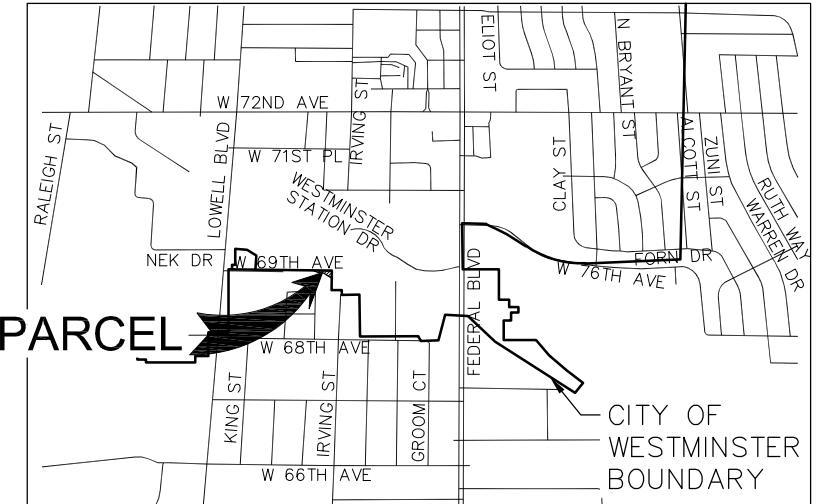
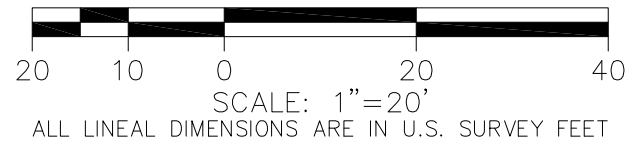
PART OF LOT 6 AND LOT 7, BLOCK 1, NASH SUBDIVISION TO THE CITY WESTMINSTER

PARCELS OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 1

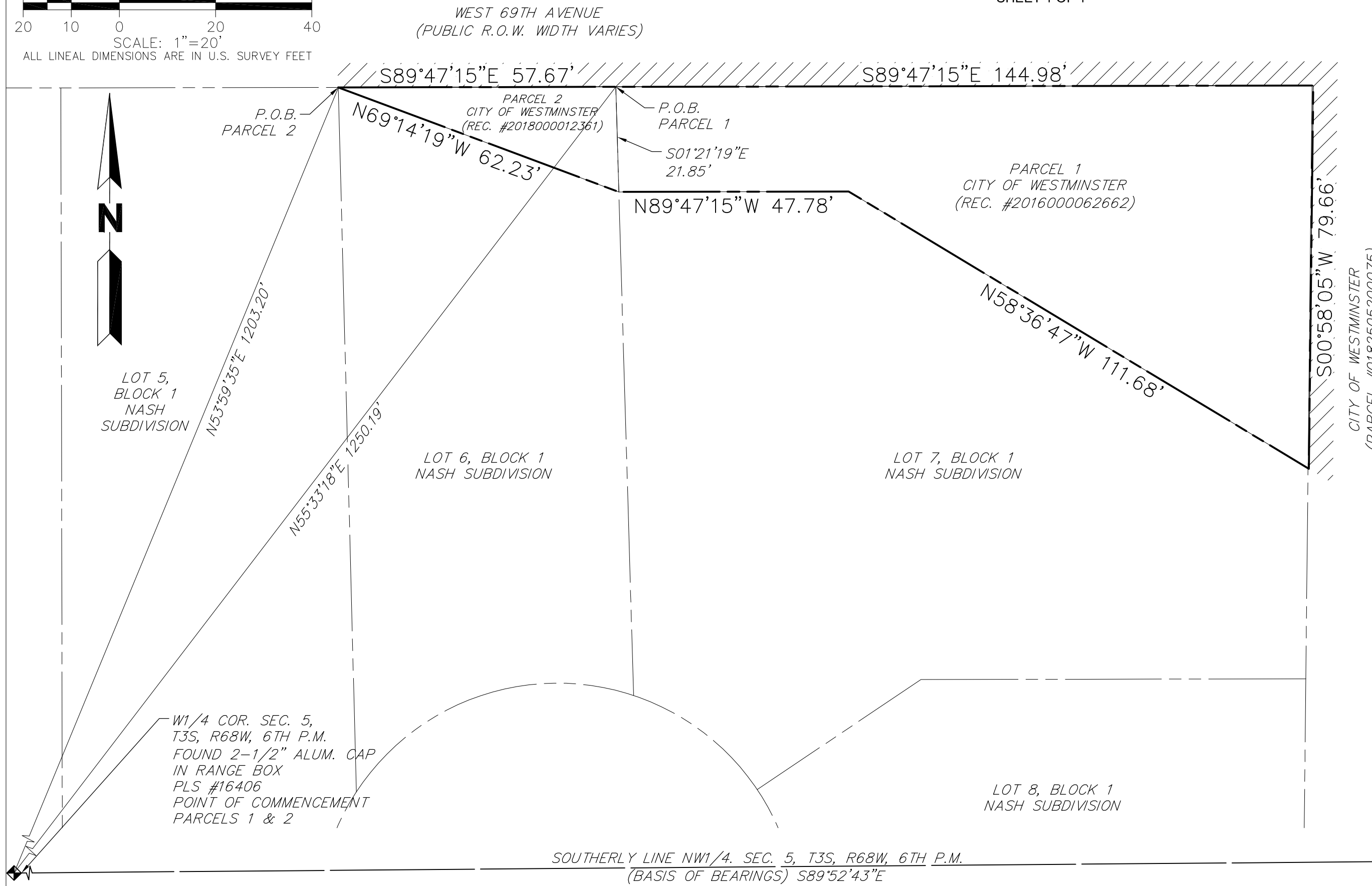
LEGEND

- ANNEXATION BOUNDARY LINE
- CITY OF WESTMINSTER CONTIGUOUS BOUNDARY
- SECTION LINE
- RIGHT-OF-WAY LINE
- SECTION CORNER



ANNEXATION PARCEL

VICINITY MAP
SCALE 1"=2000'



PROPERTY DESCRIPTION

PARCEL 1

A PORTION OF LOT 7 BLOCK 1 NASH SUBDIVISION FILED JANUARY 26, 1995 AT RECEPTION NUMBER C0048120, IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 5, AN AXLE; THENCE N55°33'18"E A DISTANCE OF 1250.19 FEET, MORE OR LESS, TO THE NORTHWEST CORNER OF LOT 7 BLOCK 1 NASH SUBDIVISION AND THE POINT OF BEGINNING; THENCE S89°47'15"E, ALONG THE NORTH LINE OF LOT 7 BLOCK 1, A DISTANCE OF 144.98 FEET, MORE OR LESS, TO THE NORTHEAST CORNER OF SAID LOT 7 BLOCK 1; THENCE S00°58'05"W, ALONG THE EAST LINE OF SAID LOT 7 BLOCK 1, A DISTANCE OF 79.66 FEET; THENCE N58°36'47"W, DEPARTING THE EAST LINE OF SAID LOT 7 BLOCK 1, A DISTANCE OF 111.68 FEET; THENCE N89°47'15"W A DISTANCE OF 47.78 FEET, MORE OR LESS, TO A POINT ON THE WEST LINE OF SAID LOT 7 BLOCK 1; THENCE N01°21'19"W, ALONG THE WEST LINE OF SAID LOT 7 BLOCK 1, A DISTANCE OF 21.85 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

CONTAINING 0.136 ACRES MORE OR LESS.

PARCEL 2

A PORTION OF LOT 6 BLOCK 1 NASH SUBDIVISION FIELD JANUARY 26, 1995 AT RECEPTION NUMBER C0048120, IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 5, AN AXLE; THENCE N53°59'35"E A DISTANCE OF 1203.20 FEET, MORE OR LESS, TO THE NORTHWEST CORNER OF LOT 6 BLOCK 1 NASH SUBDIVISION AND THE POINT OF BEGINNING; THENCE S89°47'15"E, ALONG THE NORTH LINE OF SAID LOT 6 BLOCK 1, A DISTANCE OF 57.67 FEET, MORE OR LESS, TO THE NORTHEAST CORNER OF SAID LOT 6 BLOCK 1; THENCE S01°21'19"E, ALONG THE EASTERLY LINE OF SAID LOT 6 BLOCK 1; THENCE N69°14'19"W, DEPARTING THE EASTERLY LINE OF SAID LOT 6 BLOCK 1, A DISTANCE OF 62.23 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.014 ACRES MORE OR LESS.

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE SOUTHERLY LINE OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN ASSUMED TO BEAR N89°31'35"E AND BEING MONUMENTED BY A FOUND 2-1/2" ALUM. CAP IN RANGE BOX PLS #16406 AT THE WEST QUARTER CORNER AND A FOUND 3-1/4" ALUMINUM CAP PLS #23288 AT THE CENTER QUARTER CORNER.

ANNEXATION MAP STATEMENT

I, RICHARD A. NOBBE, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT NOT LESS THAN ONE-SIXTH (1/6) OF THE PERIMETER OF THE AREA PROPOSED TO BE ANNEXED TO THE CITY OF WESTMINSTER, COLORADO IS CONTIGUOUS WITH THE BOUNDARIES OF THAT ANNEXING MUNICIPALITY, AND THAT THIS ANNEXATION MAP SUBSTANTIALLY COMPLIES WITH THE COLORADO REVISED STATUTES AND THE CITY OF WESTMINSTER, COLORADO CODES APPERTAINING THERETO.

CITY APPROVAL

ACCEPTED AND APPROVED BY THE CITY OF WESTMINSTER, THIS _____ DAY OF _____, 20____.

CITY MANAGER

ATTEST: CITY CLERK

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20____ AT _____ A.M./P.M.

ADAMS COUNTY CLERK AND RECORDER

DEPUTY CLERK

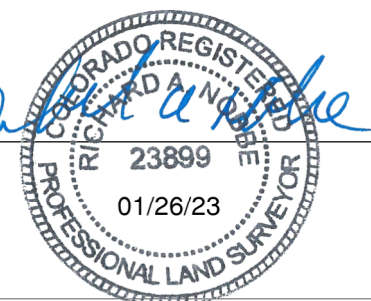
GENERAL NOTES

- FIELD WORK FOR THIS ANNEXATION MAP WAS PERFORMED DURING THE MONTH OF OCTOBER 2022.
- THIS ANNEXATION MAP DOES NOT REPRESENT A MONUMENTED LAND SURVEY, IT IS INTENDED ONLY TO DEPICT THE ANNEXATION LIMITS.

CONTIGUITY TABLE

TOTAL PERIMETER = 504.00 ± FEET
 MINIMUM REQUIRED CONTIGUITY = 84.00 ± FEET
 ACTUAL CONTIGUOUS BOUNDARY = 282.31 ± FEET
 PERCENT CONTIGUOUS BOUNDARY = 56.01%
 TOTAL AREA = 0.151 ACRES ±

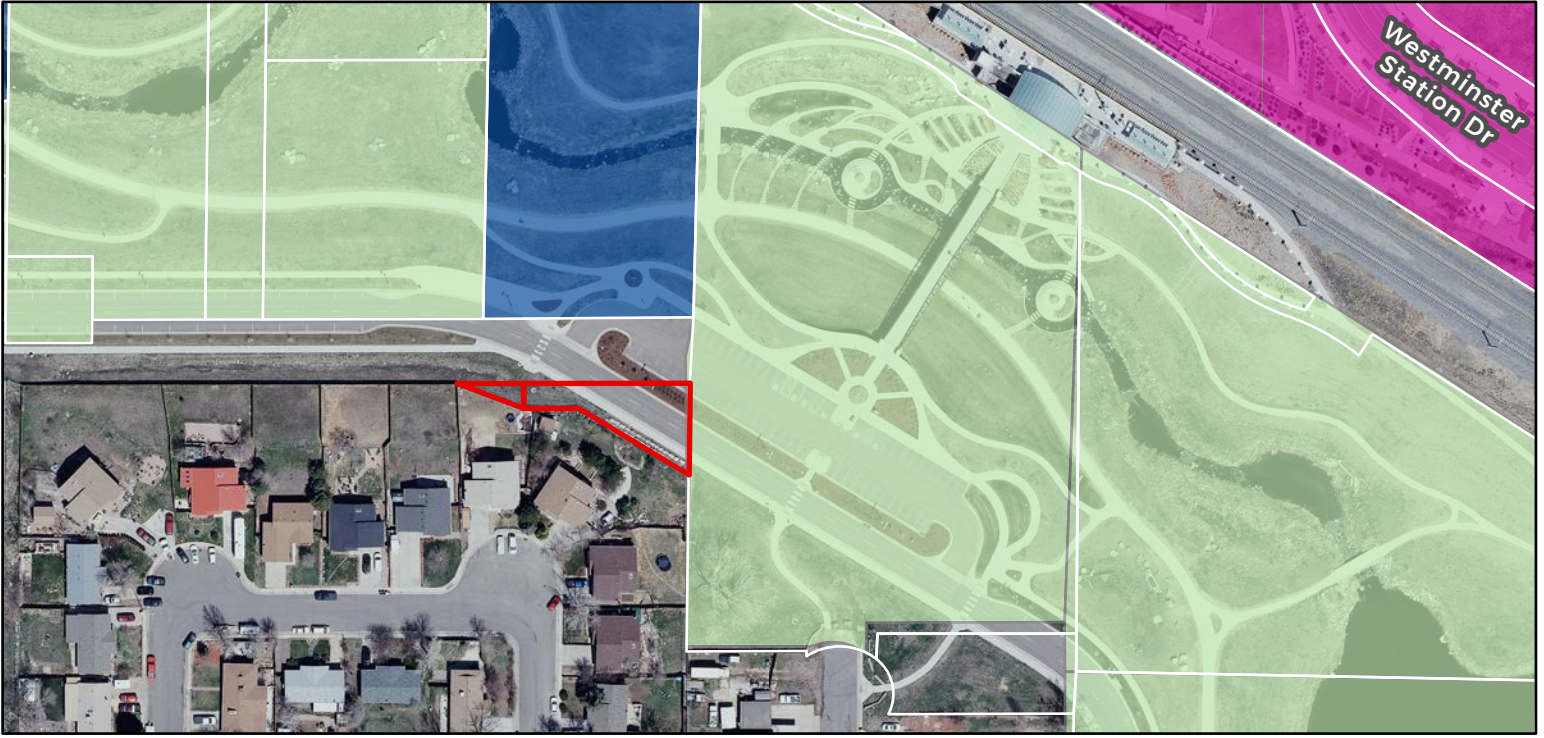
RICHARD A. NOBBE
PLS #23899



NOVEMBER 30, 2022







ATTACHMENT B

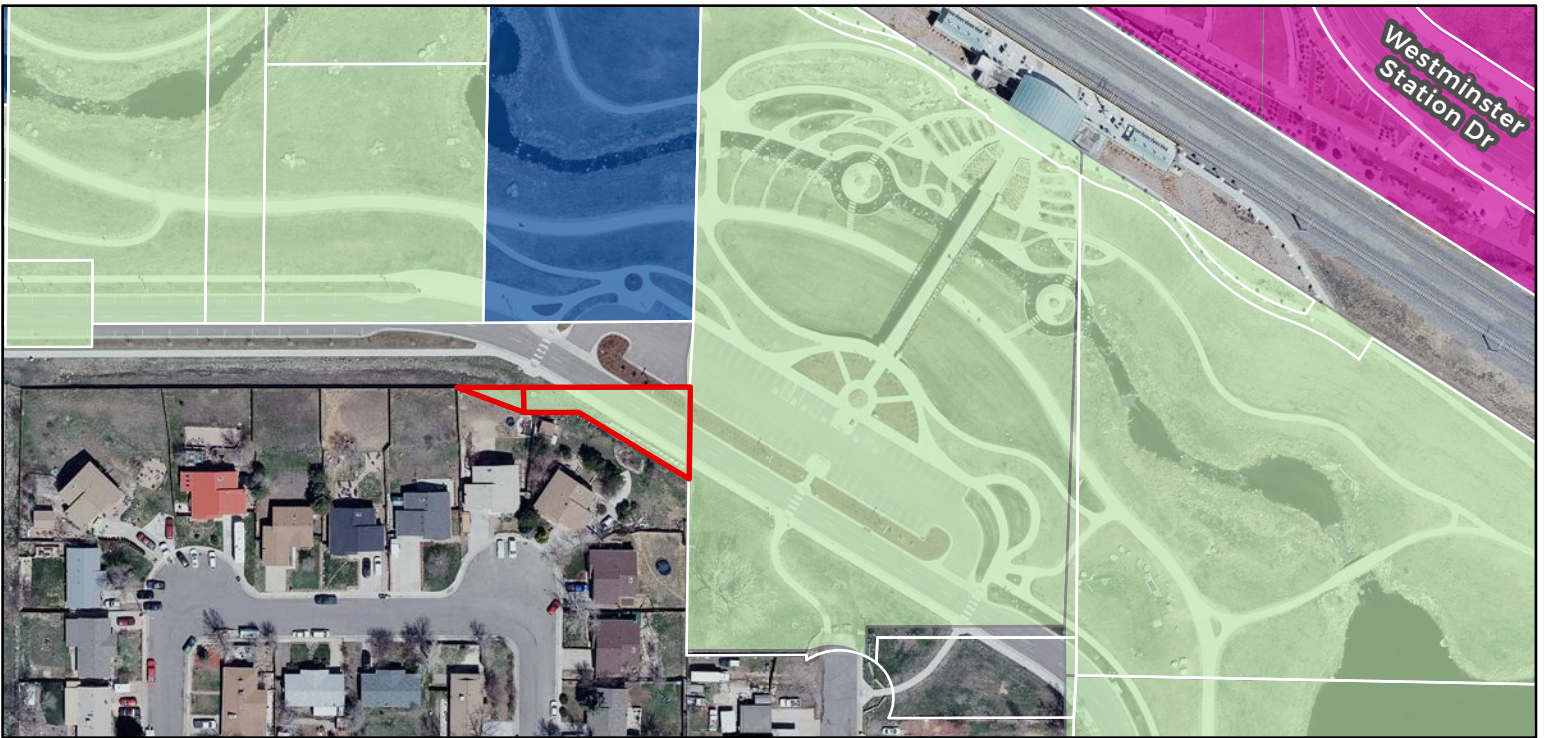


Before Annexation

Comp Plan Designation

Mixed Use Center	
City Open Space	
Public/Quasi Public	
Parcels to be annexed	



After Annexation

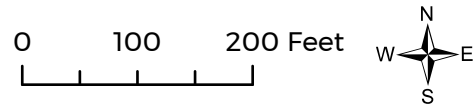


ATTACHMENT C



Before Annexation

Zone Code	
SPD	
Parcels to be annexed	



After Annexation



ATTACHMENT 4

PARCEL 1

A PORTION OF LOT 7 BLOCK 1 NASH SUBDIVISION FILED JANUARY 26, 1995 AT RECEPTION NUMBER C0048120, IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

NOTE:

1. THE BASIS OF BEARINGS IS THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, T33, R68W 6TH P.M., AS MONUMENTED WITH AN AXLE AT THE WEST END AND AN ALUMINUM CAP PLS 26288 AT THE EAST END WITH A GRID BEARING OF S 89°52'43" E.

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 5, AN AXLE; THENCE N 55°33'18" E A DISTANCE OF 1250.19 FEET, MORE OR LESS, TO THE NORTHWEST CORNER OF LOT 7 BLOCK 1 NASH SUBDIVISION AND THE POINT OF BEGINNING;
THENCE S 89°47'15" E, ALONG THE NORTH LINE OF LOT 7 BLOCK 1, A DISTANCE OF 144.98 FEET, MORE OR LESS, TO THE NORTHEAST CORNER OF SAID LOT 7 BLOCK 1;
THENCE S 00°5 8'05" W, ALONG THE EAST LINE OF SAID LOT 7 BLOCK 1, A DISTANCE OF 79.66 FEET;
THENCE N 58°36'47" W, DEPARTING THE EAST LINE OF SAID LOT 7 BLOCK 1, A DISTANCE OF 111.68 FEET;
THENCE N 89°47'15" W A DISTANCE OF 47.78 FEET, MORE OR LESS, TO A POINT ON THE WEST LINE OF SAID LOT 7 BLOCK 1;
THENCE N 01°21'19" W, ALONG THE WEST LINE OF SAID LOT 7 BLOCK 1, A DISTANCE OF 21.85 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

CONTAINING 0.136 ACRES MORE OR LESS.

PARCEL 2

A PORTION OF LOT 6 BLOCK 1 NASH SUBDIVISION FIELD JANUARY 26, 1995 AT RECEPTION NUMBER C0048120, IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

NOTE:

1. THE BASIS OF BEARINGS IS THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 5, T38, R68W 6TH P.M., AS MONUMENTED WITH AN AXLE AT THE WEST END AND AN ALUMINUM CAP PLS 26288 AT THE EAST END WITH A GRID BEARING OF S 89°52'43" E.

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 5, AN AXLE; THENCE N 53°59'35" E A DISTANCE OF 1203.20 FEET, MORE OR LESS, TO THE NORTHWEST CORNER OF LOT 6 BLOCK I NASH SUBDIVISION AND THE POINT OF BEGINNING;
THENCE S 89°47'15" E, ALONG THE NORTH LINE OF SAID LOT 6 BLOCK 1, A DISTANCE OF 57.67 FEET, MORE OR LESS, TO THE NORTHEAST CORNER OF SAID LOT 6 BLOCK 1;
THENCE S 01°21'19" E, ALONG THE EASTERLY LINE OF SAID LOT 6 BLOCK 1, A DISTANCE OF 21.85 FEET;

THENCE N 69°14'19" W, DEPARTING THE EASTERLY LINE OF SAID LOT 6 BLOCK I, A DISTANCE OF 62.23 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.014 ACRES MORE OR LESS.



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting February 28, 2023



Strategic Priority 4: Quality of Life – Ensure that Westminster offers a diverse range of amenities and activities for residents, businesses, and visitors that honor the City's history and supports the arts, parks, recreation, open spaces, and libraries.

SUBJECT: Public Hearing and Action on a Rezoning, a Preliminary Development Plan, and an Official Development Plan for Huron Farm Subdivision Planned Unit Development

PREPARED BY: Jacob P. Kasza, Senior Planner

RECOMMENDED ACTION:

1. Hold a public hearing.
2. Recommend City Council approve the Rezoning, Preliminary Development Plan, and Official Development Plan for Huron Farm Subdivision Planned Unit Development. This recommendation is based on a finding that the Rezoning, Preliminary Development Plan, and Official Development Plan are generally supported by the criteria set forth in Sections 11-5-14 and 11-5-15 of the Westminster Municipal Code.

SUMMARY STATEMENT:

- The proposed development consists of one parcel of land totaling 2.4 acres, addressed as 14781 Huron Street, see Attachment 1.
- The applicant requests to be rezoned from O-1 Open District to Planned Unit Development (PUD), see Attachment 2.
- The applicant is requesting approval of a Preliminary Development Plan (PDP) and an Official Development Plan (ODP) that would facilitate the subdivision of the property into two lots and allow for the construction of one single-family detached house on the new western lot, see Attachments 3 and 4.

FISCAL IMPACT:

\$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

Should Planning Commission recommend that City Council approve the Rezoning, PDP, and ODP for the subject property known as Huron Farm Subdivision PUD?

ALTERNATIVE(S):

1. Planning Commission could recommend denial of the Rezoning, PDP, and ODP to City Council. Staff does not recommend this option because the Rezoning, PDP, and ODP are generally supported by the criteria set forth in Sections 11-5-14 and 11-5-15 of the Westminster Municipal Code (W.M.C.).

BACKGROUND INFORMATION:

Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a PDP and ODP pursuant to the land use allowances established by the Comprehensive Plan. The Comprehensive Plan includes specific land use designations that provide a broad range of uses, and which identify allowed densities and intensities of use. The W.M.C. requires that all development be in compliance with the Comprehensive Plan.

For this development proposal, the applicant is requesting one additional housing unit on the property. The existing Comprehensive Plan designation of Residential R-1 allows for a second dwelling on the 2.4-acre property, if it is subdivided. The existing zoning of O-1 allows a maximum dwelling unit density of 0.1, meaning one dwelling unit is allowed per 10 acres. For the applicant to construct a new housing unit and subdivide the property, the property must be rezoned to PUD and the applicant must have an approved PDP and ODP. The rezoning to PUD is mandatory under Section 11-5-2 of the W.M.C. for properties over two acres in size. The ODP is being referred by the City Manager to the Planning Commission and City Council for their consideration as it identifies the proposed exceptions in greater detail than the PDP.

If City Council acts to approve these development applications, the applicant's next step will be to prepare and submit civil construction drawings and building plans to the City for approval.

History of Subject Property

The property was annexed into the City in 2003 for the purpose of providing a future connection to the City's water and sewer system. At that time the property was designated as low density residential in the Comprehensive Plan and zoned as O-1. The parcel is currently designated Residential R-1 under the Comprehensive Plan. The existing house was built in 1975 and the property has been used for residential and agricultural uses since then.

Nature of Request

The applicant is seeking approval of three development applications to allow for the development of one additional single-family detached home. The first application proposes to rezone the parcel from O-1 to PUD. The second application proposes a new PDP for the parcel. The third application proposes a new ODP for the parcel.

Applicant/ Property Owners

Jared and Jan Melius
14781 Huron Street
Westminster, CO 80023

Location

The proposed development consists of one parcel of land, totaling 2.4 acres, located at 14781 Huron Street, see Attachment 1.

Surrounding Land Uses and Comprehensive Land Use Plan Designation

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	Adams County	A-1	N/A	Residential/Agriculture
East	Orchard at Westminster	PUD	Mixed Use	Residential/Retail Commercial
South	Adams County	A-1	N/A	Residential/Agriculture
West	Quail Hill	PUD	Residential R-1	Low Density Residential

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before Planning Commission or City Council shall be published and posted at least ten days prior to such hearing. Notice was published in the *Westminster Window* by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City’s Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.
- **Written Notice:** Mailed notices were sent to property owners and HOAs within 500 feet of the property boundary. The applicant initially filed their development application, mailed notices, and held the required neighborhood/project meeting before City Council approved the new ordinance to increase the notification radius. For that reason, the Planning Department, in consultation with the City Attorney’s Office, determined that the applicant may proceed with the public notification process under the requirements that existed when they filed their application. The applicant has provided the City’s Planning Manager with a certification that the required notices were mailed by the required deadline.
- Project information was also provided and maintained on the City’s Status of Planning and Development Projects webpage.

Westminster Municipal Code Analysis

11-5-14. - *Standards for Approval of Planned Unit Development Zoning, Preliminary Development Plans and Amendments to Preliminary Development Plans.*

(A) *In reviewing an application for approval of Planned Unit Development zoning and its associated Preliminary Development Plan, or an amended Preliminary Development Plan, the following criteria shall be considered:*

1. *The Planned Unit Development (PUD) zoning and the proposed land uses in the associated Preliminary Development Plan are in conformance with the City’s Comprehensive Plan and all City Codes, ordinances, and policies.*

The PDP conforms to the density and uses of the existing Comprehensive Plan designation and generally conforms with the City Code, ordinances, and policies. The proposed development is a

good infill opportunity for the City while maintaining a similar size and scale with existing adjoining uses.

2. *The Preliminary Development Plan exhibits the application of sound, creative, innovative, and efficient planning principles.*

The PDP exhibits sound and efficient planning principles. Providing access directly to West 148th Avenue will prevent the need for a flag-lot subdivision. Flag lots are not desirable as they do not provide good fire access nor space for a fire truck to turn around. The PDP will facilitate a good opportunity for infill development while maintaining the same density and character as surrounding development.

3. *Any exceptions from standard Code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Preliminary Development Plan (PDP).*

The PDP requests nine exceptions from City codes and standards, clearly listed on sheet 3 of the proposed PDP, see Attachment 3. The exceptions are supported by Staff largely due to the size and scale of the development. The development is 2.4 acres of land and includes only two residential units. The Single-family Residential Design Standards were primarily intended to accommodate larger residential subdivisions and reasonable consideration of exceptions for developments of this scale may be warranted. The applicant has listed out the standards and provided a justification for each exception.

4. *The PDP is compatible and harmonious with existing public and private development in the surrounding area.*

Staff finds that the proposed PDP is compatible and harmonious with existing development in the surrounding area. The residential uses and densities in the proposed development is very similar to the densities and uses to the north, south, and east.

5. *The PDP provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

Staff finds that the development does not represent an adverse impact to the surrounding community, and, in turn, is not affected adversely by the community. The development consists of one new house on a large lot similar to the adjoining uses to the north, south, and east.

6. *The PDP has no significant adverse impacts upon existing or future land uses nor upon the future development of the immediate area.*

Staff finds that the PDP will not have significant adverse impacts upon existing or future land uses.

7. *Streets, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

The new proposed access point on West 148th Avenue is designed in a safe manner that will not create interruptions to traffic. The additional housing unit will generate approximately 10 new vehicle trips per day.

8. *The City may require rights-of-way adjacent to existing or proposed arterial or collector streets, any easements for public utilities and any other public lands to be dedicated to the City as a condition to approving the PDP. Nothing herein shall preclude further public land dedications as a condition to ODP or plat approvals by the City.*

The PDP does not preclude future land dedications for public roadways or utilities. The application identifies that cash-in-lieu of Public Land Dedication will be provided with the Plat.

9. *Performance standards are included that ensure reasonable expectations of future Official Development Plans being able to meet the Standards for Approval of an Official Development Plan contained in Section 11-5-15, W.M.C.*

The PDP includes all of the necessary performance standards to ensure reasonable expectations for the ODP to meet the standards for approval. Most performance standards will be reviewed and shown on the ODP rather than the PDP.

10. *The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant is not in default and does not have outstanding obligations to the City.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an application for Planned Unit Development zoning, a Preliminary Development Plan or an amendment to a Preliminary Development Plan.

11-5-15. - Standards for Approval of Official Development Plans and Amendments to Official Development Plans.

(A) In reviewing an application for the approval of an Official Development Plan or amended Official Development Plan, the following criteria shall be considered:

1. *The plan is in conformance with all City Codes, ordinances, and policies.*

The ODP generally meets all City Codes, ordinances, and policies. The applicant identifies several exceptions to codes and policies that are requested for approval and acceptable based on Staff review.

2. *The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).*

The applicant has prepared the PDP and the ODP at the same time. The ODP is in conformance with their proposed PDP.

3. *The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.*

The ODP does exhibit creativity and sound use of planning and design principles. Using West 148th Avenue as the access point will negate the need for a flag lot. The proposed new lot line will allow for a sensible infill development while maintaining the same scale of development as neighboring uses.

4. *For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.*

The applicant is requesting nine exceptions with the PDP and ODP. The exceptions and justifications for the exceptions are provided in the PDP and ODP. The exceptions are supported by Staff largely due to the size and scale of the development. The development is 2.4 acres of land and includes only two residential units. The Design Standards are not tailored for developments of this scale and were primarily intended for larger residential development plans.

5. *The plan is compatible and harmonious with existing public and private development in the surrounding area.*

Staff finds that the plan is compatible with existing development in the area. The proposed ODP allows for the subdivision of the existing 2.4-acre lot into two new large lots. The existing home will remain on the eastern lot and a new home would be constructed on the western lot. The proposed new home will be limited to two stories in height. Existing private development to the east, south, and west is generally the same size and scale as the proposed development.

6. *The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

The ODP and PDP provide significant setbacks, landscaping, and screening from surrounding development. Staff finds that the proposed plan does provide for protection from adverse influences from the surrounding area and from within the development.

7. *The plan has no significant adverse impacts on future land uses and future development of the immediate area.*

The proposed ODP has no significant adverse impacts on future land uses and future development. The surrounding developments are either within the County or limited to Residential R-1 uses by the Comprehensive Plan. Any future uses in these areas will also be limited to the same size and scale as is proposed in the ODP. Due to the distance and barriers to the Orchard Town Center, this development will not create adverse impacts on that development.

8. *The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.*

The ODP proposes a single house on a newly subdivided lot. The proposed home placement is safe, convenient, and harmonious to existing structures and allows for the appropriate relation of space to intended uses.

9. *Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.*

The proposed design of the new home and the lot is clearly shown on the ODP. The proposed new home and lot are both designed with sound design principles and practice. The lot and home are both designed to be compatible and complementary to nearby existing development.

10. *The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.*

The proposed new home meets the architectural design standards as listed in the ODP and is designed to reflect some of the common modern home designs that are found along the Colorado front range.

11. *Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.*

The ODP proposes to construct a decorative six-foot-tall masonry wall along the west property boundary to provide additional screening. The wall will be modified along West 148th Avenue to meet the fence requirements in City Code. Along West 148th Avenue, the applicant will provide new vegetation to meet the design standards and landscape regulations.

12. *Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.*

With this ODP, the applicant would take over maintenance responsibilities for the landscaping on the south side of West 148th Avenue consistent with how the City handles right-of-way maintenance in Section 11-7-5, W.M.C. Currently that space is being maintained by the Quail Hill Homeowners Association (HOA). In the proposed ODP, the applicant would provide additional plantings in the right-of-way consistent with the landscape regulations. On the new lot, the applicant proposes landscaping that meets the landscape regulations for lots over 10,000 square feet in size.

13. *Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.*

The new ODP would generate approximately 10 new vehicle trips per day. All of the existing streets in the surrounding vicinity have the capacity to accommodate the additional trips.

14. *Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

The ODP only proposes one new access point onto West 148th Avenue. The access has been located as far east as possible on West 148th Avenue to minimize any conflicts and hazards with the curve in the road located west of this property.

15. *Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.*

The existing streets in this area do not have any existing sidewalks. Staff are in support of not requiring the applicant to provide sidewalks as they would dead-end at the property boundaries and not provide a connection to existing pedestrian infrastructure.

16. *Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.*

The applicant is proposing to connect to the City's water system for potable water service. The City's sewer system is over 400 feet away from the property and a connection would not meet the engineering standards. The City has already approved for the applicant to construct a septic tank on site to handle sewage. The applicant will need to seek approval of a permit for the septic tank through Adams County Health Department. The applicant is requesting an exception from the requirement for a storm drainage facility. Staff support this exception due to the small amount of new impervious land and the overall size of the planned development.

17. *The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant is not in default and does not have outstanding obligations to the City.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an Official Development Plan or an amendment to an Official Development Plan.

Neighborhood Meeting(s) and Public Comments

A neighborhood meeting was held virtually using the City's GoToWebinar platform on October 5, 2022. Sixteen people attended the virtual meeting. The general topics of concern from the public were access, property maintenance, landscape maintenance of the right-of-way, and traffic.

Staff received several public comments on the proposed development and those are included in Attachment 5.

Summary of Staff Recommendation

Staff recommends approval of the proposed Rezoning, PDP, and ODP as the proposed development conforms with the Comprehensive Plan density and provides a good opportunity for infill development. Staff finds that the proposed Rezoning, PDP, and ODP are in general conformance with the City's Comprehensive Plan, and all City policies, standards and sound planning principles and practice, and that there is existing capacity in the City's street, drainage, and utility systems to accommodate the proposed development in accordance with Sections 11-5-14 and 11-5-15, W.M.C.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of ensure that Westminster offers a diverse range of amenities and activities for residents, businesses and visitors that honor the city's history and support the arts, parks, recreation, open spaces, and libraries is met by facilitating infill development within the City.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "John McConnell". The signature is fluid and cursive, with the first name "John" being more prominent than the last name "McConnell".

John McConnell, AICP

Interim Planning Manager

ATTACHMENTS:

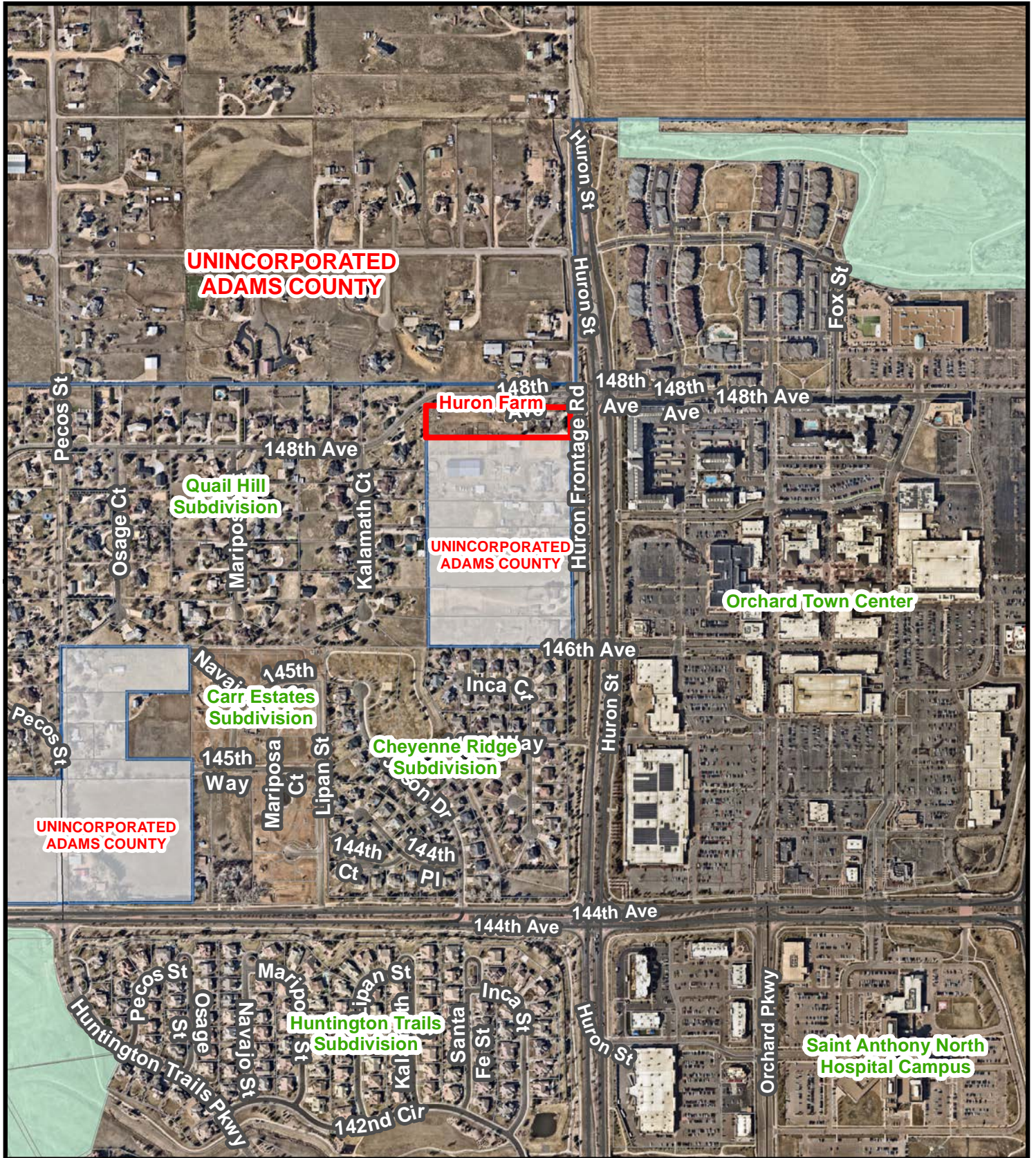
Attachment 1: Vicinity Map

Attachment 2: Zoning Changes

Attachment 3: Proposed Preliminary Development Plan

Attachment 4: Proposed Official Development Plan

Attachment 5: Public Comment

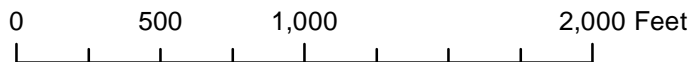


**Vicinity Map
Huron Farm**

14781 Huron St Westminster, CO

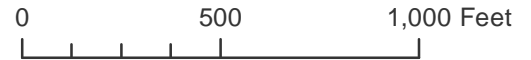


WESTMINSTER

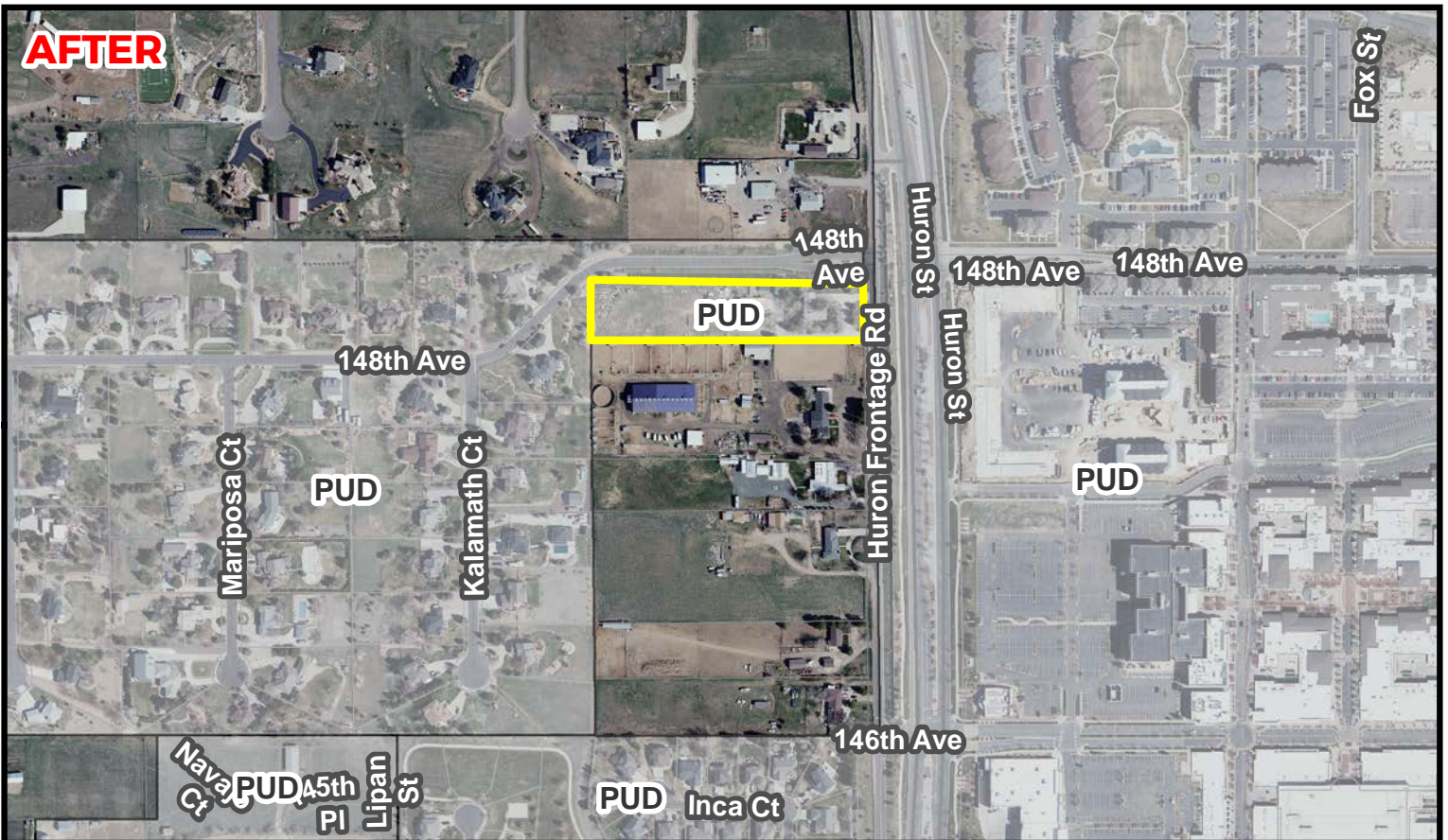


BEFORE

Attachment 2



AFTER



Zoning Change



LEGAL DESCRIPTION

LOT 1, ROBIN HILL FARM, FILE NO. 14, MAP NO. 46, RECEPTION NO. A015902, DATED SEPTEMBER 18, 1973, COUNTY OF ADAMS, STATE OF COLORADO.

THE ABOVE LEGAL DESCRIPTION DESCRIBES ALL THAT LAND CONTAINED IN QUIT CLAIM DEED RECORDED ON JULY 29, 2020 AT RECEPTION NUMBER 2020000072008 IN ADAMS COUNTY, COLORADO.

SURVEYOR'S CERTIFICATE

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____

PERMITTED USES

O-1 AND SR STANDARDS: SINGLE-FAMILY DETACHED RESIDENTIAL USES.

PROHIBITED USES

ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

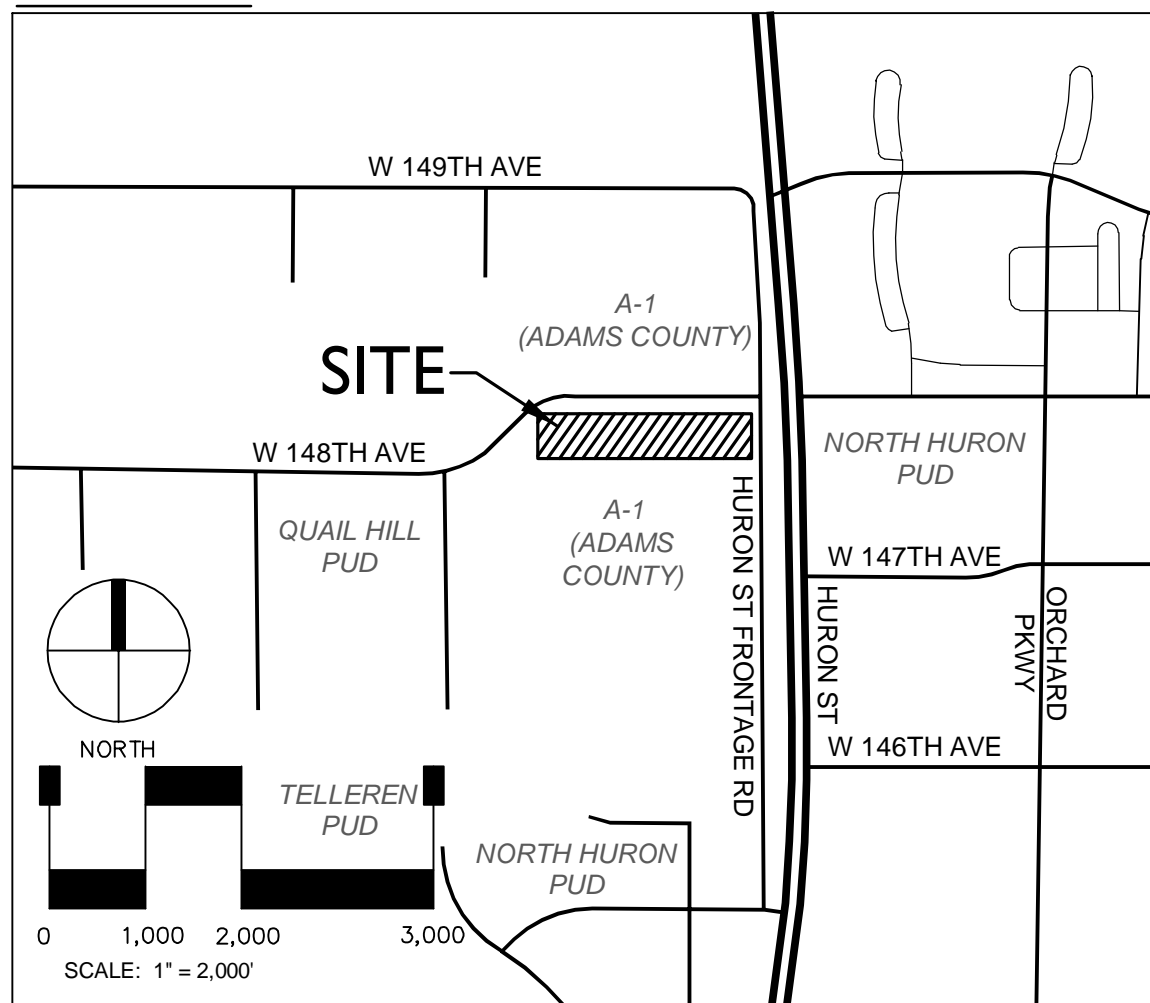
PROJECT SCOPE

THIS PDP IS FOR THE NEW HURON FARM TWO (2) LOT RESIDENTIAL SUBDIVISION. THE SUBDIVISION SEEKS TO SPLIT ONE LOT INTO TWO FOR THE PURPOSES OF BUILDING ONE SINGLE FAMILY RESIDENCE ON LOT 2. THE SUBDIVISION IS SEEKING EXCEPTIONS TO THE COMPREHENSIVE PLAN AND RESIDENTIAL DESIGN STANDARDS DUE TO THE UNIQUE CIRCUMSTANCES OF THIS PARTICULAR PROPERTY.

**PRELIMINARY DEVELOPMENT PLAN
HURON FARM SUBDIVISION**

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 4

VICINITY MAP



SHEET INDEX

- SHEET 1 - COVER
- SHEET 2 - PROJECT NOTES
- SHEET 3 - PROJECT NOTES
- SHEET 4 - SITE PLAN

ZONING & LAND USE

CURRENT ZONING & LAND USE: O-1 OPEN SPACE/ RESIDENTIAL
PROPOSED ZONING & LAND USE: PUD/ RESIDENTIAL
COMPREHENSIVE PLAN DESIGNATION: R-1 RESIDENTIAL

ZONING & LAND USE

	ZONING	LAND USE	COMP. PLAN DESIGNATION
SUBJECT SITE:	O-1	RESIDENTIAL/AG	R-1 RES
NORTH:	A-1	RESIDENTIAL	N/A-ADAMS COUNTY
SOUTH:	A-1	RESIDENTIAL	N/A-ADAMS COUNTY
EAST:	PUD	RESIDENTIAL	MIXED USE
WEST:	PUD	RESIDENTIAL	R-1 RES

LAND USE TABLE

SUB AREA	LAND USE	ACRES	% OF PROPERTY	FAR OR DU/AC
LOT 1	RESIDENTIAL	1.56	65	0.07
LOT 2	RESIDENTIAL	0.86	35	0.16, MAX 1 DU/AC

OWNER APPROVAL

I, JARED MELIUS PROPERTY OWNER, DO SO APPROVE THIS PDP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

CHAIRMAN

ATTEST: CITY CLERK

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

MAYOR

ATTEST: CITY CLERK

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT ____:___ O'CLOCK __.M.

ADAMS COUNTY CLERK AND RECORDER

BY: DEPUTY CLERK

PROPERTY OWNER

JARED AND JAN MELIUS
14781 HURON ST.
WESTMINSTER, CO 80023
PHONE: (303) 325-3309

PLANNER/LANDSCAPE ARCHITECT

STERLING DESIGN ASSOCIATES, LLC
2009 W LITTLETON BLVD, #300
LITTLETON, CO 80120
JON SPENCER, PLA
PHONE: 303-794-4727 x205

CIVIL ENGINEER

STERLING DESIGN ASSOCIATES, LLC
2009 W LITTLETON BLVD, #300
LITTLETON, CO 80120
RYAN LOFTUS, PE
PHONE: 303-794-4727 x206

ARCHITECT

RENTFROW DESIGN, LLC
JON RENTFROW
PHONE: 970-412-3400
EMAIL: jon@rentfrowdesign.com

DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:
CONSTRUCTION OF THE PROJECT IS INTENDED TO BEGIN WITHIN ONE (1) YEAR FOLLOWING CITY APPROVAL.

STERLING DESIGN ASSOCIATES
Civil Engineers | Landscape Architects
2009 W. Littleton Blvd. #300 Littleton, CO 80120
303.794.4727 | www.SterlingDesignAssociates.com

DATE: 12/08/22

**HURON FARM
SUBDIVISION**

REVISIONS:

1 OF 4
COVER SHEET

PRELIMINARY DEVELOPMENT PLAN
HURON FARM SUBDIVISION

A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 4

PROJECT NOTES

PARK DEVELOPMENT FEE:

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$2,202 (2022) PER DWELLING UNIT IS DUE TO THE CITY. FOR ONE (1) DWELLINGS THE TOTAL FEE IS \$2,202. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PUBLIC LAND DEDICATION:

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE FEE IS BASED ON THE FAIR MARKET VALUE OF THE LAND AS SHOWN ON EITHER A SALE AGREEMENT OR LAND APPRAISAL EXECUTED WITHIN THE MOST RECENT 2 YEAR PERIOD. PUBLIC LAND DEDICATION IS PROPOSED TO BE PAID CASH-IN-LIEU. THE CITY CODE (11-6-8(B)) REQUIRES 12 ACRES PER 1,000 RESIDENTS.

THE PUBLIC LAND DEDICATION REQUIRED IS 0.036 ACRES. BASED ON A FAIR MARKET VALUE AS DETERMINED BY A CURRENT ADAMS COUNTY APPRAISAL OF THE PROPERTY \$624,970 (\$257,189 PER ACRE), THE CASH-IN-LIEU PAYMENT IS \$9,259. THE CASH-IN-LIEU PAYMENT IS DUE PRIOR TO THE RECORDATION OF THE FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED.

SCHOOL LAND DEDICATION:

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH IN LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR SINGLE FAMILY RESIDENTIAL A FEE OF \$876 (2022) PER DWELLING UNIT IS DUE TO THE CITY. FOR ONE (1) DWELLINGS THE TOTAL FEE IS \$ 876. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES

RECOVERY COSTS:

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

STANDARD STATEMENTS

- A. APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN CONSTITUTES A CONCEPT APPROVAL OF THE PLAN SUBJECT TO THE ABILITY OF THE CITY OF WESTMINSTER OR THE LAND OWNER TO PROVIDE NECESSARY SERVICES. DUE TO SERIOUS SHORT-RANGE AND LONG-RANGE LIMITATIONS ON THE RAW WATER SUPPLY, WATER TREATMENT CAPACITY AND SEWAGE TREATMENT CAPACITY OF THE CITY, DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN MAY NOT BE POSSIBLE. APPROVAL OF THIS PLAN IMPLIES NO COMMITMENT OF THE CITY OF WESTMINSTER TO PROVIDE SERVICES. THE CITY OF WESTMINSTER ADVISES AGAINST DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN WITHOUT A THOROUGH INVESTIGATION BY THE DEVELOPER OF THE AVAILABILITY OF WATER AND SEWER SERVICE AT THE TIME OF SUCH DEVELOPMENT.
- B. THE LAND USES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE LOCATION AND NUMBER OF SUCH ESTABLISHMENTS AND THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- C. THE DENSITIES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE CONSIDERED AS A MAXIMUM AND SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- D. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. IF YOU HAVE ANY QUESTIONS REGARDING THE CITY'S USE TAX REQUIREMENTS, PLEASE CONTACT THE CITY TAX AUDITOR.
- E. UTILITY EASEMENTS: THE DESIGN OF THE PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.

SERVING FACILITIES

PUBLIC RECREATION AREAS	MCKAY LAKE, SHAY DITCH, PAUL DERDA REC CENTER
PUBLIC OPEN SPACE	CHEYENNE RIDGE PARK, MCKAY LAKE, SHAY DITCH
DRAINAGEWAYS	MCKAY LAKE, SHAY DITCH
MAJOR DETENTION	MCKAY LAKE, SHAY DITCH
PRIMARY SCHOOL	ADAMS 12 SCHOOL DISTRICT
ELEMENTARY SCHOOL	MERIDIAN ELEMENTARY, ARAPAHOE RIDGE ELEMENTARY
MIDDLE SCHOOL	WESTLAKE MIDDLE SCHOOL
HIGH SCHOOL	LEGACY HIGH SCHOOL
NEARBY SHOPPING AREAS	THE ORCHARD, THE GROVE
NEARBY FIRE STATIONS	THORNTON FIRE STATION #5, WESTMINSTER FIRE STATION #6
NEARBY BUS STOPS	FLEX RIDE, 144TH AND ORCHARD PARKWAY

STERLING DESIGN ASSOCIATES
 Civil Engineers | Landscape Architects
 2009 W. Littleton Blvd. #300 Littleton, CO 80120
 303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

**HURON FARM
 SUBDIVISION**

REVISIONS:

2 OF 4
 NOTES

**PRELIMINARY DEVELOPMENT PLAN
HURON FARM SUBDIVISION**
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 4

PUD EXCEPTIONS

THE OWNER IS SEEKING THE FOLLOWING EXCEPTIONS FROM THE PUD STANDARDS:

1. THE OWNER IS REQUESTING AN EXCEPTION TO THE 30% COMMON OPEN SPACE REQUIREMENT.

STANDARD: PER THE 2013 COMPREHENSIVE PLAN SECTION 2.0 LAND USE, R-1 RESIDENTIAL UNDER 1.0 DWELLING UNIT PER ACRE, DEVELOPMENT STANDARDS IT LISTS "30% OF THE OVERALL SITE MUST BE PRESERVED AS COMMON OPEN SPACE".

JUSTIFICATION: THIS IS A SIMPLE LOT SPLIT AND NOT A TYPICAL SUBDIVISION. THIS PROPOSAL SEEKS TO CREATE ONE ADDITIONAL SINGLE FAMILY RESIDENTIAL LOT. SHARED OPEN SPACE BETWEEN ONLY TWO RESIDENTIAL PROPERTIES IS NOT A GOOD USE OF THE PROPERTY.

2. REQUEST EXCEPTION OF 4% OF THE SITE TO BE USED AS A PRIVATE PARK .

STANDARD: PER THE SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS, SECTION 13,

- a) A MINIMUM OF 4% OF THE TOTAL ACREAGE SHALL BE SET ASIDE FOR A PRIVATE PARK THAT MUST INCLUDE AN OPEN PLAY AREA FOR ACTIVE RECREATION AND MUST BE CENTRALLY LOCATED IN THE SUBDIVISION TO PROVIDE A FOCAL POINT. OPEN PLAY AREA SHALL CONSTITUTE A MINIMUM OF ONE-FOURTH (1/4) OF THE TOTAL CALCULATED MINIMUM PRIVATE PARK AREA. FOR PROJECTS OF 50 ACRES OR MORE, THIS AREA MAY BE DIVIDED BETWEEN TWO OR MORE OPEN PLAY AREAS, PROVIDING THAT AT LEAST ONE OF THE OPEN PLAY AREAS IS A MINIMUM OF 11,000 SQUARE FEET IN SIZE. THE PRIVATE PARK AND OPEN PLAY AREA CAN INCLUDE AREAS DESIGNATED FOR PUBLIC LAND DEDICATION, RIGHT-OF-WAY, REQUIRED SETBACK AREAS, AND DETENTION POND AREAS ONLY WHEN THE OVERLAPPING AREA(S) IS/ARE PROPERLY DESIGNED, REVIEWED, AND FOUND TO ADEQUATELY SERVE BOTH PURPOSES.
- b) PRIVATE OPEN SPACE SHALL BE LANDSCAPED AND AN IRRIGATION SYSTEM SHALL BE REQUIRED. MAINTENANCE OF PRIVATE OPEN SPACE AREAS IS THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.

JUSTIFICATION: THIS PROPOSAL SEEKS TO CREATE ONE ADDITIONAL SINGLE FAMILY RESIDENTIAL LOT. A PRIVATE PARK BETWEEN ONLY TWO RESIDENTIAL PROPERTIES WOULD NOT BE A GOOD USE OF THE PROPERTY.

3. REQUEST EXCEPTION FOR DETACHED SIDEWALKS ALONG HURON AND 148TH

STANDARD: PER THE SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS SECTION 5 A & B,

- A) ACCESS MINIMUM:
ALL ROUTES FROM THE HOMES AND COMMON BUILDINGS TO AND ALONG THE NETWORK OF STREETS AND DRIVES SHALL PROVIDE SAFE, CONVENIENT ACCESS FOR BICYCLES AND PEDESTRIANS.
- B) PEDESTRIAN / BICYCLE CIRCULATION MINIMUMS:
 - a) STREETS WITH SIDEWALK CONNECTIONS BETWEEN NEIGHBORHOODS AND SUBDIVISIONS SHALL BE REQUIRED.
 - b) FOR HOMES NOT FRONTING ON A PUBLIC STREET, PROVIDE A PEDESTRIAN CIRCULATION NETWORK IN THE FORM OF PRIVATE WALKWAYS OR CLEARLY DELINEATED PATHS OF TRAVEL FROM THE ENTRYWAYS TO ALL OTHER NEARBY PRIVATE DRIVES AND PUBLIC STREETS.
 - c) PROVIDE DIRECT PATHS OF TRAVEL TO ALL COMMON AREAS AND PEDESTRIAN DESTINATIONS WITHIN THE DEVELOPMENT AND BETWEEN ALL RESIDENTIAL UNITS.
 - d) ALL INTERNAL SITE SIDEWALKS SHALL BE A MINIMUM WIDTH OF 5 FEET; AND WHEN ADJACENT TO PARKING SPACES, THEY SHALL BE A MINIMUM WIDTH OF 7 FEET.
 - e) ALL SIDEWALKS ALONG PUBLIC AND PRIVATE STREETS AND DRIVES MUST BE DETACHED FROM THE CURB AT A DISTANCE SPECIFIED IN THE CITY'S STANDARDS AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
 - f) WHERE APPLICABLE, CONCRETE PATH CONNECTIONS FROM CUL-DE-SACS TO TRAILS WILL BE REQUIRED.

JUSTIFICATION: THIS IS A SIMPLE LOT SPLIT TO CREATE ONE ADDITIONAL LOT AND NOT A TYPICAL SUBDIVISION. THE PROPERTY IS LOCATED ON THE WEST SIDE OF HURON ST., SANDWICHED BETWEEN UNINCORPORATED ADAMS COUNTY PROPERTIES TO THE NORTH AND SOUTH AND "RANCH" STYLE CUSTOM RESIDENTIAL PROPERTIES TO THE WEST WITH NO PEDESTRIAN INFRASTRUCTURE. FURTHERMORE, THIS PORTION OF HURON ST. ACTS LIKE A FRONTAGE ROAD TO THE MAIN HURON ST. AND IS A MORE AGRICULTURAL SETTING WITH NO CONNECTION TO THE EAST.

3. REQUEST EXCEPTION FOR STREET LIGHTS

STANDARD: PER THE SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS SECTION 6,LIGHTING ALONG ALL PUBLIC STREETS SHALL BE IN CONFORMANCE TO XCEL ENERGY STANDARDS AND INSTALLED AT DEVELOPER EXPENSE. ALL LIGHTING SHALL BE DOWNWARD DIRECTED, FULL CUTOFF STYLE

FIXTURES. MAXIMUM POLE HEIGHT IS 25 FEET. MAXIMUM CORRECTED COLOR TEMPERATURE IS 4500K. SPECIALTY LIGHTING (INCLUDING ORNAMENTAL BASES, ARMATURES AND FIXTURES) IS ENCOURAGED ALONG COLLECTOR AND LOCAL STREETS. SPECIALTY LIGHTING SHOULD RELATE TO THE ARCHITECTURAL THEME OF THE DEVELOPMENT.

JUSTIFICATION: THIS IS NOT A TYPICAL SUBDIVISION. THERE IS AN ESTABLISHED R.O.W. ALONG 148TH AVE TO THE QUAIL HILL NEIGHBORHOOD. LIGHTING IS PROVIDED AT CURVES OR INTERSECTIONS. THERE IS AN EXISTING STREET LIGHT AT THE INTERSECTION OF HURON AND W 148TH AND ONE EXISTING ON THE CURVE ENTERING THE QUAIL HILL NEIGHBORHOOD. THERE ARE NO OTHER CRITICAL CURVES OR INTERSECTIONS FOR THIS SUBDIVISION.

4. REQUEST EXCEPTION FOR A MAIL KIOSK WITH SOLAR LIGHT

STANDARD: PER THE SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS, SUSTAINABLE DESIGN SECTION 2D MINIMUM: MAIL KIOSK WILL BE COVERED AND USE SOLAR-POWERED LIGHTING, PROVIDING 100% OF THE LIGHTING DEMAND REQUIRED.

JUSTIFICATION: THIS IS A SIMPLE LOT SPLIT TO CREATE ONE ADDITIONAL LOT AND NOT A TYPICAL SUBDIVISION. EACH HOUSE FACES A SEPARATE STREET AND A MAIL KIOSK FOR JUST TWO PROPERTIES IS NOT PROPOSED.

5. REQUEST FOR EXCEPTION FOR SUBDIVISION MONUMENT SIGN

STANDARD: PER THE SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS, SITE FURNISHINGS MINIMUM "A", ONE GROUND SIGN (MONUMENT) SHALL BE REQUIRED PER SUBDIVISION ON OR ONE AT EACH ARTERIAL OR COLLECTOR STREET ENTRANCE. SIGNS ARE TYPICALLY LOCATED IN A LANDSCAPE MEDIAN OR ON EITHER SIDE OF THE ENTRANCE ROAD, SIZE NOT TO EXCEED THE WESTMINSTER MUNICIPAL CODE.

JUSTIFICATION: AN EXISTING MONUMENT SIGN FOR THE QUAIL HILL NEIGHBORHOOD TO THE WEST IS LOCATED WITHIN THE LANDSCAPE MEDIAN ON W 148TH AVE. PROVIDING A SECOND SIGN WOULD CAUSE CONFUSION AND IS NOT JUSTIFIED FOR ONLY TWO HOUSES.

6. REQUEST FOR EXCEPTION FOR DETENTION AND WATER QUALITY POND

STANDARD: PER THE CITY STORMWATER CRITERIA MANUAL, ALL DEVELOPMENT WITHIN THE CITY WILL REQUIRE STORMWATER QUALITY AND DETENTION PONDS.

JUSTIFICATION: THE PROPERTY IS ROUGHLY 75% PERVIOUS LANDSCAPE AREA WITH THE ONLY IMPERVIOUSNESS BEING THE ROOF, DRIVEWAY, AND SMALL PATIO SPACE FOR THE PROPOSED RESIDENCE ON LOT 2. THE INTENT OF THESE REGULATIONS IS TO MANAGE STORMWATER FLOWS AND REDUCE RUNOFF POLLUTANTS. PONDS ARE NOT TYPICALLY REQUIRED OF SINGLE PROPERTIES. BEING A SINGLE FAMILY RESIDENCE WITH NO ADDITIONAL ROADWAYS AND MINIMAL IMPERVIOUSNESS BEING ADDED THE IMPACT ON STORM DRAINAGE IS NEGLIGEBLE. THE DRIVEWAY FLOWS WILL BE DIRECTED ACROSS THE PROPERTY AS IN THE HISTORIC CONDITION AND THE ADDITIONAL ROOF IMPERVIOUSNESS WILL BE CAPTURED IN ROOF DRAINS AND CONVEYED TO THE R.O.W. OF W. 148TH AVE AND DISCHARGED IN THE EXISTING GRASS SWALE.

7. REQUEST FOR EXCEPTION TO REQUIRED SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS MINIMUM ELECTIVE POINTS REQUIREMENT OF 3,218 ELECTIVE POINTS.

STANDARD: PER THE SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS THE SUBDIVISION IS REQUIRED TO MEET THE MINIMUMS AND PROVIDE AN ADDITIONAL 3,218 ELECTIVE OR INCENTIVE POINTS.

JUSTIFICATION: THIS IS A SIMPLE LOT SPLIT CREATE ONE ADDITIONAL LOT AND NOT A TYPICAL SUBDIVISION. THE HOME OWNER IS NOT A DEVELOPER WITH FUNDING BUILDING MULTIPLE LOTS FOR SALE. THE INTENT IS SIMPLY TO BUILD ANOTHER HOUSE ON AN ADJACENT LOT FOR THEIR USE. THE ONLY PATH TO DO THAT IN THE CITY OF WESTMINSTER IS THROUGH A FORMAL SUBDIVISION PROCESS. THE PROJECT IS CURRENTLY PROVIDING 1,450 INCENTIVE POINTS HOWEVER IS REQUESTING RELIEF FROM SOME OF THE MINIMUMS FOR A TYPICAL MULTI-LOT SUBDIVISION.

8. REQUEST EXCEPTION TO SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS ARCHITECTURAL DESIGN 2.D BAY OR BOX WINDOWS.

STANDARD: PER THE SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS THE SUBDIVISION IS REQUIRED TO PROVIDE WINDOWS OF A MINIMUM WIDTH OF 5 FEET THAT PROJECT A MINIMUM OF 16 INCHES FROM THE FRONT FACADE SHALL BE REQUIRED ON 50% OR MORE OF ALL UNITS WITHIN A STREETScape.

JUSTIFICATION: THE ONE PROPOSED RESIDENCE IS SET BACK FROM THE RIGHT-OF-WAY. FURTHERMORE, THERE IS SIGNIFICANT ARTICULATION OF THE FRONT FACADE THAT PROVIDES INTEREST AND LIMITS MONOTONY IN THE DESIGN.

9. REQUEST EXCEPTION TO SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS SITE DESIGN 15.C FENCING AND WALLS- OFFSETS IN PERIMETER FENCING OR WALL (MIN. 5 FOOT DEPTH AND 10 FOOT LENGTH) FOR LANDSCAPING (TREES AND SHRUBS REQUIRED) SHALL BE PROVIDED EVERY 200 FEET OR LESS FOR AT LEAST A DISTANCE OF 400 FEET.

STANDARD: PER THE SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS THE SUBDIVISION IS REQUIRED TO PROVIDE OFFSETS IN PERIMETER FENCING OR WALL (MIN. 5 FOOT DEPTH AND 10 FOOT LENGTH) FOR LANDSCAPING (TREES AND SHRUBS REQUIRED) SHALL BE PROVIDED EVERY 200 FEET OR LESS FOR AT LEAST A DISTANCE OF 400 FEET.

JUSTIFICATION: THERE IS EXISTING PERIMETER FENCING IN PLACE ALONG 148TH WITH A COMBINATION OF WOOD FENCING AND MASONRY WALL. A PORTION OF THE WALL IS BEING REMOVED TO MEET "FRONT SETBACK" REQUIREMENTS AND VISIBILITY FOR SAFETY. UNFINISHED PORTIONS OF THE MASONRY WALL WILL BE COMPLETED AS PART OF THE IMPROVEMENTS. THE MASONRY WALL HAS COLUMNS EVERY 10 FEET WHICH ARE NOT FLUSH WITH THE FRONT FACE AND BREAK UP THE MONOTONY. THE EXISTING WOOD FENCE FOR THE EXISTING RESIDENCE IS PROPOSED TO REMAIN IN PLACE. ADDITIONAL RIGHT-OF-WAY LANDSCAPING IS PROPOSED TO MEET CURRENT CITY OF WESTMINSTER STANDARDS. THE FENCE AND WALL ARE SETBACK FROM THE STREET ROUGHLY 45 FEET AND SCREENED BY THE R.O.W. LANDSCAPE. ADDITIONAL OFFSETS WILL NOT PROVIDE A SIGNIFICANT IMPACT TO PASSING VEHICLES.

STERLING
DESIGN ASSOCIATES
Civil Engineers | Landscape Architects
2009 W. Littleton Blvd. #300 Littleton, CO 80120
303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

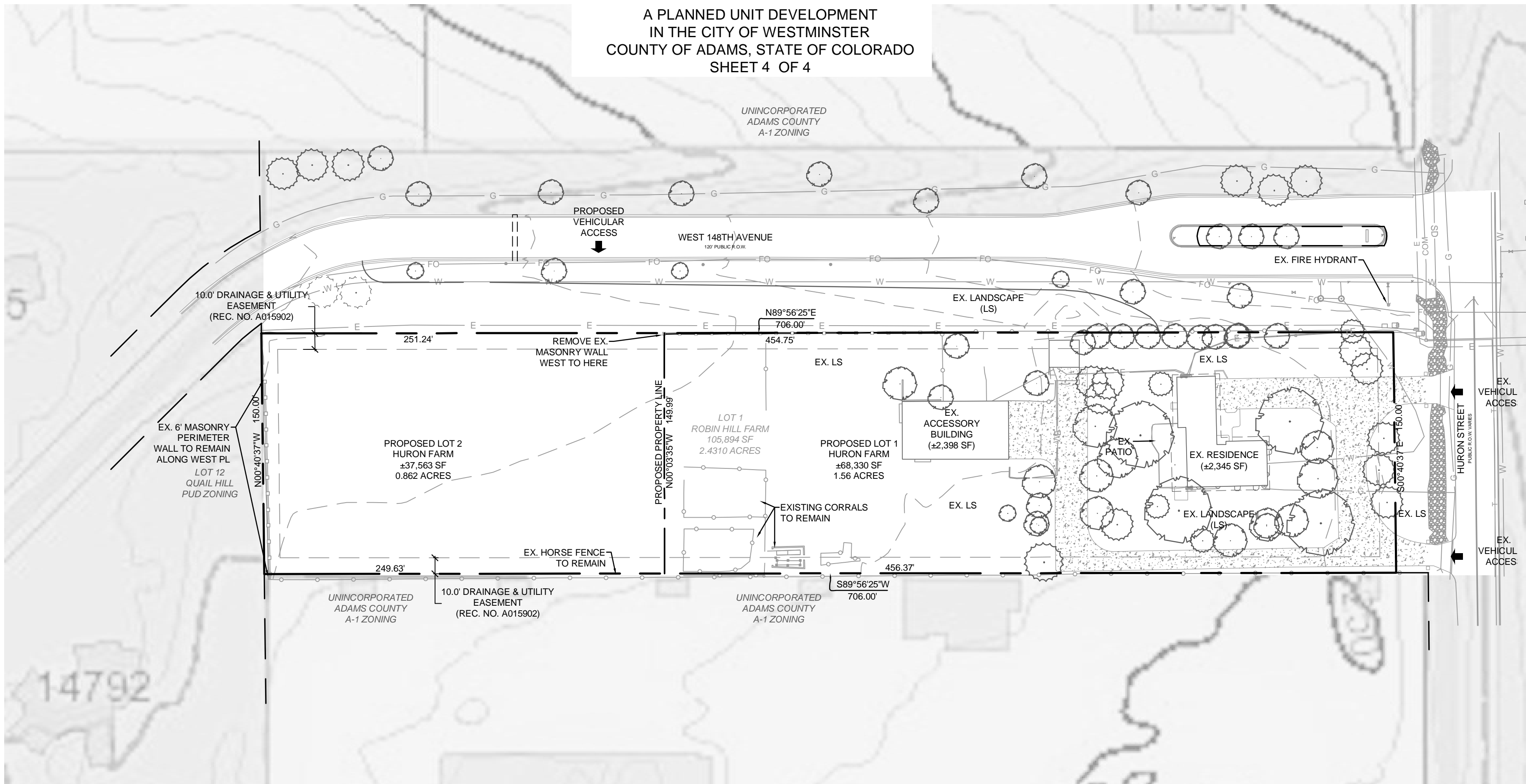
**HURON FARM
SUBDIVISION**

REVISIONS:





















3 OF 4
NOTES

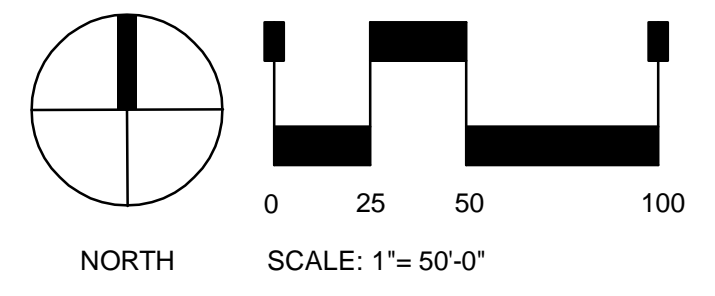
PRELIMINARY DEVELOPMENT PLAN HURON FARM SUBDIVISION

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4 OF 4



LEGEND

-  PROPERTY LINE
-  ADJACENT LOT LINE
-  EXISTING EASEMENT
-  PROPOSED EASEMENT
-  EXISTING CONCRETE
-  EXISTING CURB & GUTTER
-  CONCRETE PAVEMENT
-  EXISTING SIGN
-  EXISTING STREET LIGHT
-  EXISTING UTILITY POLE
-  EXISTING WATER METER
-  EXISTING WATER VALVE
-  DECIDUOUS TREE
-  EVERGREEN TREE
-  EXISTING MANHOLE
-  EXISTING MONITORING WELL
-  EXISTING STORM DRAIN
-  EXISTING TRANSFORMER
-  5280 EXISTING MAJOR CONTOUR
-  5281 EXISTING MINOR CONTOUR



STERLING DESIGN ASSOCIATES
Civil Engineers | Landscape Architects
2009 W. Littleton Blvd. #300 Littleton, CO 80120
303.794.4727 | www.SterlingDesignAssociates.com

DATE: 12/08/22

HURON FARM SUBDIVISION

REVISIONS:

LEGAL DESCRIPTION

LOT 1, ROBIN HILL FARM, FILE NO. 14, MAP NO. 46, RECEPTION NO. A015902, DATED SEPTEMBER 18, 1973, COUNTY OF ADAMS, STATE OF COLORADO.

THE ABOVE LEGAL DESCRIPTION DESCRIBES ALL THAT LAND CONTAINED IN QUIT CLAIM DEED RECORDED ON JULY 29, 2020 AT RECEPTION NUMBER 2020000072008 IN ADAMS COUNTY, COLORADO.

SURVEYOR'S CERTIFICATE

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____

PERMITTED USES

SINGLE-FAMILY DETACHED

PROHIBITED USES

ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

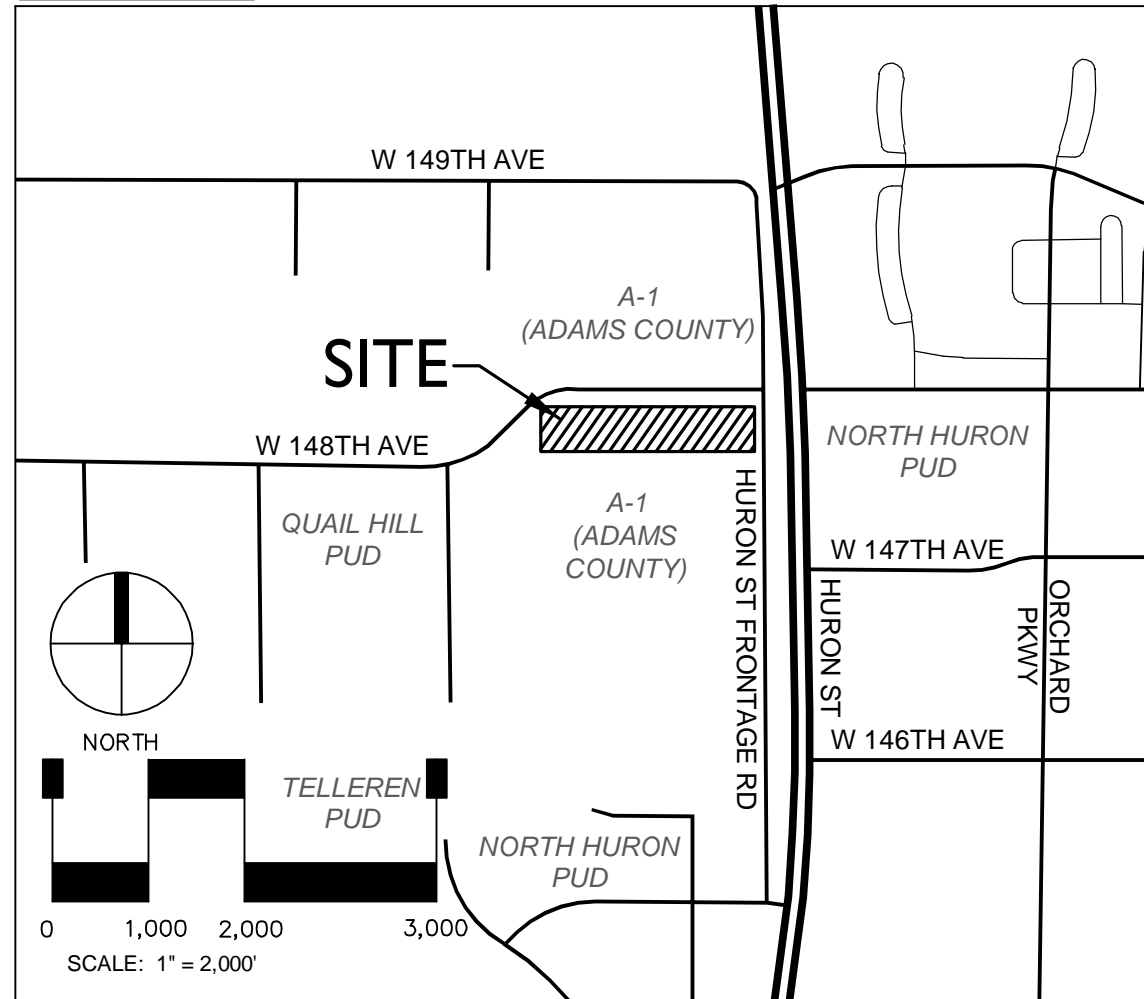
PROJECT SCOPE

THIS ODP IS FOR THE NEW HURON FARM TWO (2) LOT RESIDENTIAL SUBDIVISION. THE SUBDIVISION SEEKS TO SPLIT ONE LOT INTO TWO (2) FOR THE PURPOSES OF BUILDING ONE SINGLE FAMILY RESIDENCE ON LOT 2. THE SUBDIVISION IS SEEKING EXCEPTIONS TO THE COMPREHENSIVE PLAN AND SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS DUE TO THE UNIQUE CIRCUMSTANCES OF THIS PARTICULAR PROPERTY.

OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 16

VICINITY MAP



ZONING & LAND USE

	ZONING	LAND USE	COMP. PLAN DESIGNATION
SUBJECT SITE:	O-1	RESIDENTIAL/AG	R-1 RES
NORTH:	A-1	RESIDENTIAL	N/A-ADAMS COUNTY
SOUTH:	A-1	RESIDENTIAL	N/A-ADAMS COUNTY
EAST:	PUD	RESIDENTIAL	MIXED USE
WEST:	PUD	RESIDENTIAL	R-1 RES

LOTS AND COVERAGE

TOTAL SITE AREA:	105,894 SF (2.4310 ACRES)
NUMBER OF LOTS:	2 LOTS, (LOT 1 68,330 SF), (LOT 2 37,563 SF)
BUILDING COVERAGE (SF & %):	LOT 1 5,041 SF=7.4%, LOT 2 6,300=16.8%
PARKING AND DRIVES (SF & %):	LOT 1 10,961 SF=16%, LOT 2 4,766= 12.7%
LANDSCAPE AREA (SF & %):	LOT 1 52,328 SF=76%, LOT 2 26,497= 70.5%
MINIMUM LOT SIZE:	17,500 SF PER R-1 DESIGNATION

PROJECT/SITE DATA

ODP BOUNDARY AREA (SF/ACRES):	105,894 SF (2.4310 ACRES)
GFA (SF):	11,341
FFA (SF):	11,341
DU PER ACRE (#):	MAX 1 DU/AC
MAXIMUM BUILDING HEIGHT(S) (FT):	33' (TOP OF CHIMNEY)

MINIMUM SETBACKS

	BUILDING
FROM RIGHT-OF-WAY (FT):	25'-0"
FROM INTERNAL PROPERTY LINES (FT):	15'-0"
FROM INTERNAL ALLEYS & DRIVE AISLES (FT):	N/A
BETWEEN BUILDINGS (FT):	50'

OWNER APPROVAL

I, JARED MELIUS PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

CHAIRMAN _____

ATTEST: CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT ____:____ O'CLOCK ____M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

SHEET INDEX

- SHEET 1 - COVER
- SHEET 2 - PROJECT NOTES
- SHEET 3 - PROJECT NOTES (PUD EXCEPTIONS)
- SHEET 4 - PROJECT NOTES (SFD STDS. & ELECTIVES PTS.)
- SHEET 5 - PROJECT NOTES (SFD STDS. & ELECTIVES PTS.)
- SHEET 6 - PROJECT NOTES (SFD STDS. & ELECTIVES PTS.)
- SHEET 7 - PROJECT NOTES (SFD STDS. & ELECTIVES PTS.)
- SHEET 8 - SITE PLAN
- SHEET 9 - GRADING PLAN
- SHEET 10 - UTILITY PLAN
- SHEET 11 - LANDSCAPE PLAN
- SHEET 12 - LANDSCAPE NOTES
- SHEET 13 - LANDSCAPE DETAILS
- SHEET 14 - FLOOR PLANS
- SHEET 15 - ARCHITECTURAL ELEVATIONS
- SHEET 16 - ARCHITECTURAL ELEVATIONS

STERLING DESIGN ASSOCIATES
Civil Engineers | Landscape Architects
2009 W. Littleton Blvd. #300 Littleton, CO 80120
303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

HURON FARM SUBDIVISION

OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 16

PROJECT NOTES

PARK DEVELOPMENT FEE:

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$2,202 (2022) PER DWELLING UNIT IS DUE TO THE CITY. FOR ONE (1) DWELLINGS THE TOTAL FEE IS \$2,202. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PUBLIC LAND DEDICATION:

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE FEE IS BASED ON THE FAIR MARKET VALUE OF THE LAND AS SHOWN ON EITHER A SALE AGREEMENT OR LAND APPRAISAL EXECUTED WITHIN THE MOST RECENT 2 YEAR PERIOD. PUBLIC LAND DEDICATION IS PROPOSED TO BE PAID CASH-IN-LIEU. THE CITY CODE (11-6-8(B)) REQUIRES 12 ACRES PER 1,000 RESIDENTS.

THE PUBLIC LAND DEDICATION REQUIRED IS 0.036 ACRES. BASED ON A FAIR MARKET VALUE AS DETERMINED BY A CURRENT ADAMS COUNTY APPRAISAL OF THE PROPERTY \$624,970 (\$257,189 PER ACRE), THE CASH-IN-LIEU PAYMENT IS \$9,259. THE CASH-IN-LIEU PAYMENT IS DUE PRIOR TO THE RECORDATION OF THE FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED.

SCHOOL LAND DEDICATION:

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH IN LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR SINGLE FAMILY RESIDENTIAL A FEE OF \$876 (2022) PER DWELLING UNIT IS DUE TO THE CITY. FOR ONE (1) DWELLINGS THE TOTAL FEE IS \$ 876. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES

RECOVERY COSTS:

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

STANDARD STATEMENTS

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.
- M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.
- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.



DATE: 12/08/22

HURON FARM
SUBDIVISION

OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 3 OF 16

PUD EXCEPTIONS

THE OWNER IS SEEKING THE FOLLOWING EXCEPTIONS FROM THE PUD STANDARDS:

1. THE OWNER IS REQUESTING AN EXCEPTION TO THE 30% COMMON OPEN SPACE REQUIREMENT.

STANDARD: PER THE 2013 COMPREHENSIVE PLAN SECTION 2.0 LAND USE, R-1 RESIDENTIAL UNDER 1.0 DWELLING UNIT PER ACRE, DEVELOPMENT STANDARDS IT LISTS "30% OF THE OVERALL SITE MUST BE PRESERVED AS COMMON OPEN SPACE".

JUSTIFICATION: THIS IS A SIMPLE LOT SPLIT AND NOT A TYPICAL SUBDIVISION. THIS PROPOSAL SEEKS TO CREATE ONE ADDITIONAL SINGLE FAMILY RESIDENTIAL LOT. SHARED OPEN SPACE BETWEEN ONLY TWO RESIDENTIAL PROPERTIES IS NOT A GOOD USE OF THE PROPERTY.

2. REQUEST EXCEPTION OF 4% OF THE SITE TO BE USED AS A PRIVATE PARK .

STANDARD: PER THE SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS, SECTION 13,

- a) A MINIMUM OF 4% OF THE TOTAL ACREAGE SHALL BE SET ASIDE FOR A PRIVATE PARK THAT MUST INCLUDE AN OPEN PLAY AREA FOR ACTIVE RECREATION AND MUST BE CENTRALLY LOCATED IN THE SUBDIVISION TO PROVIDE A FOCAL POINT. OPEN PLAY AREA SHALL CONSTITUTE A MINIMUM OF ONE-FOURTH (1/4) OF THE TOTAL CALCULATED MINIMUM PRIVATE PARK AREA. FOR PROJECTS OF 50 ACRES OR MORE, THIS AREA MAY BE DIVIDED BETWEEN TWO OR MORE OPEN PLAY AREAS, PROVIDING THAT AT LEAST ONE OF THE OPEN PLAY AREAS IS A MINIMUM OF 11,000 SQUARE FEET IN SIZE. THE PRIVATE PARK AND OPEN PLAY AREA CAN INCLUDE AREAS DESIGNATED FOR PUBLIC LAND DEDICATION, RIGHT-OF-WAY, REQUIRED SETBACK AREAS, AND DETENTION POND AREAS ONLY WHEN THE OVERLAPPING AREA(S) IS/ARE PROPERLY DESIGNED, REVIEWED, AND FOUND TO ADEQUATELY SERVE BOTH PURPOSES.
- b) PRIVATE OPEN SPACE SHALL BE LANDSCAPED AND AN IRRIGATION SYSTEM SHALL BE REQUIRED. MAINTENANCE OF PRIVATE OPEN SPACE AREAS IS THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.

JUSTIFICATION: THIS PROPOSAL SEEKS TO CREATE ONE ADDITIONAL SINGLE FAMILY RESIDENTIAL LOT. A PRIVATE PARK BETWEEN ONLY TWO RESIDENTIAL PROPERTIES WOULD NOT BE A GOOD USE OF THE PROPERTY.

3. REQUEST EXCEPTION FOR DETACHED SIDEWALKS ALONG HURON AND 148TH

STANDARD: PER THE SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS SECTION 5 A & B,

- A) ACCESS MINIMUM:
ALL ROUTES FROM THE HOMES AND COMMON BUILDINGS TO AND ALONG THE NETWORK OF STREETS AND DRIVES SHALL PROVIDE SAFE, CONVENIENT ACCESS FOR BICYCLES AND PEDESTRIANS.
- B) PEDESTRIAN / BICYCLE CIRCULATION MINIMUMS:
 - a) STREETS WITH SIDEWALK CONNECTIONS BETWEEN NEIGHBORHOODS AND SUBDIVISIONS SHALL BE REQUIRED.
 - b) FOR HOMES NOT FRONTING ON A PUBLIC STREET, PROVIDE A PEDESTRIAN CIRCULATION NETWORK IN THE FORM OF PRIVATE WALKWAYS OR CLEARLY DELINEATED PATHS OF TRAVEL FROM THE ENTRYWAYS TO ALL OTHER NEARBY PRIVATE DRIVES AND PUBLIC STREETS.
 - c) PROVIDE DIRECT PATHS OF TRAVEL TO ALL COMMON AREAS AND PEDESTRIAN DESTINATIONS WITHIN THE DEVELOPMENT AND BETWEEN ALL RESIDENTIAL UNITS.
 - d) ALL INTERNAL SITE SIDEWALKS SHALL BE A MINIMUM WIDTH OF 5 FEET; AND WHEN ADJACENT TO PARKING SPACES, THEY SHALL BE A MINIMUM WIDTH OF 7 FEET.
 - e) ALL SIDEWALKS ALONG PUBLIC AND PRIVATE STREETS AND DRIVES MUST BE DETACHED FROM THE CURB AT A DISTANCE SPECIFIED IN THE CITY'S STANDARDS AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
 - f) WHERE APPLICABLE, CONCRETE PATH CONNECTIONS FROM CUL-DE-SACS TO TRAILS WILL BE REQUIRED.

JUSTIFICATION: THIS IS A SIMPLE LOT SPLIT TO CREATE ONE ADDITIONAL LOT AND NOT A TYPICAL SUBDIVISION. THE PROPERTY IS LOCATED ON THE WEST SIDE OF HURON ST., SANDWICHED BETWEEN UNINCORPORATED ADAMS COUNTY PROPERTIES TO THE NORTH AND SOUTH AND "RANCH" STYLE CUSTOM RESIDENTIAL PROPERTIES TO THE WEST WITH NO PEDESTRIAN INFRASTRUCTURE. FURTHERMORE, THIS PORTION OF HURON ST. ACTS LIKE A FRONTAGE ROAD TO THE MAIN HURON ST. AND IS A MORE AGRICULTURAL SETTING WITH NO CONNECTION TO THE EAST.

3. REQUEST EXCEPTION FOR STREET LIGHTS

STANDARD: PER THE SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS SECTION 6,LIGHTING ALONG ALL PUBLIC STREETS SHALL BE IN CONFORMANCE TO XCEL ENERGY STANDARDS AND INSTALLED AT DEVELOPER EXPENSE. ALL LIGHTING SHALL BE DOWNWARD DIRECTED, FULL CUTOFF STYLE

FIXTURES. MAXIMUM POLE HEIGHT IS 25 FEET. MAXIMUM CORRECTED COLOR TEMPERATURE IS 4500K. SPECIALTY LIGHTING (INCLUDING ORNAMENTAL BASES, ARMATURES AND FIXTURES) IS ENCOURAGED ALONG COLLECTOR AND LOCAL STREETS. SPECIALTY LIGHTING SHOULD RELATE TO THE ARCHITECTURAL THEME OF THE DEVELOPMENT.

JUSTIFICATION: THIS IS NOT A TYPICAL SUBDIVISION. THERE IS AN ESTABLISHED R.O.W. ALONG 148TH AVE TO THE QUAIL HILL NEIGHBORHOOD. LIGHTING IS PROVIDED AT CURVES OR INTERSECTIONS. THERE IS AN EXISTING STREET LIGHT AT THE INTERSECTION OF HURON AND W 148TH AND ONE EXISTING ON THE CURVE ENTERING THE QUAIL HILL NEIGHBORHOOD. THERE ARE NO OTHER CRITICAL CURVES OR INTERSECTIONS FOR THIS SUBDIVISION.

4. REQUEST EXCEPTION FOR A MAIL KIOSK WITH SOLAR LIGHT

STANDARD: PER THE SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS, SUSTAINABLE DESIGN SECTION 2D MINIMUM: MAIL KIOSK WILL BE COVERED AND USE SOLAR-POWERED LIGHTING, PROVIDING 100% OF THE LIGHTING DEMAND REQUIRED.

JUSTIFICATION: THIS IS A SIMPLE LOT SPLIT TO CREATE ONE ADDITIONAL LOT AND NOT A TYPICAL SUBDIVISION. EACH HOUSE FACES A SEPARATE STREET AND A MAIL KIOSK FOR JUST TWO PROPERTIES IS NOT PROPOSED.

5. REQUEST FOR EXCEPTION FOR SUBDIVISION MONUMENT SIGN

STANDARD: PER THE SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS, SITE FURNISHINGS MINIMUM "A", ONE GROUND SIGN (MONUMENT) SHALL BE REQUIRED PER SUBDIVISION ON OR ONE AT EACH ARTERIAL OR COLLECTOR STREET ENTRANCE. SIGNS ARE TYPICALLY LOCATED IN A LANDSCAPE MEDIAN OR ON EITHER SIDE OF THE ENTRANCE ROAD, SIZE NOT TO EXCEED THE WESTMINSTER MUNICIPAL CODE.

JUSTIFICATION: AN EXISTING MONUMENT SIGN FOR THE QUAIL HILL NEIGHBORHOOD TO THE WEST IS LOCATED WITHIN THE LANDSCAPE MEDIAN ON W 148TH AVE. PROVIDING A SECOND SIGN WOULD CAUSE CONFUSION AND IS NOT JUSTIFIED FOR ONLY TWO HOUSES.

6. REQUEST FOR EXCEPTION FOR DETENTION AND WATER QUALITY POND

STANDARD: PER THE CITY STORMWATER CRITERIA MANUAL, ALL DEVELOPMENT WITHIN THE CITY WILL REQUIRE STORMWATER QUALITY AND DETENTION PONDS.

JUSTIFICATION: THE PROPERTY IS ROUGHLY 75% PERVIOUS LANDSCAPE AREA WITH THE ONLY IMPERVIOUSNESS BEING THE ROOF, DRIVEWAY, AND SMALL PATIO SPACE FOR THE PROPOSED RESIDENCE ON LOT 2. THE INTENT OF THESE REGULATIONS IS TO MANAGE STORMWATER FLOWS AND REDUCE RUNOFF POLLUTANTS. PONDS ARE NOT TYPICALLY REQUIRED OF SINGLE PROPERTIES. BEING A SINGLE FAMILY RESIDENCE WITH NO ADDITIONAL ROADWAYS AND MINIMAL IMPERVIOUSNESS BEING ADDED THE IMPACT ON STORM DRAINAGE IS NEGLIGEBLE. THE DRIVEWAY FLOWS WILL BE DIRECTED ACROSS THE PROPERTY AS IN THE HISTORIC CONDITION AND THE ADDITIONAL ROOF IMPERVIOUSNESS WILL BE CAPTURED IN ROOF DRAINS AND CONVEYED TO THE R.O.W. OF W. 148TH AVE AND DISCHARGED IN THE EXISTING GRASS SWALE.

7. REQUEST FOR EXCEPTION TO REQUIRED SINGLE-FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS MINIMUM ELECTIVE POINTS REQUIREMENT OF 3,218 ELECTIVE POINTS.

STANDARD: PER THE SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS THE SUBDIVISION IS REQUIRED TO MEET THE MINIMUMS AND PROVIDE AN ADDITIONAL 3,218 ELECTIVE OR INCENTIVE POINTS.

JUSTIFICATION: THIS IS A SIMPLE LOT SPLIT CREATE ONE ADDITIONAL LOT AND NOT A TYPICAL SUBDIVISION. THE HOME OWNER IS NOT A DEVELOPER WITH FUNDING BUILDING MULTIPLE LOTS FOR SALE. THE INTENT IS SIMPLY TO BUILD ANOTHER HOUSE ON AN ADJACENT LOT FOR THEIR USE. THE ONLY PATH TO DO THAT IN THE CITY OF WESTMINSTER IS THROUGH A FORMAL SUBDIVISION PROCESS. THE PROJECT IS CURRENTLY PROVIDING 1,450 INCENTIVE POINTS HOWEVER IS REQUESTING RELIEF FROM SOME OF THE MINIMUMS FOR A TYPICAL MULTI-LOT SUBDIVISION.

8. REQUEST EXCEPTION TO SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS ARCHITECTURAL DESIGN 2.D BAY OR BOX WINDOWS.

STANDARD: PER THE SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS THE SUBDIVISION IS REQUIRED TO PROVIDE WINDOWS OF A MINIMUM WIDTH OF 5 FEET THAT PROJECT A MINIMUM OF 16 INCHES FROM THE FRONT FACADE SHALL BE REQUIRED ON 50% OR MORE OF ALL UNITS WITHIN A STREETScape.

JUSTIFICATION: THE ONE PROPOSED RESIDENCE IS SET BACK FROM THE RIGHT-OF-WAY. FURTHERMORE, THERE IS SIGNIFICANT ARTICULATION OF THE FRONT FACADE THAT PROVIDES INTEREST AND LIMITS MONOTONY IN THE DESIGN.

9. REQUEST EXCEPTION TO SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS SITE DESIGN 15.C FENCING AND WALLS- OFFSETS IN PERIMETER FENCING OR WALL (MIN. 5 FOOT DEPTH AND 10 FOOT LENGTH) FOR LANDSCAPING (TREES AND SHRUBS REQUIRED) SHALL BE PROVIDED EVERY 200 FEET OR LESS FOR AT LEAST A DISTANCE OF 400 FEET.

STANDARD: PER THE SINGLE FAMILY DETACHED RESIDENTIAL DESIGN STANDARDS THE SUBDIVISION IS REQUIRED TO PROVIDE OFFSETS IN PERIMETER FENCING OR WALL (MIN. 5 FOOT DEPTH AND 10 FOOT LENGTH) FOR LANDSCAPING (TREES AND SHRUBS REQUIRED) SHALL BE PROVIDED EVERY 200 FEET OR LESS FOR AT LEAST A DISTANCE OF 400 FEET.

JUSTIFICATION: THERE IS EXISTING PERIMETER FENCING IN PLACE ALONG 148TH WITH A COMBINATION OF WOOD FENCING AND MASONRY WALL. A PORTION OF THE WALL IS BEING REMOVED TO MEET "FRONT SETBACK" REQUIREMENTS AND VISIBILITY FOR SAFETY. UNFINISHED PORTIONS OF THE MASONRY WALL WILL BE COMPLETED AS PART OF THE IMPROVEMENTS. THE MASONRY WALL HAS COLUMNS EVERY 10 FEET WHICH ARE NOT FLUSH WITH THE FRONT FACE AND BREAK UP THE MONOTONY. THE EXISTING WOOD FENCE FOR THE EXISTING RESIDENCE IS PROPOSED TO REMAIN IN PLACE. ADDITIONAL RIGHT-OF-WAY LANDSCAPING IS PROPOSED TO MEET CURRENT CITY OF WESTMINSTER STANDARDS. THE FENCE AND WALL ARE SETBACK FROM THE STREET ROUGHLY 45 FEET AND SCREENED BY THE R.O.W. LANDSCAPE. ADDITIONAL OFFSETS WILL NOT PROVIDE A SIGNIFICANT IMPACT TO PASSING VEHICLES.

STERLING
DESIGN ASSOCIATES
 Civil Engineers | Landscape Architects
 2009 W. Littleton Blvd. #300 Littleton, CO 80120
 303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

HURON FARM
SUBDIVISION

OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 4 OF 16

SINGLE FAMILY DETACHED RESIDENTIAL DESIGN ELECTIVES

ELECTIVE	MINIMUM	ELECTIVE TOTAL	SCORE
SUBDIVISION PLANNING AND SITE DESIGN			
1. LAND USE COMPATIBILITY	30' MIN SETBACK ADJACENT TO RESIDENTIAL USE		
2. CONFORMANCE WITH WESTMINSTER COMP PLAN	PROJECT SHALL CONFORM TO COMP PLAN		
3. VIEW PRESERVATION	PRESERVE VIEW CORRIDORS IDENTIFIED IN COMP PLAN	N/A	
4. DRAINAGEWAYS	SIGNIFICANT DRAINAGEWAYS SHALL BE INCORPORATED AS AMENITIES	N/A	
5. CIRCULATION, ACCESS, AND PARKING			
A. ACCESS	ALL ROUTES FROM THE HOMES AND COMMON BUILDINGS TO AND ALONG THE NETWORK OF STREETS AND DRIVES SHALL PROVIDE SAFE, CONVENIENT ACCESS FOR BIKES AND PEDESTRIANS	N/A	
B. PEDESTRIAN AND BICYCLE CIRCULATION	STREETS WITH SIDEWALK CONNECTIONS BETWEEN NEIGHBORHOODS AND SUBDIVISIONS SHALL BE REQUIRED	200 PTS MAX	0
C. PARKING	SINGLE FAMILY REQUIRES 4 SPACES, MIN 2 WITHIN GARAGE		
D. PUBLIC TRANSIT AMENITIES	CONCRETE PATH CONNECTIONS FROM SIDEWALK TO BUS STOP(S), BUS SHELTERS, BENCHES, AND TRASH AND RECYCLING RECEPTACLES	300 PTS MAX	0
6. STREET LIGHTING	LIGHTING ALONG ALL PUBLIC STREETS	200 PTS MAX	0
7. RIGHT-OF-WAY DEDICATION	LANDSCAPED AND IRRIGATED MEDIANS	400 PTS MAX	0
A. ADDITIONAL R.O.W. BEYOND REQUIRED AMOUNT			0
B. REDUCED PAVEMENT WIDTH OF SINGLE LOAD ROADS ADJACENT TO PARK			0
8. SITE FURNISHINGS AND AMENITIES	A. ONE GROUND SIGN (MONUMENT) PER SUBDIVISION B. R.O.W LANDSCAPE SHALL EXTEND TO INCLUDE ENTRY AREA C. A LANDSCAPE STREET MEDIAN 10' X 50' MIN REQUIRED AT MAIN SUBDIVISION ENTRANCE		
9. LOT SIZES	A. LOT SIZES SHALL BE CONSISTENT WITH COMP PLAN B. LOT SIZES MAY BE REDUCED IN QUALITY DEVELOPMENTS C. LOT SIZES MAY VARY FOR NEIGHBORHOOD MIXED USE		
10. SETBACKS	MINIMUMS: PRIMARY STRUCTURE: FRONT SETBACK FOR LIVING SPACE: 25' (INCLUDES A SIDE YARD ABUTTING PUBLIC LOCAL STREET) FRONT SETBACK: 20' FOR NON-GARAGE ARCHITECTURE WHEN FRONT-LOADED GARAGE IS SET BACK A MINIMUM OF 30 FEET FRONT SETBACK FOR SIDE-LOADED GARAGE: 15' REAR SETBACK FOR GARAGES: 20' FRONT SETBACK FOR FRONT PORCHES: 14' (NO LIVING SPACE PERMITTED ABOVE PORCH) SIDE SETBACK FOR ONE-STORY RESIDENCE: 7.5' SIDE SETBACK FOR TWO-STORY RESIDENCE: 10' REAR SETBACK: 25' SETBACKS FROM PROPOSED RIGHT-OF-WAY ABUTTING COLLECTOR STREET: 32' SETBACKS FROM PROPOSED RIGHT-OF-WAY ABUTTING ARTERIAL STREET: 100' SETBACKS FROM HIGHWAY (U.S. 36, I-25): 100'		
A. FRONT SETBACK GREATER THAN 25'		100 PTS MAX	0
B. 10' OR GREATER MIN SIDE SETBACK FOR 1 STORY RESIDENCE		100 PTS MAX	0
C. 12' OR GREATER SIDE SETBACK FOR 2 STORY RESIDENCE		100 PTS MAX	100
11. MULTI-USE TRAILS	MINIMUM WIDTH FOR MULTI-USE TRAILS SHALL BE 8'		
A. INSTALLATION OF ADDITIONAL MULTI-USE CONCRETE PATH		100 PTS MAX	0
B. MULTI-USE PATH WIDTHS WILL BE A MINIMUM OF 10'		150 PTS MAX	0

12. PUBLIC LAND DEDICATION	ALL RESIDENTIAL DEVELOPMENTS SHALL PROVIDE PUBLIC SCHOOL SITES OR FEES IN LIEU		
A. NON-FLOODPLAIN LAND		500 PTS MAX	0
B. FLOODPLAIN LAND		100 PTS MAX	0
PRIVATE OPEN SPACE AND PARKS	IN ADDITION TO THE MINIMUM PUBLIC LAND DEDICATION REQUIRED OF RESIDENTIAL DEVELOPMENT, PRIVATE PARKS, OPEN SPACE, AND RECREATIONAL FACILITIES ARE REQUIRED FOR SINGLE-FAMILY NEIGHBORHOODS. A) A MINIMUM OF 4% OF THE TOTAL ACREAGE SHALL BE SET ASIDE FOR A PRIVATE PARK. B) PRIVATE OPEN SPACE SHALL BE LANDSCAPED AND IRRIGATED. MAINTENANCE IS RESPONSIBILITY OF THE HOA.		
A. ENVIRONMENTALLY SENSITIVE AREAS WILL BE MAINTAINED AS PRIVATE OPEN SPACE		50 PTS MAX	0
B. PRIVATE PARK AREA WILL BE INCREASED ABOVE MINIMUM 4% REQUIREMENT			
C. 4%-5%		200 PTS	0
D. 5%-6%		300 PTS	0
E. >6%		400 PTS	0
14. RECREATION FACILITIES	A) A RECREATION, CLUBHOUSE, AND MEETING FACILITY (2,000 S.F. MIN.) PLUS RESTROOMS SHALL BE PROVIDED FOR ALL PROJECTS WITH MORE THAN 150 UNITS. B) A HOT TUB (OPEN YEAR ROUND) AND CHILDREN'S SPLASH PAD (SEASONAL, LOW VOLUME), BOTH NEAR THE CLUBHOUSE AND RESTROOM FACILITIES, SHALL BE PROVIDED FOR ALL PROJECTS WITH MORE THAN 200 UNITS. FOR PROJECTS WITH MORE THAN 300 UNITS, IN ADDITION TO THE ABOVE, A POOL WITH NEARBY RESTROOMS SHALL BE REQUIRED. ALL POOLS SHALL HAVE A MINIMUM DECK WIDTH OF 12 FEET AROUND THE PERIMETER OF EACH POOL. C) FOR PROJECTS WITH MORE THAN 300 UNITS, IN ADDITION TO THE ABOVE, A POOL WITH NEARBY RESTROOMS SHALL BE REQUIRED.		
A. INDOOR MINIMUM 2000 SF RECREATION, CLUBHOUSE, AND MEETING FACILITIES WITH RESTROOMS		350 PTS	0
B. SHARED CLUBHOUSE WITH PRE-EXISTING DEVELOPMENT		75 PTS	0
C. SHARED POOL WITH PRE-EXISTING DEVELOPMENT		75 PTS	0
D. A CLUBHOUSE WITH YEAR ROUND RESTROOMS AND HOT TUB		200 PTS	0
E. HARD-SURFACE COURTS SUCH AS TENNIS ETC INCLUDING FENCING, STRIPING, NET, LIGHTING, ETC.		200 PTS MAX	0
F. SAND VOLLEYBALL COURTS		100 PTS MAX	0
G. PLAY EQUIPMENT WITH SWINGS, ETC 0.5% OF SITE AREA.		300 PTS	0
H. WEATHER PROTECTED BICYCLE PARKING		150 PTS	0

STERLING DESIGN ASSOCIATES
 Civil Engineers | Landscape Architects
 2009 W. Littleton Blvd. #300 Littleton, CO 80120
 303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

**HURON FARM
 SUBDIVISION**

OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 5 OF 16

SINGLE FAMILY DETACHED RESIDENTIAL DESIGN ELECTIVES (CONT.)

15. FENCING AND WALLS	A) WHEN USED, PERIMETER FENCING OR WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS AND ARE TO INCLUDE BRICK OR STONE COLUMNS (2-FOOT MINIMUM WIDTH AND DEPTH) SPACED A MAXIMUM OF 65 FEET APART. IN SOME CASES, SUCH AS ADJACENT TO PARKS OR IN SPECIAL STREETScape SITUATIONS, FENCING MAY BE MODIFIED TO INCLUDE LOW PROFILE, SPLIT RAIL, OR WROUGHT IRON FENCING. B) ALL HORIZONTAL-SUPPORTING STRUCTURES OF ALL SOLID WOOD AND VINYL FENCING SHALL BE CONSTRUCTED TOWARD THE INTERIOR OF THE PROJECT OR LOT TO REDUCE VISIBILITY OF THE SUPPORT STRUCTURES FROM STREETS AND OTHER PUBLIC AREAS. C) OFFSETS IN PERIMETER FENCING OR WALL (MIN. 5-FOOT DEPTH AND 10-FOOT LENGTH) FOR LANDSCAPING (TREES AND SHRUBS REQUIRED) SHALL BE PROVIDED EVERY 200' OR LESS FOR AT LEAST A DISTANCE OF 400'.		
MASONRY COLUMNS SPACED 55' OR LESS APART		100 PTS	100
16. MITIGATION OF ENVIRONMENTAL EFFECTS	SCREENING AND BUFFERING REQUIRED FOR ALL RESIDENTIAL DEVELOPMENT ALONG US 36, I-25, AND ARTERIAL STREETS		
ARCHITECTURAL DESIGN			
1. ANTI-MONOTONY, SUSTAINABILITY AND ACCESSIBILITY CRITERIA, AND WORKFORCE HOUSING ELEMENTS	NO SINGLE FAMILY DWELLING UNIT OF THE SAME MODEL SHALL BE BUILT ON ADJACENT LOTS		
A. 30% OR MORE MODELS WILL BE SHOWN TO BE DESIGNED AS LIVE-WORK UNITS		75 PTS	0
B. 50% OR MORE HOMES WILL BE BUILT WITH A GROUND-FLOOR MASTER BEDROOM AND FULL BATH WITH A TUB		100 PTS	100
2. EXTERIOR DESIGN ELEMENTS	1) ALL THREE-STORY PLANES (E.G. THREE-STORY WALK-OUT UNITS) SHALL BE DESIGNED WITH PROJECTIONS AND/OR RECESSES. 2) A "HORIZONTAL OFFSET" OR "PROJECTION/RECESS" OF 4' OR GREATER SHALL BE PROVIDED ON A MINIMUM OF 50% OF ALL APPROVED MODELS AND RESIDENCES BUILT.		
A. OFFSETS- OFFSETS (4' MIN) WILL BE PROVIDED ON ALL DWELLING UNITS ON ALL FRONT ELEVATIONS		50 PTS	50
B. ROOF BREAKS	ROOF SLOPES SHALL BE AT A MINIMUM PITCH OF 5:12. ALL ROOFS SHALL HAVE 1-FOOT MINIMUM OVERHANGING EAVES. EXCEPTIONS MAY BE MADE, AT THE CITY'S DISCRETION, FOR UNIQUE ARCHITECTURAL DESIGNS. ROOF BREAKS SHALL OCCUR ON A MINIMUM OF 50% OF ALL APPROVED MODELS AND RESIDENCES BUILT.		
1) ROOF BREAKS WILL OCCUR ON ALL APPROVED MODELS		50 PTS	50
C. OUTDOOR LIVING AREAS	USABLE FRONT PORCHES (UNOBSTRUCTED 80 S.F. MIN. WITH 6-FOOT MIN. DEPTH) AND SIDE OR REAR YARD PATIOS (UNOBSTRUCTED 120 S.F. MIN.) SHALL BE REQUIRED ON A MINIMUM OF 50% OF THE APPROVED MODELS AND RESIDENCES BUILT.		
1) USABLE FRONT PORCHES (UNOBSTRUCTED 80 S.F. MIN. WITH 6-FOOT MIN. DEPTH) WILL BE PROVIDED ON AT LEAST 50% OF THE APPROVED MODELS AND RESIDENCES BUILT, AND SIDE OR REAR PATIOS (UNOBSTRUCTED 120 S.F. MIN.) WILL BE PROVIDED WITH ALL RESIDENCES		100 PTS	100
D. BAY OR BOX WINDOWS	WINDOWS OF A MINIMUM WIDTH OF 5 FEET THAT PROJECT A MINIMUM OF 16 INCHES FROM THE FRONT FACADE SHALL BE REQUIRED ON 50% OR MORE OF ALL UNITS WITHIN A STREETScape.		

1) WINDOWS (MIN. 5-FOOT WIDTH) WILL PROJECT A MINIMUM OF 2 FEET FROM THE FRONT FACADE ON 75% OR MORE OF UNITS WITHIN A STREETScape		50 PTS	0
3. GARAGES	A) ALL DWELLING UNITS SHALL PROVIDE A TWO-CAR (MINIMUM) GARAGE. IF THREE-CAR GARAGES ARE PROVIDED, THE THIRD SPACE SHALL HAVE A SEPARATE DOOR AND A 2-FOOT MINIMUM HORIZONTAL SETBACK FROM THE MAIN GARAGE DOOR. ALL FRONT-LOADED GARAGE DOORS MUST BE SETBACK A MINIMUM OF 4 FEET FROM THE REST OF THE HOUSE. IF BOTH FRONT-LOADED AND SIDE-LOADED GARAGES ARE COMBINED IN A SINGLE MODEL, THE MINIMUM DISTANCE FROM EACH OF THE TWO DOORS TO THE JOINING CORNER SHALL BE 2 FEET. B) GARAGE INTERIOR – MINIMUM DIMENSIONS, EXCLUDING ALL POSSIBLE AREAS OF STAIR LOCATIONS: DEPTH – SINGLE- AND DOUBLE-CAR GARAGE: 22 FEET WIDTH – SINGLE-CAR GARAGE: 12 FEET WIDTH – DOUBLE-CAR GARAGE: 20 FEET C) GARAGE DOOR – MINIMUM DIMENSIONS: HEIGHT: 7 FEET WIDTH – SINGLE-CAR GARAGE DOOR: 8 FEET WIDTH – DOUBLE-CAR GARAGE DOOR: 16 FEET		
A) GARAGE DOORS WILL BE SEPARATED WITH MASONRY ELEMENTS		100 PTS	100
B) GARAGE DOOR WINDOWS WILL BE INCORPORATED IN THE DESIGN OF 50% OF THE MODELS AND WINDOW DESIGN WILL COMPLEMENT THE STYLE OF THE HOUSE WINDOWS		75 PTS	75
C) SIDE OR REAR LOADED GARAGES WILL OCCUR ON AT LEAST 75% OF THE MODELS AND RESIDENCES BUILT		500 PTS	500
D) INTERIOR GARAGE AREA OF EACH MODEL WILL INCLUDE A STORAGE AREA OF AT LEAST 50 SF (WITH MIN 3' DEPTH) THAT WILL NOT ENCRoACH IN THE 22' MIN GARAGE DEPTH		300 PTS	300
4. EXTERIOR MATERIALS AND COLORS	1) 30% OR MORE MASONRY (BRICK OR STONE) SHALL BE INSTALLED ON FRONT ELEVATIONS (EXCLUDE WINDOW AND DOOR AREA FROM PERCENTAGE CALCULATION) ABUTTING STREETS, OPEN SPACE, TRAILS, OR PARKS. 2) MASONRY (BRICK OR STONE) SHALL BE INSTALLED AT A MINIMUM TO THE BOTTOM LINE OF THE LOWEST STORY WINDOWS, INCLUDING ON WALKOUTS AND GARDEN LEVELS, ON SIDE OR REAR ELEVATIONS ABUTTING STREETS, OPEN SPACE, TRAILS, OR PARKS. 3) ALL SECOND-STORY (OR FIRST-STORY WALKOUT) DECKS SHALL INCLUDE BRICK OR STONE WRAPPED COLUMNS WHEN ABUTTING STREETS, OPEN SPACE, TRAILS, AND PARKS. 4) CLADDING WILL EXTEND TO THE GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE THE GRADE, WHERE A MAXIMUM OF 18 INCHES OF FOUNDATION WILL BE EXPOSED.		

STERLING
DESIGN ASSOCIATES
 Civil Engineers | Landscape Architects
 2009 W. Littleton Blvd. #300 Littleton, CO 80120
 303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

HURON FARM
SUBDIVISION

OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 6 OF 16

SINGLE FAMILY DETACHED RESIDENTIAL DESIGN ELECTIVES (CONT.)

A) ROOF MATERIALS PREFERRED ROOF MATERIALS INCLUDE CLAY OR CONCRETE TILES, SLATE, ARCHITECTURAL METAL, MASONITE OR ARCHITECTURAL GRADE (HIGH PROFILE, DIMENSIONAL) ROOFING. CONVENTIONAL ASPHALT (3-TAB) ROOFS ARE NOT ACCEPTABLE. A VARIETY OF ROOF FORMS (HIP, GABLE, ETC.), MATERIALS, AND COLOR VARIATIONS ARE ENCOURAGED.			
B) WALL MATERIALS ALL EXTERIOR WALL MATERIALS SHALL BE COMPATIBLE WITH ADJACENT/NEIGHBORHOOD HOMES. SUGGESTED MATERIALS INCLUDE MASONITE, BRICK, STONE AND MANUFACTURED STONE (STACKED PREFERRED OVER ROUNDED). WALL MATERIAL COLORS SHOULD BE NATURAL OR EARTH TONES FOR DOMINANT AREAS. A VARIETY OF MATERIALS (SIDING, STUCCO, BRICK, AND STONE) AND COLORS ARE STRONGLY ENCOURAGED. LAP SIDING SHALL HAVE A MAXIMUM 9" EXPOSED BOARD FACE. EXCEPTIONS TO THE 9" MAXIMUM EXPOSURE MAY, AT THE CITY'S DISCRETION, BE MADE DEPENDING ON THE ARCHITECTURAL DESIGN OF THE ELEVATION. PRIMARY OR OTHER BRIGHT COLORS SHOULD BE USED SPARINGLY AND ONLY AS ACCENTS. HIGHLY REFLECTIVE MATERIALS ARE NOT ALLOWED.			
2) 50% OR MORE MASONRY WILL BE PROVIDED ON ALL FOUR SIDES OF THE RESIDENCES		500 PTS	0
C) ACCESSORY STRUCTURES	ACCESSORY BUILDINGS SHALL BE ARCHITECTURALLY INTEGRATED WITH THE MAIN RESIDENCE AND SHALL CONSIST OF SIMILAR MATERIALS, FORM, AND COLOR. ACCESSORY BUILDINGS SHALL NOT BE LOCATED IN ANY REQUIRED FRONT OR SIDE YARD AND SHALL FOLLOW REQUIREMENTS OF THE WESTMINSTER MUNICIPAL CODE UNLESS OTHERWISE SPECIFIED ON THE OFFICIAL DEVELOPMENT PLAN		
LANDSCAPE DESIGN			
1. RIGHT-OF-WAY LANDSCAPING	A MINIMUM OF ONE (1) SHADE TREE PER 50 LINEAR FEET OF LANDSCAPED TREE LAWN IS REQUIRED FOR WITHIN THE RIGHT-OF-WAY. TREE LAWNS OR OTHER LANDSCAPED AREA CONTAINING TREES IN THE RIGHT-OF-WAY MUST BE A MINIMUM WIDTH OF 6 FEET.		
A) A MINIMUM OF ONE (1) SHADE TREE PER 500 SQUARE FEET OF LANDSCAPED AREA IS PROVIDED WITHIN THE RIGHT-OF-WAY		100 PTS	0
B) STREET TREES (DECIDUOUS, SHADE TREES WITH 40-FOOT MAX. SPACING) WILL BE PLANTED IN THE LANDSCAPE AREA BETWEEN THE CURB AND THE SIDEWALK ALONG A MIN. OF 75% OF THE LOCAL STREET LENGTHS ON BOTH SIDES OF THE LOCAL STREETS		350 PTS	0
2. DETENTION POND AREA LANDSCAPING			
A) THE DEVELOPER IS RESPONSIBLE FOR LANDSCAPING THE DETENTION POND AND OTHER COMMON AREAS		N/A	

3. SIZE OF PLANT MATERIALS FOR RIGHTS-OF-WAY AND COMMONS AREAS	THE MINIMUM SIZES REQUIRED IN THE RIGHT-OF-WAY AND COMMON AREAS ARE: DECIDUOUS TREES: 2" CALIPER; ORNAMENTAL TREES: 2" CALIPER; EVERGREENS: 6" HEIGHT. TWENTY PERCENT OF THE EVERGREEN TREES ARE TO BE 8' MIN. HEIGHT.		
4. SINGLE-FAMILY HOME LANDSCAPING	A) FOR RESIDENTIAL LOTS UP TO 10,000 SQUARE FEET IN SIZE, A MINIMUM OF ONE (1) SHADE TREE AND (10) SHRUBS SHALL BE INSTALLED IN THE FRONT YARD OF EVERY RESIDENCE. AN AUTOMATIC IRRIGATION SYSTEM WITH A MINIMUM CAPACITY OF 9 ZONES WILL BE INSTALLED. B) FOR RESIDENTIAL LOTS LARGER THAN 10,000 SQUARE FEET IN SIZE, A MINIMUM OF TWO (2) TREES AND (15) SHRUBS SHALL BE REQUIRED IN THE FRONT YARD OF EVERY RESIDENCE. (AT LEAST ONE SHALL BE A SHADE TREE). AN AUTOMATIC IRRIGATION SYSTEM WITH A MINIMUM CAPACITY OF 12 ZONES WILL BE INSTALLED.		
A) FOR RESIDENTIAL LOTS 10,000 SQUARE FEET OR LARGER IN SIZE, A MINIMUM OF THREE (3) TREES AND TWENTY (20) SHRUBS WILL BE INSTALLED IN THE FRONT YARD OF EACH LOT		75 PTS	75
5. SIZE OF PLANT MATERIALS FOR SINGLE-FAMILY HOMES	THE MINIMUM SIZES REQUIRED FOR FRONT YARD LANDSCAPING ARE AS FOLLOWS: DECIDUOUS AND ORNAMENTAL TREES: 2-1/2" CALIPER; EVERGREENS: 6' HEIGHT.		
SUSTAINABLE DESIGN			
1. LANDSCAPING AND WATER CONSERVATION			
A) TREE LAWNS	THE MINIMUM TREE LAWN WIDTH FOR BOTH A PUBLIC AND PRIVATE STREET OR DRIVE TYPE IS 6 FEET.		
1) TREE LAWNS IN ALL PRIVATE OR PUBLIC STREETS OR DRIVES WILL BE INCREASED ABOVE THE MINIMUM TO IMPROVE THE WALKING EXPERIENCE AND IMPROVE LONG-TERM TREE HEALTH; 50 POINTS FOR EACH ADDITIONAL FOOT OF TREE LAWN WIDTH ABOVE SIX FEET		300 PTS	0
B) LANDSCAPE ISLANDS/MEDIANS	LANDSCAPED ISLANDS AND MEDIANS IN PARKING AREAS FOR DEVELOPMENTS WITH COMMUNITY FACILITIES, SUCH AS CLUBHOUSES AND POOL FACILITIES, MUST BE A MINIMUM OF 12' WIDE.		
C) WATER CONSERVATION/LANDSCAPING	THE MAXIMUM TURF AREA CANNOT EXCEED 40% OF THE COMMON LANDSCAPED AREA NOT IN RIGHT-OF-WAY. HIGHLY EFFICIENT IRRIGATION SYSTEMS AND METHODS MUST BE INCORPORATED, INCLUDING ET OR SOIL MOISTURE BASED CONTROLLERS AND RAIN SENSORS TO REDUCE CONSUMPTION.		
2) TURF AREA WILL BE REDUCED TO LESS THAN 20% OF THE LANDSCAPE AREA TO REDUCE WATER CONSUMPTION		125 PTS	125
D) SITE DESIGN/STORMWATER		150 PTS MAX	0
E) PAVING MATERIALS		200 PTS MAX	0
F) MULTI-MODAL CONNECTIONS AND FURNISHINGS	ENHANCE PEDESTRIAN AND BICYCLE INFRASTRUCTURE FOR INTERNAL CONNECTIONS, CONNECTIONS TO ALL MULTI-MODAL TRANSPORTATION NODES AND CONNECTIONS TO ADJACENT NEIGHBORHOODS, SCHOOLS, COMMERCIAL CENTERS TO REDUCE AUTO DEPENDENCE BY ENCOURAGING WALKING AND BIKING. 1) SITE FURNISHINGS SUCH AS BUS SHELTERS, BENCHES, TRASH RECEPTACLES, BIKE RACKS, AND PERVIOUS DECORATIVE PAVING ARE INCORPORATED AT ALL BUS STOPS ADJACENT TO THE DEVELOPMENT 2) INCORPORATION OF AN INTERNAL PEDESTRIAN AND BICYCLE CORRIDOR NETWORK INCLUDING PUNCH-THROUGHS, 12-FOOT WIDE WITH A 6-FOOT WALKWAY.		
2. BUILDING CONSTRUCTION			
A) PROACTIVE SOLAR CONSTRUCTION		700 PTS MAX	0

STERLING DESIGN ASSOCIATES
 Civil Engineers | Landscape Architects
 2009 W. Littleton Blvd. #300 Littleton, CO 80120
 303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

**HURON FARM
 SUBDIVISION**

OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 7 OF 16

SINGLE FAMILY DETACHED RESIDENTIAL DESIGN ELECTIVES (CONT.)

B) DWELLING UNIT ENERGY EFFICIENCY		750 PTS MAX	0
C) WATER CONSERVING PLUMBING FIXTURES	ALL NEW RESIDENTIAL UNITS SHALL INCORPORATE INDOOR WATER FIXTURES WHICH MEET THE CURRENT PLUMBING CODE		
D) COMMUNITY FACILITIES	MAIL KIOSK WILL BE COVERED AND USE SOLAR-POWERED LIGHTING, PROVIDING 100% OF LIGHTING DEMAND REQUIRED.	700 PTS MAX	0
TOTAL POINTS COMMITTED:		10,010	1,675

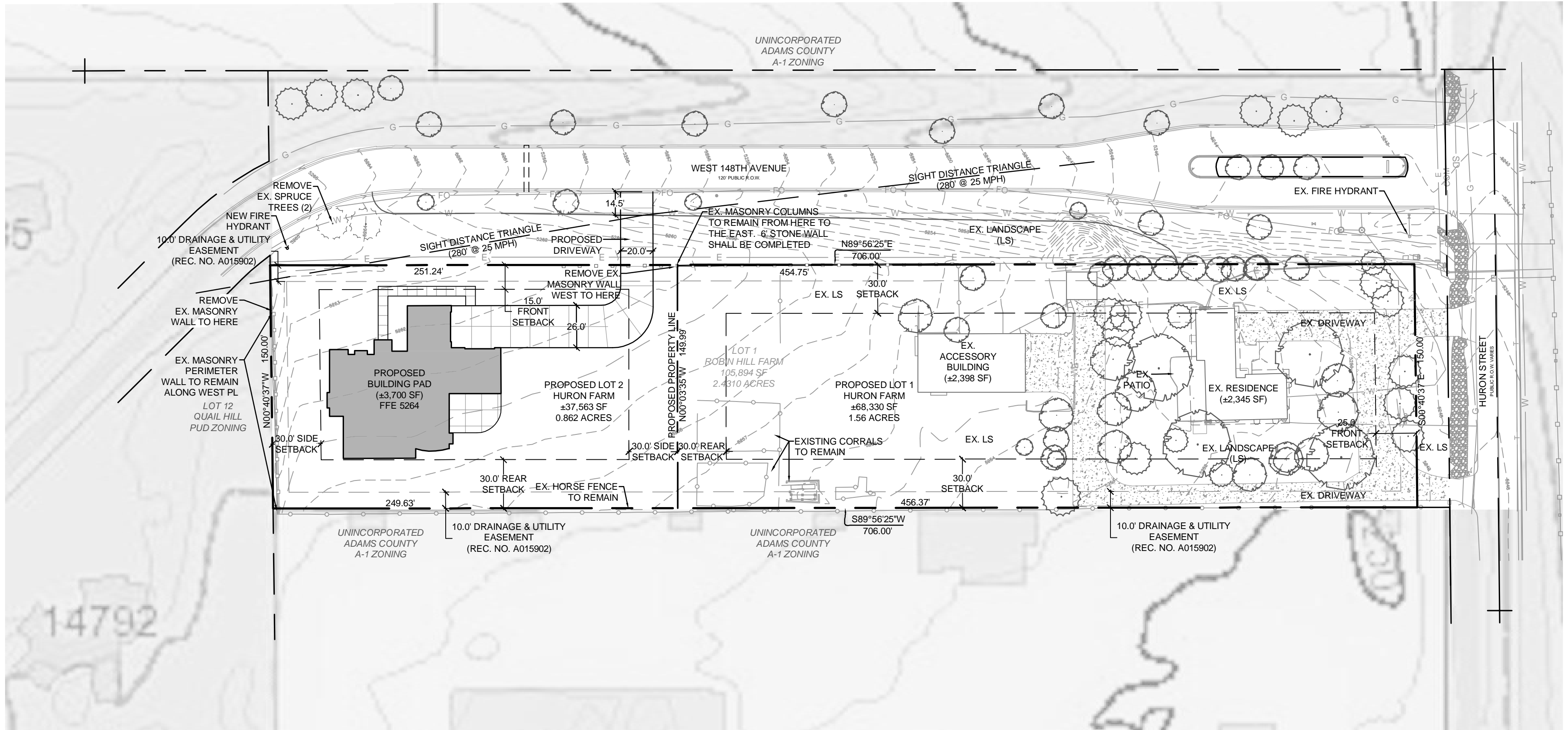


**STERLING
DESIGN ASSOCIATES**
 Civil Engineers | Landscape Architects
 2009 W. Littleton Blvd. #300 Littleton, CO 80120
 303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

**HURON FARM
SUBDIVISION**

OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 8 OF 16

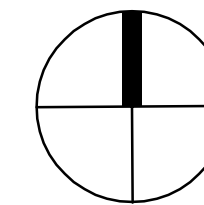


OVERALL LOT COVERAGE

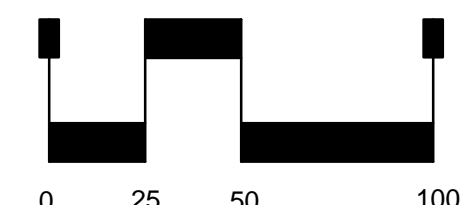
LAND USE	SURFACE TYPE	AREA (SF)	% OF SITE
RESIDENTIAL	BUILDING COVERAGE:	11,341	10.7%
RESIDENTIAL	PAVING AND DRIVES:	15,727	14.8%
RESIDENTIAL	LANDSCAPE OPEN AREA:	78,825	74.5%
TOTAL:		105,894	100.0%

LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING CONCRETE
- EXISTING CURB & GUTTER
- CONCRETE PAVEMENT
- EXISTING SIGN
- EXISTING STREET LIGHT
- EXISTING UTILITY POLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- DECIDUOUS TREE
- EVERGREEN TREE
- EXISTING MANHOLE
- EXISTING MONITORING WELL
- EXISTING STORM DRAIN
- EXISTING TRANSFORMER
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR



NORTH



SCALE: 1" = 50'-0"

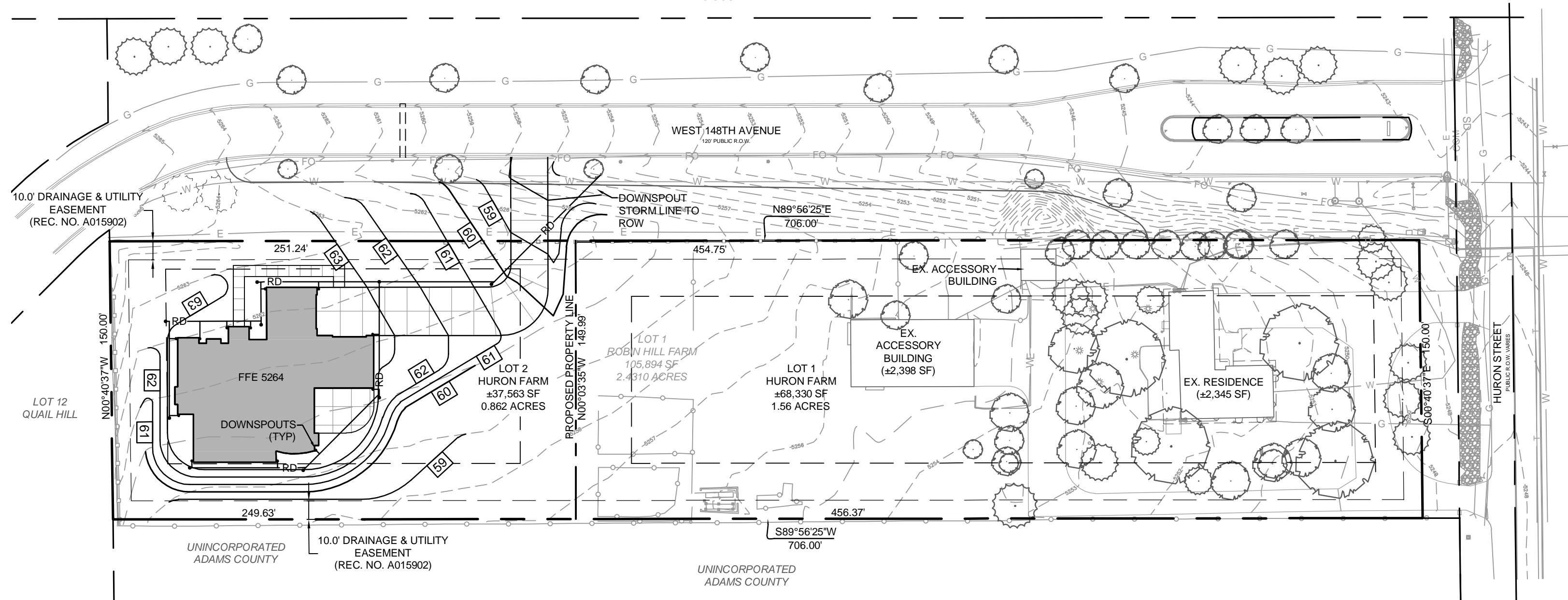
STERLING
DESIGN ASSOCIATES
 Civil Engineers | Landscape Architects
 2009 W. Littleton Blvd. #300 Littleton, CO 80120
 303.794.4727 | www.SterlingDesignAssociates.com

DATE: 12/08/22

HURON FARM
SUBDIVISION

OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 9 OF 16

UNINCORPORATED
 ADAMS COUNTY

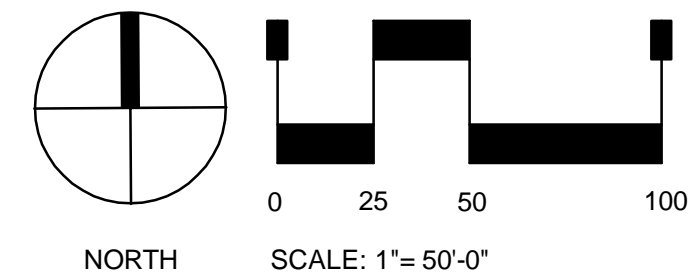


SITE DATA TABLE

AREA OF DISTURBANCE	31,440 SF
EXISTING IMPERVIOUS AREA	37,563 SF
PROPOSED IMPERVIOUS AREA	6,147 SF (16%)

LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING CONCRETE
- EXISTING CURB & GUTTER
- CONCRETE PAVEMENT
- EXISTING SIGN
- EXISTING STREET LIGHT
- EXISTING UTILITY POLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- DECIDUOUS TREE
- EVERGREEN TREE
- EXISTING MANHOLE
- EXISTING MONITORING WELL
- EXISTING STORM DRAIN
- EXISTING TRANSFORMER
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR



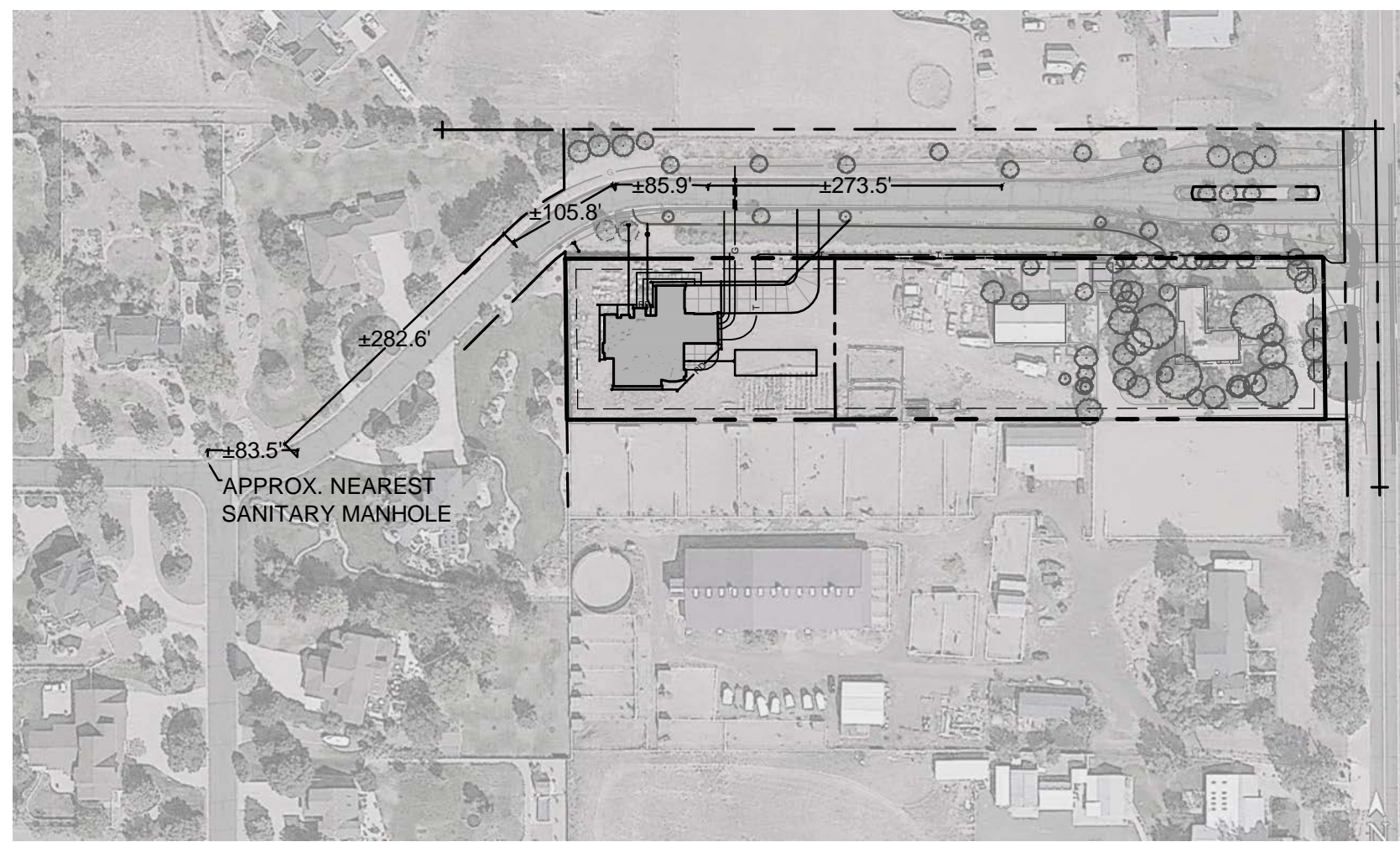
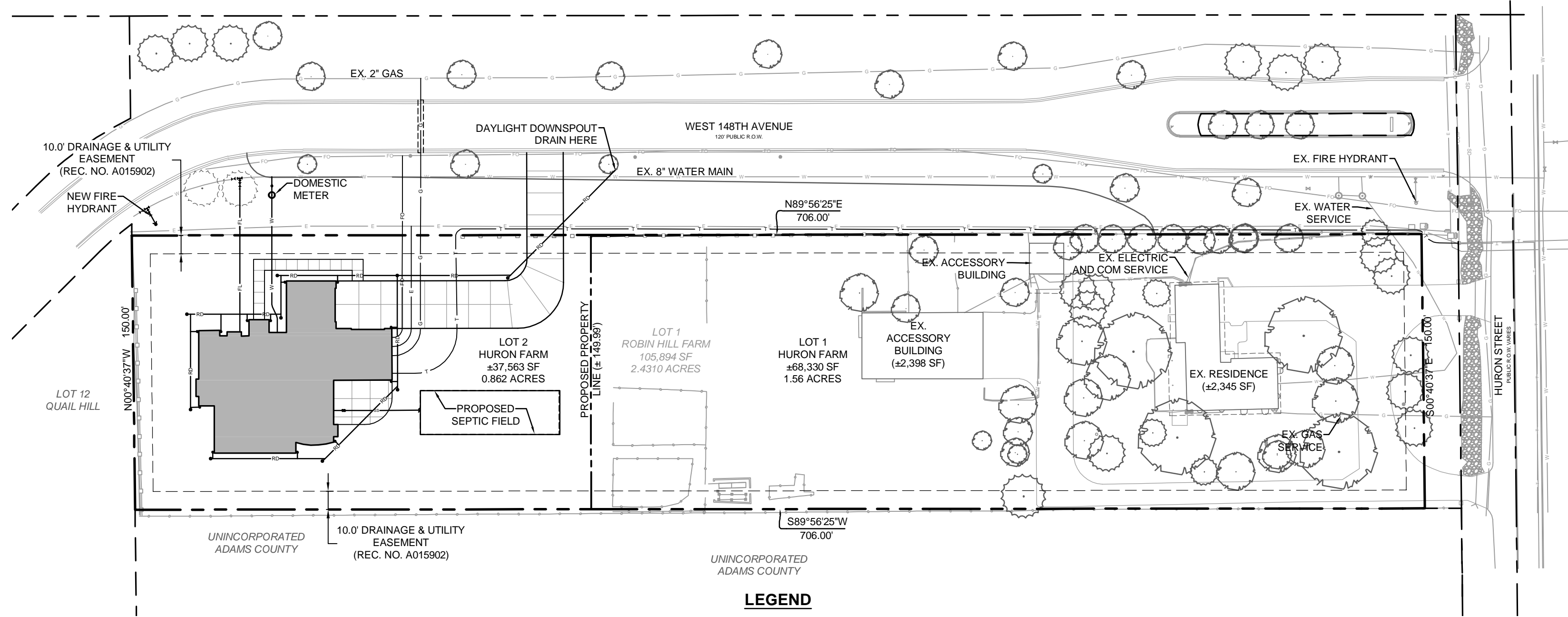
STERLING
 DESIGN ASSOCIATES
 Civil Engineers | Landscape Architects
 2009 W. Littleton Blvd. #300 Littleton, CO 80120
 303.794.4727 | www.SterlingDesignAssociates.com

DATE: 12/08/22

HURON FARM
SUBDIVISION

OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 10 OF 16

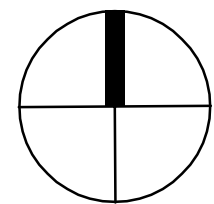
UNINCORPORATED
 ADAMS COUNTY



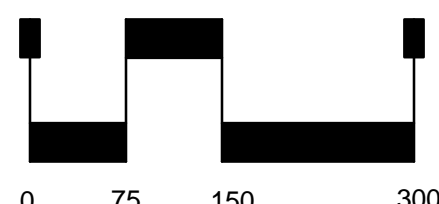
SANITARY RUN TO CLOSEST MANHOLE

LO1 = ±831.3'
 LO2 = ±557.8'

NOTE: EXISTING INVERT ELEVATION IS ABOVE WHAT IS NEEDED IN ORDER TO GRAVITY FLOW NEW RESIDENCE TO THE CLOSEST EXISTING CONNECTION.



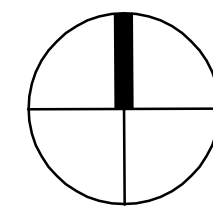
NORTH



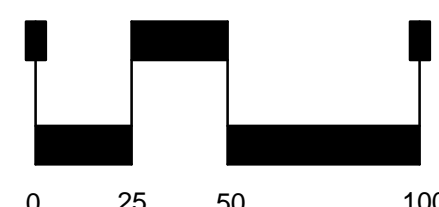
SCALE: 1" = 150'-0"

LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING CONCRETE
- EXISTING CURB & GUTTER
- EXISTING SIGN
- EXISTING STREET LIGHT
- EXISTING UTILITY POLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING MANHOLE
- EXISTING MONITORING WELL
- EXISTING STORM DRAIN
- EXISTING TRANSFORMER
- EXISTING ELECTRIC LINE
- PROPOSED ELECTRIC LINE
- EXISTING TELEPHONE LINE
- PROPOSED TELEPHONE LINE
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING FIBER OPTIC LINE
- PROPOSED FIBER OPTIC LINE
- PROPOSED IRRIGATION LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER



NORTH



SCALE: 1" = 50'-0"

SANITARY SEWER NOTE

PER WMC 8-8-2-C THE PROPOSED LOT IS NOT WITHIN 400 FEET OF AN EXISTING SANITARY SEWER WITH SUFFICIENT CAPACITY, THEREFORE, THE CITY IS NOT REQUIRING A CONNECTION TO THE CLOSEST EXISTING SANITARY SEWER TO THIS DEVELOPMENT.

STERLING
 DESIGN ASSOCIATES
 Civil Engineers | Landscape Architects
 2009 W. Littleton Blvd. #300 Littleton, CO 80120
 303.794.4727 | www.SterlingDesignAssociates.com

DATE: 12/08/22

HURON FARM
SUBDIVISION

**OFFICIAL DEVELOPMENT PLAN
HURON FARM SUBDIVISION**
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 12 OF 16

PLANT SCHEDULE (PRIVATE)							
	HYDROZONE	ABR.	COMMON NAME	BOTANICAL NAME	QTY	SIZE	REMARKS
SHADE TREES	LOW, L	WH	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	1	2" CAL.	B&B
				TOTAL SHADE TREES:	1		
ORNAMENTAL TREES	MEDIUM, M	AS WK	SERVICEBERRY WINTER KING HAWTHORNE	AMELANCHIER X. GRANDIFLORA CRATAEGUS VIRIDIS 'WINTER KING'	3 1	6' HT.	B&B
				TOTAL ORNAMENTAL TREES:	4		
EVERGREEN TREES		PP	PINON PINE	PINUS EDULIS	1	6' HT.	B&B
				TOTAL EVERGREEN TREES:	1		
				TOTAL ALL TREES:	6		
DECIDUOUS SHRUBS	MEDIUM, M	GF RS TS	GOLDFLAME SPIREA WINNIPEG PARKS SHRUB ROSE THREE-LEAF SUMAC	SPIREA X. BUMALDA 'GOLDFLAME' ROSA X. 'WINNIPEG PARKS' RHUS TRILOBATA	5 11 3	5 GALLON	PER PLAN
EVERGREEN SHRUBS	MEDIUM, M	GS	GLOBE SPRUCE	PICEA PUNGENS 'GLOBOSA'	4	5 GAL.	PER PLAN
				TOTAL ALL SHRUBS:	23		
GROUNDCOVERS	LOW, L	SEED	NATIVE SEED, LOW GROW MIX	LOW GROW SEED MIX, ARKANSAS VALLEY SEED COMPANY	20,401 SF	11 LBS./ACRE	HYDROSEED
				TOTAL ALL GROUNDCOVERS:	0		
TURF	HIGH, H	BG	TEXAS HYBRID KENTUCKY BLUEGRASS	SPF 30 (HB128) POA PRATENSIS L. POA ARACHNIFERA	2,322 SF		SOD
				TOTAL ALL TURF:	2,322 SF		

PLANT SCHEDULE (R.O.W.)							
	HYDROZONE	ABR.	COMMON NAME	BOTANICAL NAME	QTY	SIZE	REMARKS
EXISTING TREES	LOW, L	HL	HONELY LOCUST (1)	TOTAL EXISTING TREES: (148TH AVE)	8 TOTAL 5 TO REMAIN	VARIES 4" CAL SHADE, 20+ FEET EVERGREEN	SOUTH SIDE OF R.O.W. ONLY
		WH	WESTERN HACKBERRY (3)				
		CS	COLORADO SPRUCE (2)				
		RO	RUSSIAN OLIVE (1)				
		O	OAK (1)				
SHADE TREES	LOW, L	CO	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	3	2" CAL.	B&B
		WH	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	9		
				TOTAL SHADE TREES:	12		
				TOTAL ORNAMENTAL TREES:	0		
				TOTAL EVERGREEN TREES:	0		
				TOTAL ALL TREES:	17		
EVERGREEN SHRUBS	LOW, L	J	EXISTING JUNIPER	JUNIPERUS SPP.	57	EXISTING	AS SHOWN
				TOTAL ALL SHRUBS:	57		
GROUNDCOVERS	LOW, L	SEED	NATIVE SEED, LOW GROW MIX	LOW GROW SEED MIX, ARKANSAS VALLEY SEED COMPANY	4,527 SF (NEW AREA)	11 LBS./ACRE	HYDROSEED
				TOTAL ALL GROUNDCOVERS:	0		
				TOTAL ALL TURF:	0 SF		

LANDSCAPE WATER BUDGET (ROW)			
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)
HIGH	0	0	X 18 GAL.
MEDIUM	0	0	X 10 GAL.
LOW	100	27,866	X 3 GAL.
TOTAL: ALL HYDROZONES	100	27,866	83,598
TOTAL GAL / TOTAL LANDSCAPE AREA =			3 GAL/SF

USE LOT 1	SURFACE TYPE	AREA (SF)	PER LOT
RESIDENTIAL	BUILDING COVERAGE	5,041	7.40%
	PUBLIC STREETS AND ALLEYS	0	0
	PRIVATE WALKS, PATIOS, DRIVES	10,961	16.7%
	PRIVATE LANDSCAPE PARK, OPEN SPACE, TRAILS	52,328	76.6%
TOTALS:		68,330	100%
USE LOT 2	SURFACE TYPE	AREA (SF)	PER LOT
RESIDENTIAL	BUILDING COVERAGE	6,300	16.70%
	PUBLIC STREETS AND ALLEYS	0	0
	PRIVATE WALKS, PATIOS, DRIVES	2,448	6
	PRIVATE LANDSCAPE PARK, OPEN SPACE, TRAILS	28,815	76.7%
TOTALS:		37,563	100%

SOIL AMENDMENT REQUIRED			
PRIVATE AREA (SF)	26,497 X 5 YDS/ 1,000 SF	132	CU. YDS
R.O.W. AREA (SF)*	10,530 X 5 YDS/ 1,000 SF	53	CU. YDS
TOTAL:		185	CU. YDS

RIGHT-OF-WAY LANDSCAPE AREA (SF)*			
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
TREES	1/550 SF	19	19
SHRUBS	3/550 SF	57	57 (EX. EST.)

STERLING DESIGN ASSOCIATES
Civil Engineers | Landscape Architects
2009 W. Littleton Blvd. #300 Littleton, CO 80120
303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

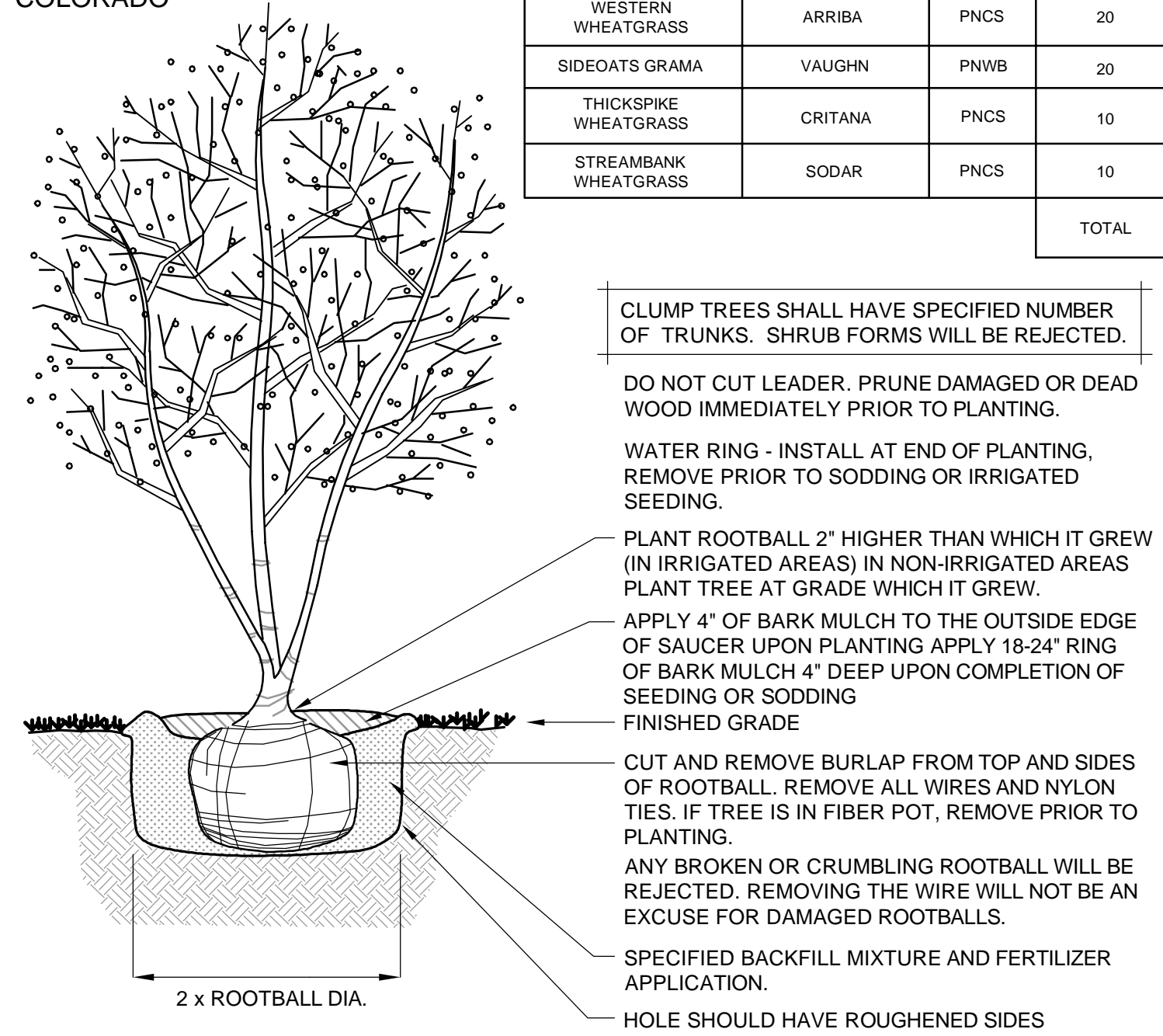
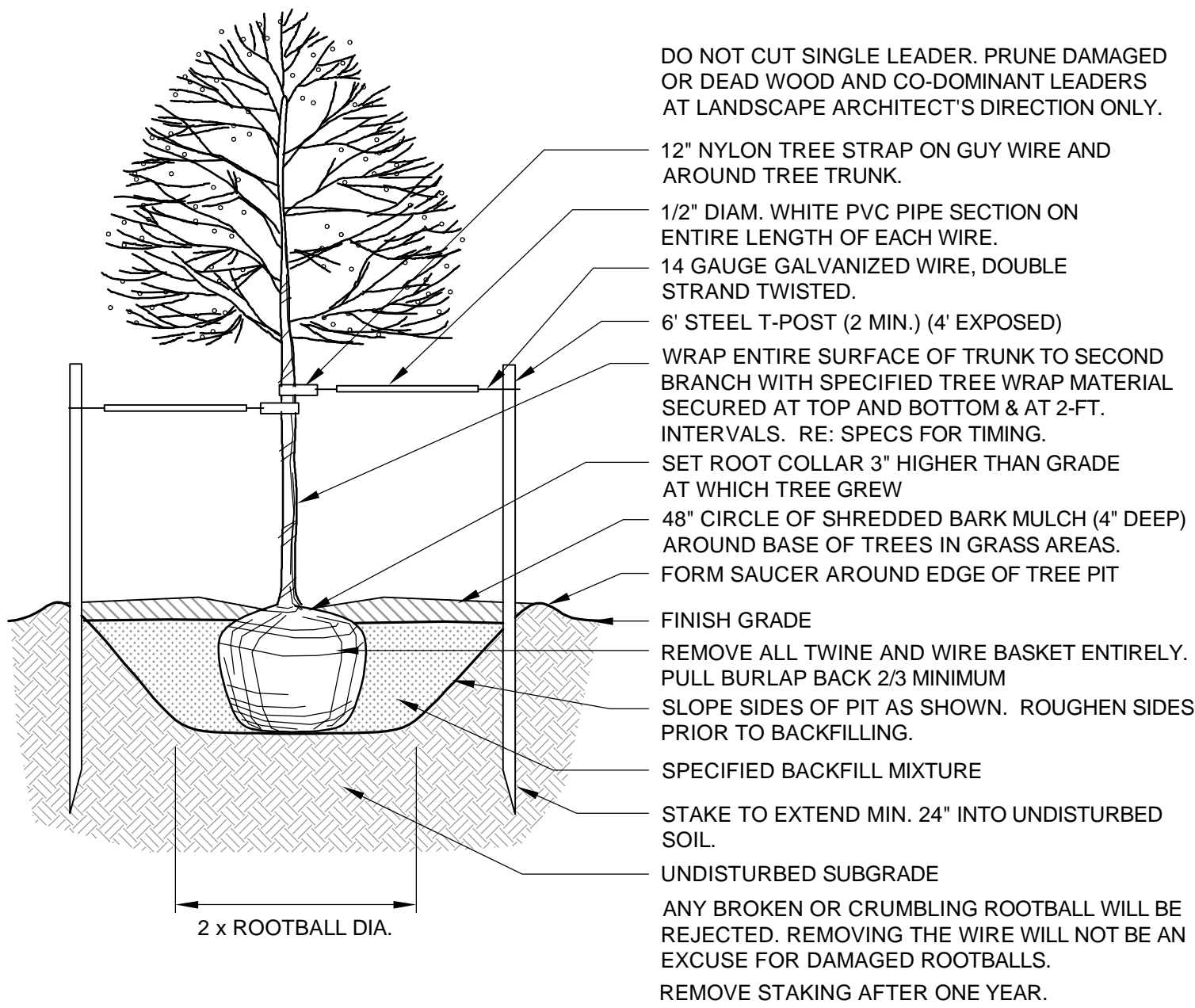
**HURON FARM
SUBDIVISION**

OFFICIAL DEVELOPMENT PLAN HURON FARM SUBDIVISION

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 13 OF 16

LOW-GROWTH NATIVE SEED MIX

SPECIES	VARIETY	NOTES	% IN MIX	POUNDS OF PLS PER ACRE
BUFFALOGRASS	TEXOKA	PNWS	20	3.2
BLUE GRAMA	HACHITA	PNWB	20	0.6
WESTERN WHEATGRASS	ARRIBA	PNCS	20	3.2
SIDEOATS GRAMA	VAUGHN	PNWB	20	1.8
THICKSPIKE WHEATGRASS	CRITANA	PNCS	10	1
STREAMBANK WHEATGRASS	SODAR	PNCS	10	1.2
TOTAL				11.0

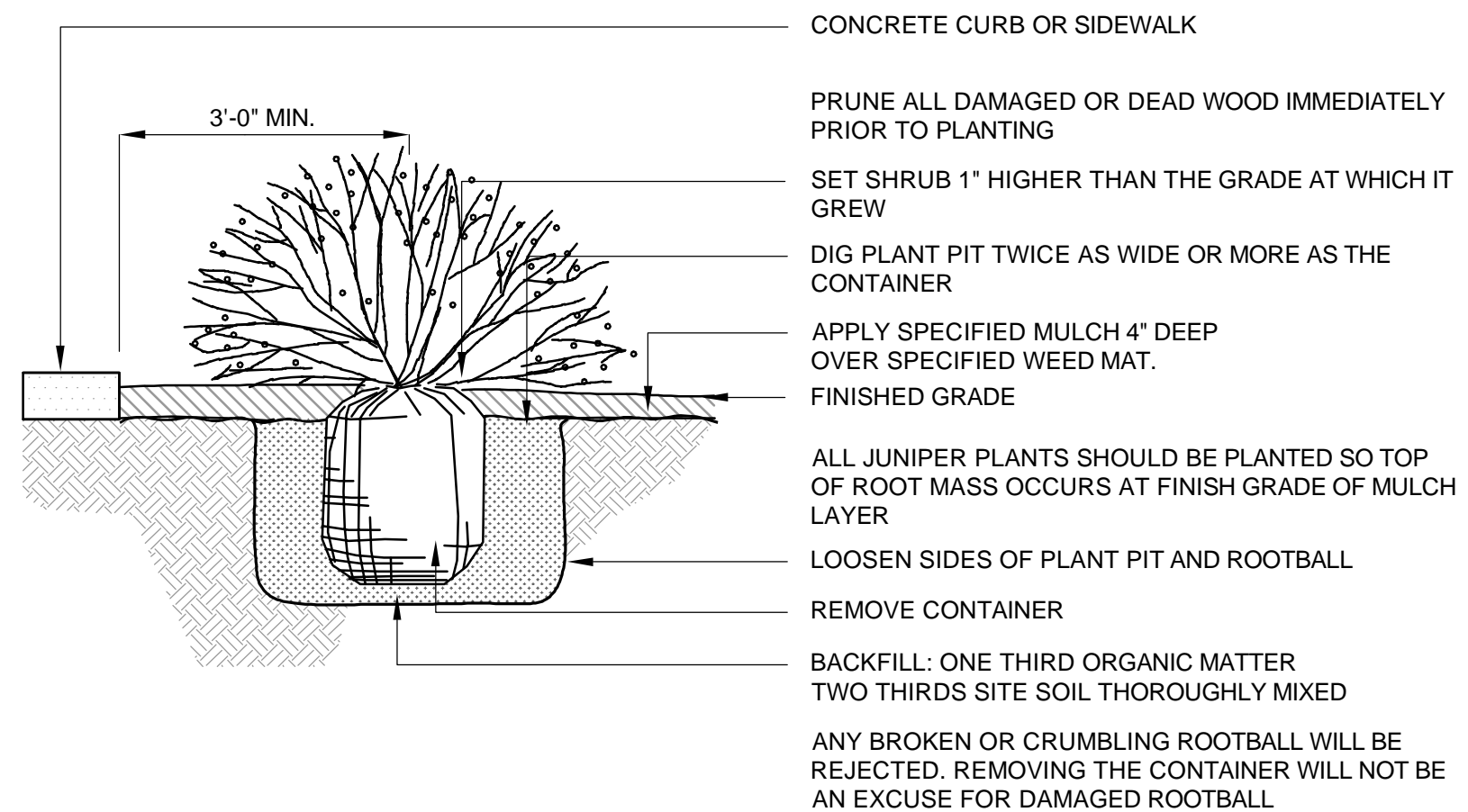
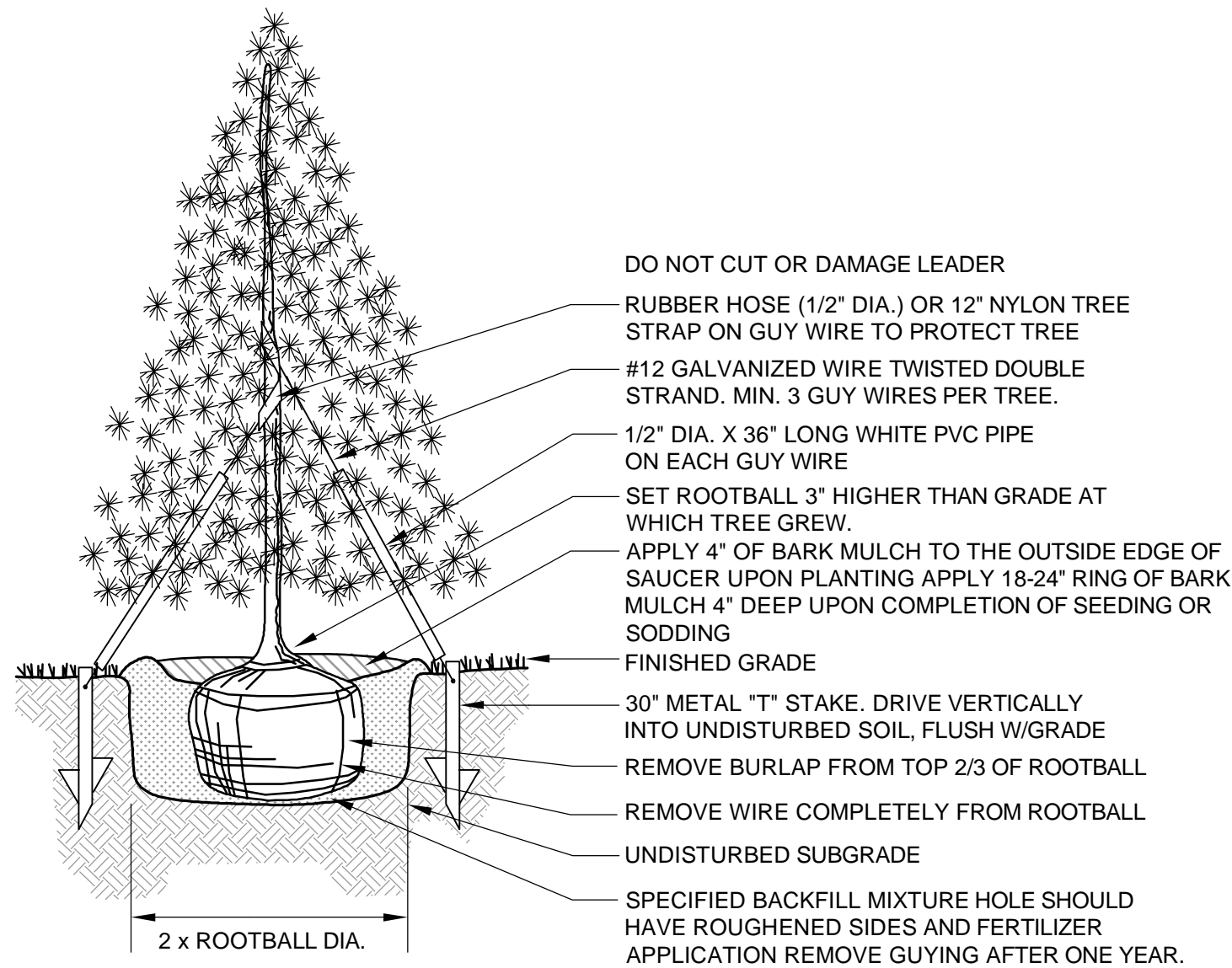


SHADE TREE PLANTING 1

NOT TO SCALE

CLUMP TREE PLANTING 2

NOT TO SCALE



EVERGREEN TREE PLANTING 3

NOT TO SCALE

SHRUB PLANTING 4

NOT TO SCALE

STERLING DESIGN ASSOCIATES
Civil Engineers | Landscape Architects
2009 W. Littleton Blvd. #300 Littleton, CO 80120
303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

HURON FARM SUBDIVISION

OFFICIAL DEVELOPMENT PLAN HURON FARM SUBDIVISION

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 14 OF 16



MAIN FLOOR PLAN
SCALE 1/8"=1'-0"

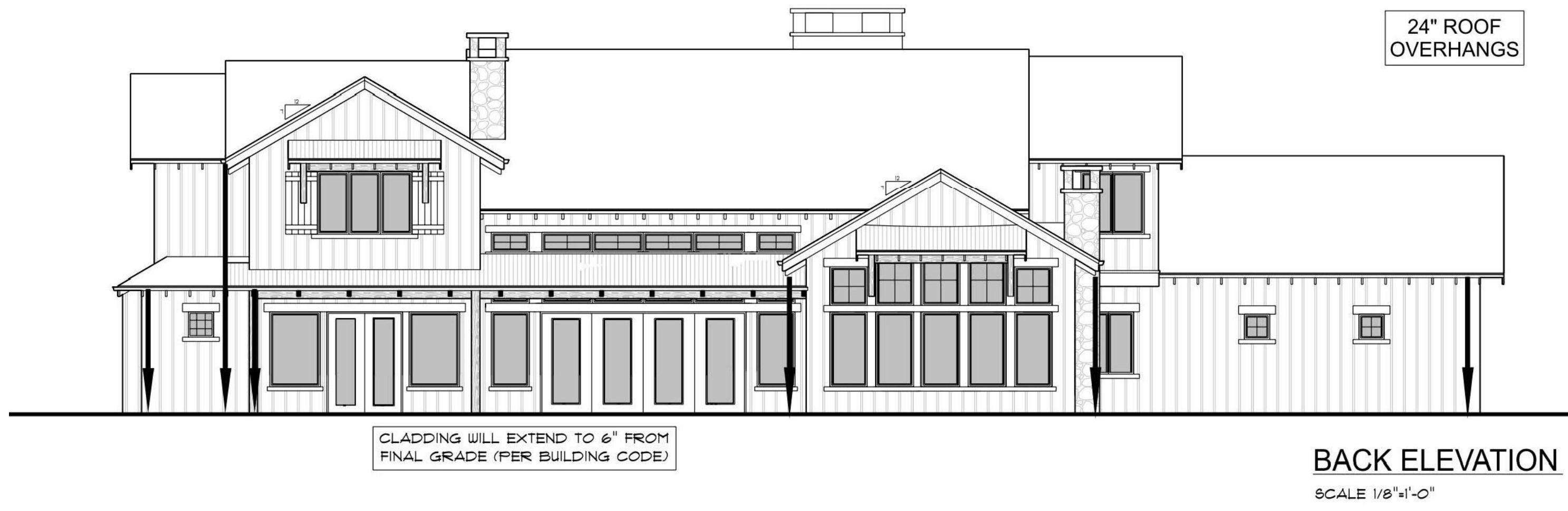
STERLING
DESIGN ASSOCIATES
Civil Engineers | Landscape Architects
2009 W. Littleton Blvd. #300 Littleton, CO 80120
303.794.4727 | www.SterlingDesignAssociates.com

DATE: 12/08/22

HURON FARM SUBDIVISION

OFFICIAL DEVELOPMENT PLAN HURON FARM SUBDIVISION

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 15 OF 16



EXTERIOR MATERIALS:

- A. 1 X 8 RUSTIC CEDAR CHANNEL SIDING, CEDAR STAIN COLOR.
- B. SUNSET STONE OR EQUAL, TELLURIDE FIELD STONE.
- C. TAN COLOR STUCCO.
- D. ASPHALT SHINGLE ROOF, BLACK SABLE COLOR.

*FINAL COLORS YET TO BE FINALIZED.

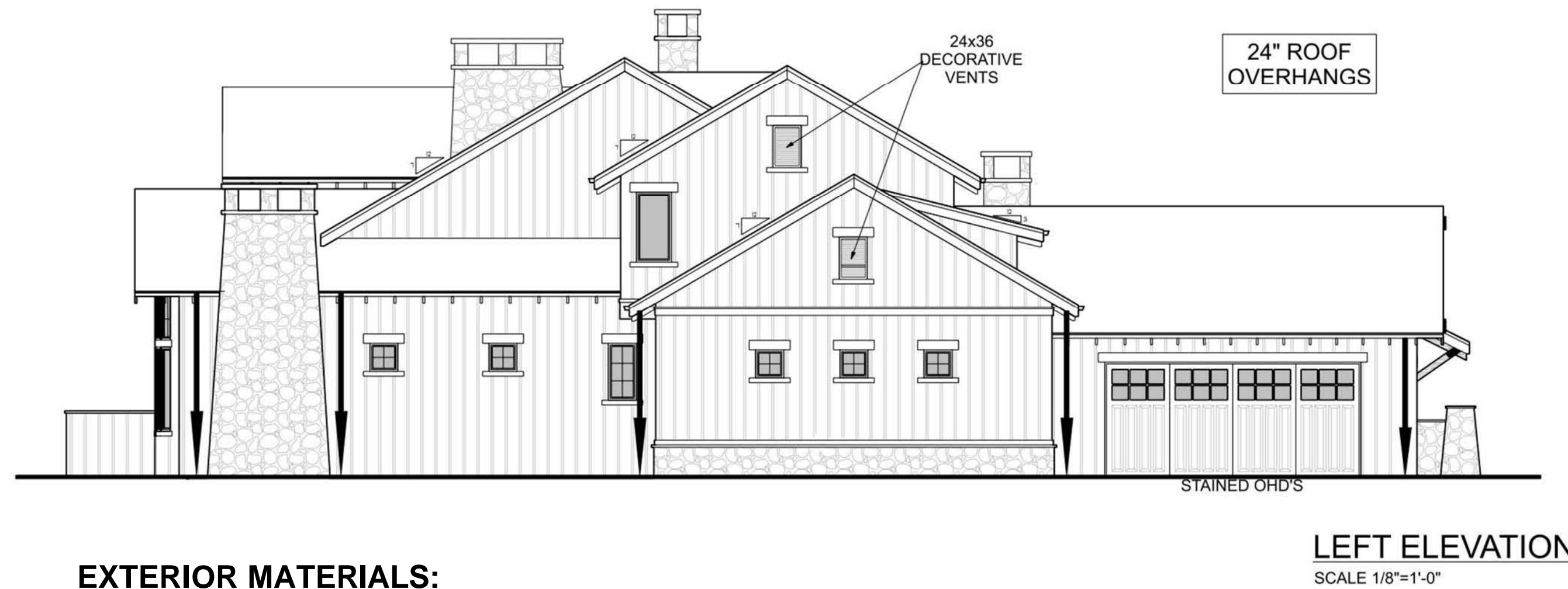
STERLING
DESIGN ASSOCIATES
Civil Engineers | Landscape Architects
2009 W. Littleton Blvd. #300 Littleton, CO 80120
303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

HURON FARM SUBDIVISION

OFFICIAL DEVELOPMENT PLAN HURON FARM SUBDIVISION

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 16 OF 16



EXTERIOR MATERIALS:

- A. 1 X 8 RUSTIC CEDAR CHANNEL SIDING, CEDAR STAIN COLOR.
- B. SUNSET STONE OR EQUAL, TELLURIDE FIELD STONE.
- C. TAN COLOR STUCCO.
- D. ASPHALT SHINGLE ROOF, BLACK SABLE COLOR.

*FINAL COLORS YET TO BE FINALIZED.

STERLING
DESIGN ASSOCIATES
Civil Engineers | Landscape Architects
2009 W. Littleton Blvd. #300 Littleton, CO 80120
303.794.4727 | www.sterlingdesignassociates.com

DATE: 12/08/22

HURON FARM SUBDIVISION

Attachment 5
Public Comments
Received as of
February 21, 2023

From: Joyce Bockman <joyce.bockman@usa.com>
Sent: Wednesday, February 15, 2023 1:53 PM
To: Kasza, Jacob
Subject: [EXTERNAL] Huron Farm PLN 22-0054 0060 0061
Attachments: Huron Farm.rtf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi, Jacob:

Thank you for taking the time to converse with me by phone recently.
I have attached a letter for the consideration of the planning department.

Also, can you send me a copy of the agreement that Carlson signed with the City regarding our responsibility for maintenance even though we don't own the property.

Thanks again for your help.

Joyce Bockman 303-450-0805
14792 Kalamath Ct.
Westminster, CO 80023

Jacob Kasza

Westminster Planning Department

Re: Project #PLN 22-0054, 0060, 0061

Thank you for taking the time to discuss the above referenced project during our recent telephone conversation.

We understand that you need to consider the request for the development of Huron Farm, but I would also like you to consider the concerns of the neighbors regarding this project.

The applicant has promised to maintain the entrance to this property; yet, his track record is anything but good. His property continues to be an eyesore as viewed from the entrance to Quail Hill even though he has had many years to make improvements. Since he has failed to maintain his property in the past, I see no reason to trust his statement regarding the future.

I remain against this project in its present form. In the very least, to insure his compliance with any agreement to maintain his side of the city's right of way on 148th, he should be required to post a bond in a sufficient amount to insure that he complies with all conditions concerning the maintenance and appearance of this entrance.

Further, I don't understand how the city can claim there is no safety issue with having a driveway entrance where it is projected to be on 148th.

Thank you for your consideration.

Joyce and Harlan Bockman

14792 Kalamath Ct.

Westminster, CO 80023

From: Joanne Maypole <cliomayps@outlook.com>
Sent: Tuesday, February 21, 2023 2:35 PM
To: Kasza, Jacob
Cc: JOMAYPOLE@MSN.COM
Subject: [EXTERNAL] Proposed Redevelopment Plan

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

eTRAKiT Project Number: PLN22-0054 (Official Development Plan)
PLN22-0060 (Preliminary Development Plan)
PLN22-0061 (Rezoning)
Vicinity Map:

We live near the proposed redevelopment and we object to it. This neighborhood was built with the intent of having a single dwelling on a large lot. Subdividing the lots and rezoning the area to build more houses on each lot, particularly a house like the one proposed with a footprint that is several times larger than the existing homes on the block, should not be allowed. If the rezoning is approved, it will set a precedent to rezone all of the rest of the properties in the area thus negatively impacting the quality of life and reducing the value of our properties. If the developer wants to build a 3800 square foot house, there are many lots available in this area that aren't in someone else's back yard and won't require rezoning of an established neighborhood. We oppose this change in zoning.

Bill T Maypole
Joanne Maypole
14775 Pecos Street
Westminster, CO

Sent from [Mail](#) for Windows

From: Daniel Richlie <danrichlie@gmail.com>
Sent: Friday, December 9, 2022 5:12 PM
To: Kasza, Jacob
Subject: [EXTERNAL] Huron Farms development

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sir- My name is Dan Richlie, a resident in the Quail Hill subdivision on the north end of Westminster. The developers of the Huron Farm development had an initial hearing for their proposal in September and at the conclusion of the meeting it was noted that the proposal would be referred to a committee for further review. I'm wondering what the status of this project is and where I can obtain further information on the developments as well as when it might be brought before the city council for discussion. Could you provide me any information on where I should look to keep an eye on the status of this project? Thank you, Dan

From: Mike Skibinski <skibinski.mr@gmail.com>
Sent: Thursday, October 6, 2022 4:11 PM
To: Kasza, Jacob
Subject: Re: [EXTERNAL] Huron Farm Project Follow-Up

Follow Up Flag: Follow up
Flag Status: Completed

Jacob - Thank you for the quick response with clarifications. The rezoning makes sense. Was a draft ODP shared that has details on ROW maintenance requirements? Since they are proposing to remove the existing large trees on the corner and will have to regrade/clear to install a driveway up the bluff in the ROW, I assume the ODP includes an initial landscaping plan for the impacted part of the ROW? I think for me it is most important that the ODP is robust and clear so no misunderstandings now or in the future. Thank you for your help managing this. Mike

On Thu, Oct 6, 2022 at 3:53 PM Kasza, Jacob <jpkasza@cityofwestminster.us> wrote:

Mike,

Thank you for your comments.

1. To clarify the rezoning, the proposal is to rezone from O-1 to PUD, Planned Unit Development. This is the same zoning that Quail Hill has and they are proposing to stay consistent with the R-1 Comprehensive Plan Designation that the property (and Quail Hill) already has. Under O-1 zoning there is a maximum density of 0.1 dwelling units per acre. This means that 1 home would be allowed for every 10 acres. At 2.3 acres, the property is already out of conformance with the existing zoning. The City Code requires that any property over 2 acres must rezone to PUD, if a rezoning is requested. Typically, City's do not direct property owners to apply for a variance if there is another path forward. Lastly, a variance would only need the approval of the Planning Commission and not the City Council. In the Planning Commissions recent history, they have granted every variance a property owner has requested. It is likely they would grant these variances and then they would not have the additional requirements that the City can impose with PUD zoning. Further, if the variances were granted, the owner could still seek the access onto W 148th Ave and could be granted access administratively as long as they can demonstrate it is not a hazard to traffic safety.
2. Any future issues with maintenance would be addressed by the City's code enforcement. Under the current proposed ODP, the adjacent property owner would need to pay for the water. Any changes to the landscaping would require an amendment to the ODP. The City of Westminster will not take over maintenance responsibility.
3. The issue of joining the HOA is a private matter that the City does not have the ability to require.

I'm happy to answer any additional questions you may have.

Jacob

From: Mike Skibinski <skibinski.mr@gmail.com>
Sent: Thursday, October 6, 2022 10:11 AM
To: Kasza, Jacob <jpkasza@CityofWestminster.us>
Cc: jon@sterlingdesignassociates.com
Subject: Re: [EXTERNAL] Huron Farm Project Follow-Up

Jacob/John - Thank you for sending the presentation. Below are my additional comments/questions. Is this email an acceptable way to provide or do I need to submit in a different way? Thank you for the opportunity to comment.

1. No need for zoning change. O-1 Zoning allows for one single family dwelling per acre. The size of the proposed lot can easily be expanded to meet the acre requirement. Variances could be granted for depth of lot since existing is only 150 feet deep and for a narrower front set back. Changing to R-1 zoning is not consistent with the adjacent properties and opens the door to potential other uses or revised development plans.

2. I do not support the maintenance plan for the City-owned 148th Avenue ROW. Having a single homeowner be responsible for maintaining a large ROW that is the entrance to the Quail Hill subdivision and also will essentially be the front yard of the proposed new lot seems to be fraught with issues.

- What happens when the current or future owner of the front lot doesn't maintain the area or does so in a way that is not acceptable to Quail Hill HOA? How will that be resolved?
- Who pays for the water in the ROW. Quail Hill currently pays for the water meter that is in the south ROW and serves the entire ROW. Will another meter be installed?
- What happens when the owner of the new lot wants to change landscaping or other features within the ROW because that will seem like their front yard (note it seems unusual to have a ROW be so wide in front of a home)?
- Now that this portion of 148th Avenue services more than just Quail Hill residence, does it make sense for the city of Westminster to take over maintenance responsibility?

3. Should the new lot be added to the Quail Hill HOA given that it is within the development entrance?

4. Please make sure that the completion of the wall on the front lot is a mandated condition of the development. Consider adding additional ROW landscaping requirements (e.g. replacing evergreen shrubs) to help the entry road look better. Quail Hill HOA has increased investment in revitalizing ROW with most work in phase 1 being done on the north side of the road.

5. I would be supportive of the addition of a new lot under O-1 zoning (even connecting to 148th Ave) if it results in improvements to that area (ROW landscaping/maintenance, wall completed/removed, etc.). I'm skeptical that firm conditions will be mandated or that development plans/usage won't change after getting rezoned to R-1. Last, I'm concerned about what may happen to ROW maintenance in the future.

Thank you for your time and consideration of these comments.

Mike and Korrie Skibinski

14787 Osage Court

Quail Hill

On Thu, Oct 6, 2022 at 7:55 AM Kasza, Jacob <jpkasza@cityofwestminster.us> wrote:

Good morning Mike,

Here is a link to watch the presentation on Youtube: <https://www.youtube.com/watch?v=wVHiheixJw>

I have also attached the powerpoint slides.

Jacob P. Kasza
Senior Planner

City of Westminster | Community Development
jpkasza@cityofwestminster.us | 303.658.2400
4800 West 92nd Avenue, Westminster, CO 80031
City Hall Hours: Monday-Friday, 8 a.m.-5 p.m.



WESTMINSTER | **WWW.**

{HYPERLINK "<https://www.cityofwestminster.us>" }

From: Mike Skibinski <skibinski.mr@gmail.com>
Sent: Wednesday, October 5, 2022 7:20 PM
To: Kasza, Jacob <jpkasza@CityofWestminster.us>; jon@sterlingdesignassociates.com
Subject: [EXTERNAL] Huron Farm Project Follow-Up

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Jacob/Jon - Thank you for holding the session tonight. I'm sorry that I was late and missed the presentation. Do you mind sending it to me so I can review it? I will then provide my comments in writing. Have a good night. Mike Skibinski (14787 Osage Ct)

From: Wesley Underwood <wfuinco@gmail.com>
Sent: Thursday, October 13, 2022 2:49 PM
To: Kasza, Jacob
Subject: Re: [EXTERNAL] 148th Street ROW Questions

Follow Up Flag: Follow up
Flag Status: Completed

thank you for providing these documents.

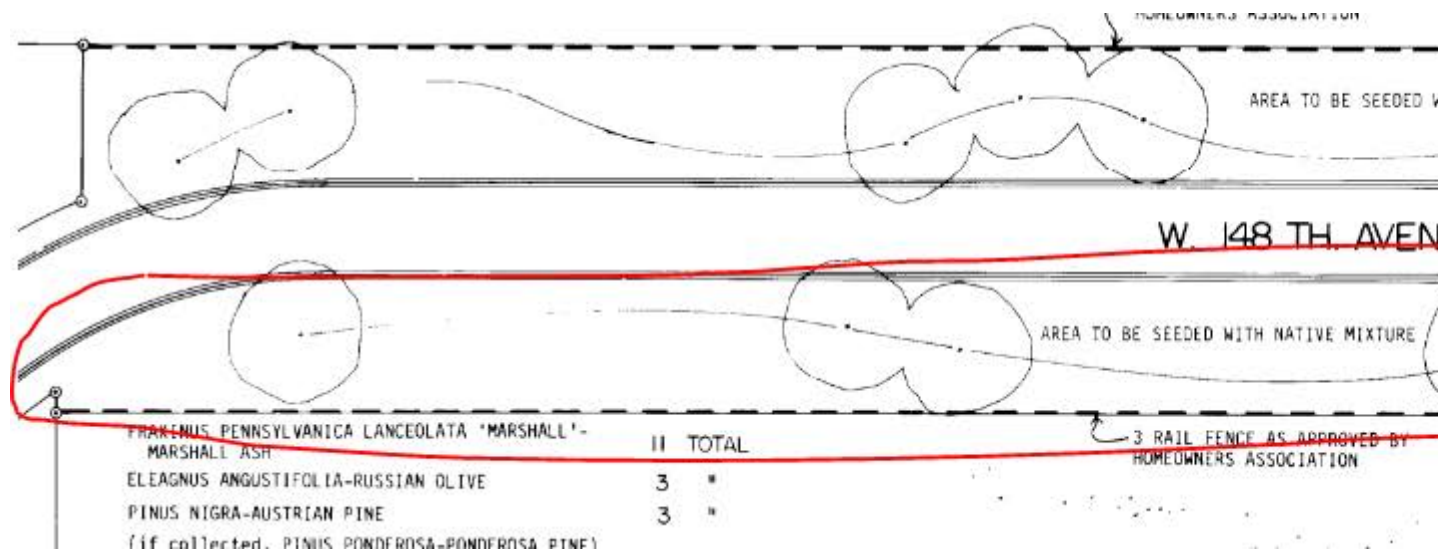
Do you have records of landscaping/irrigation plans that were submitted to the city?

On Thu, Oct 13, 2022 at 2:13 PM Kasza, Jacob <jpkasza@cityofwestminster.us> wrote:

Wesley,

I have received your email and will include it with the public comments. Here are answers to your questions:

1. I am attaching the original PDP/ODP for Quail Hill and the Plat for Quail Hill. The landscaped areas along W 148th Avenue are shown not as a private tract, but as dedicated right of way (ROW). Per the PDP/ODP, Quail Hill HOA is responsible for maintaining the landscaping on both sides of W 148th Avenue.
2. Page 5 of the PDP/ODP is a landscaping plan for this area. The City would expect the landscaping to be maintained in accordance with the landscaping plan on page 5.
3. Below is an image of the landscaping plan. The City Staff would propose that if the Huron Farm uses 148th Ave for access, they need to maintain the landscaping circled in red. Their proposed landscaping plan would be different from this one.



Happy to answer any additional questions.

Jacob P. Kasza

Senior Planner

City of Westminster | Community Development
jpkasza@cityofwestminster.us | 303.658.2400
4800 West 92nd Avenue, Westminster, CO 80031
City Hall Hours: Monday-Friday, 8 a.m.-5 p.m.



WESTMINSTER | WWW.C

{HYPERLINK "<https://www.cityofwestminster.us>" }

From: Wesley Underwood <wfuinco@gmail.com>
Sent: Wednesday, October 12, 2022 1:45 PM
To: Kasza, Jacob <jpkasza@CityofWestminster.us>
Subject: [EXTERNAL] 148th Street ROW Questions

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Jacob,

I am one of the HOA board members for Quail Hill HOA, and have a few questions that have come up after the rezoning meeting for Huron Farm Re-zoning application.

Due to our awareness that the north and south sides of 148th is ROW, and not owned by us, this has some implications that directly affect us.

1. Please provide the documentation that designates that the maintenance of this area is the responsibility of Quail Hill HOA.
2. Can you also provide documented guidelines for how this area should be landscaped and maintained.
3. if this re-zoning is approved, what specific area of the south side ROW will be designated for maintenance care by the Huron Farm properties?

Wesley Underwood

Treasurer, Quail Hill HOA

303-335-6737

From: Randy Wiley <rdwiley1@comcast.net>
Sent: Tuesday, October 4, 2022 10:20 AM
To: Kasza, Jacob
Subject: RE: [EXTERNAL] Huron Farm

Thank you very much for your response.

I am confused about the land in our entry way, on both the north side and south side of 148th, or what you are referring to as the ROW. Ever since the day we moved in, 1993, we were informed that the HOA owned the land and we have been maintaining it as such all these years. Westminster has referred to it as our property that we had to maintain. We have landscaped it many times, planted trees, grass, bushes, installed and maintained an irrigation system and placed a sign in front.

I am understanding that we also “own” the drainage area lot at the bottom of Kalamath Court. Is there something we should know about that? Do we not own it?

You are stating that this is public ROW (whatever that is) and is not and never has belonged to Quail Hill? That in itself is going to raise a lot of questions from Quail Hill.

Thank you.

Randy Wiley
rdwiley1@comcast.net

From: Kasza, Jacob <jpkasza@CityofWestminster.us>
Sent: Tuesday, October 4, 2022 9:55 AM
To: Randy Wiley <rdwiley1@comcast.net>
Cc: Jon Spencer <jon@sterlingdesignassociates.com>; Jared Melius <pastor@mtzionlcms.org>; Wright, Mikele <MWright@CityofWestminster.us>; Klein, Heath <hklein@CityofWestminster.us>
Subject: RE: [EXTERNAL] Huron Farm

Good morning Randy,

I have received your email and I will answer the questions that the City can.

1. Portions of the rock wall will need to be removed as the City does not allow fences over 36 inches in height in the front yard of a home. The owner/development team would need to respond on their timeline to complete the rest of the wall.
2. The new driveway would access W 148th Avenue approximately 120 feet east of the western property boundary.
3. The owner/development team are not proposing to use any land owned by the Quail Hill HOA. The land along the norther property boundary between the curb and the property line is public ROW.
4. That would be a question for the Quail Hill HOA.
5. The property owner is responsible for maintaining their private drive. City Staff are proposing that the property owner take over maintenance of the landscaping in the ROW adjacent to their

property boundary. This is a City Code requirement under Section 11-7-5 (D), W.M.C. and can only be waived by the City Council.

6. The owner and development team will need to get approval of a PDP and ODP that show access onto the public ROW of W 148th Avenue. If those are approved, the property owner would need to get a ROW permit to make the physical improvements in the ROW.
7. That is a question only the owner/development team can answer. The City will not require them to join the Quail Hill HOA.
8. That is a question only the owner/development team can answer. The City will not require them to join the Quail Hill HOA.
9. The City regularly processes PDPs and ODPs at the same time. There is no code prohibition on processing the documents at the same time.
10. City Staff are proposing that all uses conform to the Comprehensive Plan. This means that agriculture uses would no longer be permissible. The owner may choose to have chickens under the City's "bees and chickens" ordinance, but other livestock would be prohibited.
11. The City does not require environmental studies for "atmospheric and climate change". The City does require a Phase 1 Environmental Assessment if the property owner is dedicating land to the City. The City is not requiring any land dedication and thus has not required this study.

Please let me know if you have any more questions.

Jacob P. Kasza

Senior Planner

City of Westminster | Community Development

jpkasza@cityofwestminster.us | 303.658.2400

4800 West 92nd Avenue, Westminster, CO 80031

City Hall Hours: Monday-Friday, 8 a.m.-5 p.m.



WESTMINSTER | WWW.C

{HYPERLINK "<https://www.cityofwestminster.us>" }

From: Randy Wiley <rdwiley1@comcast.net>

Sent: Monday, October 3, 2022 12:20 PM

To: Kasza, Jacob <jpkasza@CityofWestminster.us>

Subject: [EXTERNAL] Huron Farm

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

As requested in the Sterling letter, I would like to take some time ahead of the meeting to voice some concerns of not only who is close to the property, but the entire Quail Hill HOA as well.

- >What about the rock wall? Will it ever be completed?
- > Where is the new driveway going to be?
- > Who will pay QHHOA for the land they might be using?
- > How will QHHOA use those funds?
- > Who will maintain the drive, landscape, irrigation if a drive is on 148?
- > How will Westminster allow a drive on 148th?
- > Will they become part of QHHOA? Pay dues?
- > Will the other house become part of QHHOA?
- > How does the city do a PDP and ODP at the same time?
- > Will they still remain as rural or will they become one of us? Do they get cattle, sheep, goats, pigs, horses, chickens, lamas, etc.?
- > Where are the environmental studies, the atmospheric and climate change studies?

Randy Wiley

rdwiley1@comcast.net



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting February 28, 2023



*Strategic Priority 1: **Preparedness and Resilience** – Build a system of intentional support for residents, businesses, and the environment that mitigates risks and proactively seeks out ways to ensure the community not only endures, but thrives.*



*Strategic Priority 3: **Shared Sense of Community** – Foster equitable opportunities that help residents feel at home and connected in their community and empowered to live their best lives.*

SUBJECT: Public Hearing and Action on a Preliminary Development Plan Amendment and an Official Development Plan Amendment for the Tri-State Subdivision

PREPARED BY: Amy C. Johnson, AICP, Senior Planner

RECOMMENDED PLANNING COMMISSION ACTION:

1. Hold a public hearing.
2. Recommend to the City Council that it approve the First Amended Preliminary Development Plan for the Tri-State Planned Unit Development subject to conditions set forth in the Summary of Staff Recommendations herein. This recommendation is based on the finding that the Preliminary Development Plan Amendment generally complies with the criteria in Westminster Municipal Code, Section 11-5-14.
3. Recommend to the City Council that it approve the Eighth Amended Official Development Plan for the Tri-State Planned Unit Development subject to conditions set forth in the Summary of Staff Recommendations herein. This recommendation is based on the finding that the Official Development Plan Amendment generally complies with the criteria in Westminster Municipal Code, Section 11-5-15.

SUMMARY STATEMENT:

- The applicant has requested approval of amendments to the Tri-State Preliminary Development Plan (PDP) and Official Development Plan (ODP) for the 57.21 acres of property located at the southwest corner of West 116th Avenue and Huron Street, see Attachment 1 (Subject Property). The amendments propose to subdivide the Subject Property into three lots and one outlet. Tri-State Generation and Transmission Association, Inc. (Tri-State), offices are currently located on Lot 1A. The other lots south of Lot 1A are currently vacant. The applicant requests to construct an Acadia Behavioral Health Hospital on proposed Lot 2. Proposed Lot 3 will remain vacant with this ODP Amendment. The City recently purchased the land within Outlet A for open space.
- Staff reviewed the PDP and ODP Amendments using the criteria required under Westminster Municipal Code (W.M.C.) Sections 11-5-14 and 11-5-15. Staff has compiled a series of conditions of approval recommended as a result of the applicant's desire to proceed to public hearings prior to the completion of staff reviews.

- The PDP Amendment proposes to revise the current list of permitted uses by adding behavioral health hospital and medical clinic uses on Lot 2 to the existing business office use for Lot 1A, all of which are compliant with the City's Comprehensive Plan.

FISCAL IMPACT:

\$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

Should Planning Commission recommend that City Council conditionally approve the PDP Amendment and ODP Amendment for the Subject Property known as the Tri-State Planned Unit Development (PUD)?

ALTERNATIVE(S):

1. Planning Commission could choose to recommend denial of the PDP Amendment and ODP Amendment. Staff does not recommend this option because the PDP Amendment complies with the Comprehensive Plan and the ODP has been reviewed in tandem with the PDP to ensure compliance.
2. Planning Commission could choose to recommend approval of the PDP Amendment and ODP Amendment with fewer or none of the conditions recommended by staff. Staff does not recommend this option because the conditions of approval outlined in this agenda memo ensure that the amendments meet the Standards for Approval of Amendments to Preliminary and Official Development Plans as well as requirements for recordation, site development standards, and unaddressed technical corrections.

BACKGROUND INFORMATION:

Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the nature of the proposed development, but typically requires a PDP and ODP pursuant to the land use allowances established by the Comprehensive Plan. The Comprehensive Plan includes specific land use designations that provide a broad range of uses and identify allowed densities and intensities of use. The W.M.C. requires that all development complies with the Comprehensive Plan.

The PDP serves as the principal zoning document for the site and establishes future development parameters in broad terms. Allowable land uses, descriptions of the future development, relationships between the site and surrounding properties, and access networks are established. The intent, limitations, and regulations for the project are created and, if needed, the timing or phasing of the development is identified.

The Subject Property is currently zoned PUD and has a valid PDP in place. The proposed PDP Amendment adds behavioral health hospital and medical clinic uses, which comply with the City's Comprehensive Plan designation of Office/Research and Development Low Intensity. The proposed PDP Amendment requires review and consideration by the Planning Commission and approval by the City Council.

The ODP is a detailed plan for development of a site and establishes locations for landscaping, parking, access, stormwater detention, building orientation, architecture, and other requirements. It can also act as a preliminary subdivision plat for the creation or revision of lot or property lines within a subdivision.

The original 1982 Tri-State ODP established the development of the Tri-State office building and site including the creation of its 19.4-acre lot. This ODP Amendment proposes to enlarge the lot containing Tri-State's existing office complex and add two additional lots and an outlot to the subdivision. Development of a behavioral health hospital is proposed on one of the two newly created lots.

If the City Council chooses to conditionally approve this PDP Amendment and ODP Amendment, the next steps in the development review process will be to administratively approve the civil construction and building construction documents prior to commencing construction on the site.

History of Subject Property

In 1981, the City approved the original PDP, which included 57.44 acres of land zoned PUD, with office and commercial land uses allowed, and 2.96 acres dedicated as public right-of-way, see Attachment 2. The original ODP only included the 19.4 acres for the Tri-State office development, with the Final Plat coming soon after. Both the original ODP and the Final Plat were approved in 1982 and are shown in Attachment 3 and 4, respectively. Since 1982, there have been seven other ODP Amendments for minor changes such as the addition of a generator, with the most recent approved in 2017. None of these previous amendments modified the lot configuration or the area of the site.

In 2021, the City Council approved the acquisition of 12.59 acres of land, shown as Outlot A in the proposed amendments, to be used as open space. Prior to the acquisition, the land was owned by Tri-State, as with the whole of the property in the original PDP. Acadia Healthcare is the contract purchaser of proposed Lot 2, comprised of 11.01 acres, with the intent to develop a behavioral health hospital. The remaining 10.19 acres of proposed Lot 3 is not proposed for development at this time.

Nature of Request

The applicant is seeking approval of the First Amended PDP for the Tri-State PUD, shown in Attachment 5, and the Eighth Amended ODP for the Tri-State PUD, shown in Attachment 6. The proposed PDP Amendment lists business offices, behavioral health hospital, and medical clinic uses on Lots 1A and 2, which comply with the City's Comprehensive Plan designation of Office/Research and Development Low Intensity. This change to the list of permitted uses will accommodate the proposed behavioral health hospital, which is shown in detail on the ODP Amendment. The Tri-State office development remains on Lot 1A but gains the ditch property, increasing its size to 23.42 acres. The land south of Lot 2, Outlot A, is City open space. The remaining land, shown as Lot 3, remains vacant with this development. Future development of Lot 3 will require a PDP amendment to establish land uses compliant with the version of the Comprehensive Plan in effect at time of development.

Two exceptions to the design standards code are requested. Both exception requests deal with the setback in the Landscape Regulations Section, requiring that all improvements be set back a minimum of 30 feet from any watercourse, which includes ditch rights-of-way and wetlands. Along most of the north side of Lot 2, improvements are proposed within zero feet of the ditch right-of-way, resulting in an encroachment of 30 feet into the required setback. On the south side of Lot 2, improvements are proposed within 20 feet of the established wetlands, resulting in an encroachment of 10 feet into the required setback. In the most recent plan sets reviewed by staff, these 30-foot setbacks were not shown accurately in their entirety. One recommended condition of approval is that these setbacks be correctly shown on the plans and reviewed administratively.

At the time of this memo's writing, Lot 3 is proposed in the 2040 Comprehensive Plan to be designated as Residential Medium Density. When a non-residential development is proposed adjacent to residential property, the non-residential development is required to construct a masonry wall of no less than eight feet in height between the two properties. If the 2040 Comprehensive Plan is approved prior to the approval of the proposed amendments, the lack of this wall would represent a third exception request. To resolve this issue of timing, staff has advised the applicant to place a note on both the PDP and ODP amendments requiring that, at the time of any residential development on Lot 3, the residential developer construct a masonry wall of no less than eight feet in height on the lot line in the location shown in the Eighth Amended ODP. This clarifying note is another condition of approval recommended by staff.

Staff recommends a series of conditions of approval of the PDP and ODP Amendments, including the two mentioned above, due to the applicant's desire to proceed to public hearings prior to the completion of staff reviews. For the PDP Amendment, the recommended conditions include adding the note about the

construction of the wall between Lots 2 and 3 as well as addressing a number of minor technical corrections. These may be viewed in the context of the drawings in Attachment 5.

Staff recommends a total of eight conditions on the ODP amendment, including two that are nearly identical to those outlined above for the PDP Amendment. One condition addresses a needed easement for the construction of a sanitary sewer line within City open space. Two more conditions deal with revisions to the utility plans and utility study. See Attachments 6 and 7. The other three conditions address the 30-foot watercourse setback discussed previously in this memo, adherence to the standards for sight triangles provided for safety, and providing irrigation plans compliant with City standards. These may be viewed in the context of the drawings in Attachment 6, except for the items on the utility study which are shown in Attachment 7. The exceptions and conditions will be discussed in further detail with the standards for approval and with the summary of the recommendation from staff.

Applicant

Acadia Healthcare
6100 Tower Circle
Suite 1000
Franklin, TN 37067

Developer

Crunk Engineering
7112 Crossroads Blvd
Suite 201
Brentwood, TN 37027

Property Owner

Tri-State Generation and Transmission
1100 West 116th Avenue
Westminster, CO 80233

Location

The Subject Property contains 57.21 acres of vacant land generally located near the southwest corner of West 116th Avenue and Huron Street, see Attachment 1.

Surrounding Land Uses and Designations

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	Park 12 Hundred	PUD	Flex/Light Industrial	Speculative Tech Business Park
East	Auto Center	I-2	City of Northglenn	Commercial
South	Kaiser Permanente	PUD	Office	Office
West	Skyview Apartment Homes	R-4	R-18	Multifamily

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before the Planning Commission shall be published at least ten days prior to such hearing and at least ten days prior to City Council public hearings. Notice was published in the Westminster Window by the required deadline.
- **Property Posting:** At least ten days prior to the date of the public hearing, the applicant must post on the Subject Property notice of the public hearing with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the Subject Property. Signs were posted on the Subject Property by the required deadline. The applicant has provided the City's Planning Manager with a certification that the signs were posted and properly maintained throughout the posting period.
- **Written Notice:** At least ten days prior to the date of the public hearing, the applicant must send notice by first-class mail to occupants, property owners, and homeowner's associations registered with the City within 1,000 feet of the Subject Property and in accordance with the requirements of section 11-5-13(A), W.M.C. The applicant has provided the City's Planning Manager with a certification that the required notices were mailed by the required deadline.
- Project information was also provided and maintained on the City's Status of Planning and Development Projects webpage.

Westminster Municipal Code Analysis

11-5-14. - Standards for Approval of Planned Unit Development Zoning, Preliminary Development Plans and Amendments to Preliminary Development Plans.

(A) In reviewing an application for approval of Planned Unit Development zoning and its associated Preliminary Development Plan, or an amended Preliminary Development Plan, the following criteria shall be considered:

- 1. The Planned Unit Development (PUD) zoning and the proposed land uses in the associated Preliminary Development Plan are in conformance with the City's Comprehensive Plan and all City Codes, ordinances, and policies.*

The proposed PDP Amendment adds behavioral health hospital and medical clinic land uses with maximum overnight stays of 21 days on Lot 2, though a clarification of this is one of the technical corrections that are a part of the first condition of approval for the PDP Amendment, and divides the remaining vacant land onto three other lots. The uses on the Tri-State property, Lot 1A, remain the same, and Outlot A being used as City open space. These uses and those that are proposed match the land use designations of the 2040 Comprehensive Plan Land Use map. With the two recommended conditions of approval, the PDP will be in conformance with all City Codes, ordinances, and policies.

- 2. The Preliminary Development Plan exhibits the application of sound, creative, innovative, and efficient planning principles.*

Staff finds that the proposed PDP Amendment generally exhibits sound and efficient planning principles on the condition that a note be added to the document to require the construction of a masonry wall when any residential development occurs on Lot 3 as referenced on the site plan of the proposed ODP Amendment. Without the inclusion of this condition of approval, a third exception, which the applicant has not requested, would be necessary.

- 3. Any exceptions from standard Code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Preliminary Development Plan (PDP).*

The applicant has requested two exceptions from Code requirements in this PDP amendment. The first would allow the encroachment of several improvements, including a retaining wall, grading, and access drives along most of the north property line, 30 feet into the 30-foot setback from the right-of-way of the existing ditch as required in the Landscape Regulations Section (V)(C). Along this same property line, the vehicular access drive also encroaches 10 feet into the 20-foot parking setback required in the Retail Commercial Design Guidelines Section (VI)(D). The applicant has placed additional trees to create an enhanced buffer in lieu of meeting the setbacks in this area. They also cite the ample change in grade and existence of open space on the adjacent Tri-State lot as justification for this exception.

The second exception request would allow the encroachment of improvements, such as grading and a retaining wall along the south property line, 10 feet into the 30-foot setback from wetlands required in the Landscape Regulations Section (V)(C). The applicant has placed an eight-foot screen wall, as well as a 2.5-foot retaining wall, and additional trees in this area. They have also coordinated with the City's stormwater staff to understand the measures needed to prevent sediment from on-site erosion entering into the wetlands during and after construction.

Staff is in support of both exception requests provided that all recommended conditions are adopted with approval of the ODP Amendment.

4. *The PDP is compatible and harmonious with existing public and private development in the surrounding area.*

Staff finds that the proposed PDP Amendment is generally compatible and harmonious with existing public and private development in the surrounding area. The proposed uses are of a similar outward nature to existing uses in the surrounding area, and future buildings would be of a similar size and characteristic of existing buildings. Planned roadways and access points are appropriately located.

5. *The PDP provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

Staff finds that the proposed PDP Amendment generally provides for protection from influences surrounding and within the development, provided the applicant meets all recommended revisions as a part of the conditions of approval for both the PDP and ODP. The conditions of approval would require several technical corrections necessary for the clarification of items related to this criterion and the addition of a note that would require a residential developer to build an eight-foot masonry wall on the property line between Lots 2 and 3 as shown on the ODP, which would provide further needed protection. The applicant is providing 14-foot walls to fully enclose activity courtyards on the west side of the building, as well as an eight-foot screen wall on the south side of the site, and extra buffering in the form of trees on the north, west, and south sides.

6. *The PDP has no significant adverse impacts upon existing or future land uses nor upon the future development of the immediate area.*

Staff finds that the proposed PDP Amendment has no significant adverse impacts upon existing or future land uses nor upon the future development of the immediate area. Staff has reviewed the design of public infrastructure, and if all the recommended conditions of approval are passed, the design will buffer and mitigate the development of the behavioral health hospital.

7. *Streets, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

The proposed PDP Amendment shows the location of anticipated vehicle access points. Staff has reviewed a traffic study for the development and determined that the generated traffic can be

accommodated within the capacity of the surrounding roadways. The specific design of the access point will be discussed with the ODP Amendment.

8. *The City may require rights-of-way adjacent to existing or proposed arterial or collector streets, any easements for public utilities and any other public lands to be dedicated to the City as a condition to approving the PDP. Nothing herein shall preclude further public land dedications as a condition to ODP or plat approvals by the City.*

The proposed PDP Amendment does not preclude the City from future public land dedications. The separate ODP Amendment includes a proposed condition to provide the necessary utility easement to service the properties.

9. *Performance standards are included that ensure reasonable expectations of future Official Development Plans being able to meet the Standards for Approval of an Official Development Plan contained in Section 11-5-15, W.M.C.*

The proposed PDP Amendment includes performance standards in the form of two exception requests with alternatives and justifications, as well as a note in place of a third request that will ensure future ODPs will be able to meet the Standards for Approval of an Official Development Plan contained in Section 11-5-15, W.M.C. These exceptions and note will need to be added and clarified on the PDP as conditions of approval.

10. *The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant is not in default and does not have any outstanding obligations to the City.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an application for Planned Unit Development zoning, a Preliminary Development Plan or an amendment to a Preliminary Development Plan.

11-5-15 W.M.C. - Standards for Approval of Official Development Plan Amendments.

(A) In reviewing an application for the approval of an Official Development Plan or amended Official Development Plan, the following criteria shall be considered:

1. *The plan is in conformance with all City Codes, ordinances, and policies.*

The proposed ODP Amendment primarily outlines the construction of the site, building and landscape for a behavioral health hospital with maximum overnight stays of 21 days on Lot 2 and also divides the remaining vacant land onto three other lots. With the eight recommended conditions of approval outlined in detail below, the ODP will be in conformance with all City Codes, ordinances, and policies with two exceptions that will be discussed with the relevant criteria.

2. *The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).*

With the conditions of approval outlined in detail below, the plan will be in conformance with the amended PDP.

3. *The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.*

The requested ODP will exhibit the application of sound, creative, innovative, and efficient planning principles upon fulfillment of the recommended conditions. One of these principles involves screening areas of greater potential for intense sound from areas with less likelihood of intense noise, especially residential neighbors. The conditions of approval would require several technical corrections necessary for the clarification of items related to this principle, including a note that would require a residential developer to build an eight-foot masonry wall on the property line between Lots 2

and 3 as shown on the ODP, which would provide further needed protection. The applicant is providing 14-foot walls to fully enclose activity courtyards on the west side of the building, as well as an eight-foot screen wall on the south side of the site, and extra buffering in the form of trees on the north, west, and south sides. The hospital use overall would be appropriate in this area. The landscape and drives have been designed with sound planning. The traffic memo has been accepted as upholding the approved traffic patterns for the Subject Property. The drainage will be reviewed in detail with the construction drawings, see Attachments 8 and 9.

4. *For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.*

Two exceptions from standard code requirements are proposed. The first would allow the encroachment of several improvements, including a retaining wall, grading, and access drives along most of the north property line, 30 feet into the 30-foot setback from the right-of-way of the existing ditch required in the Landscape Regulations Section (V)(C). Along this same north property line, the vehicular access drive also encroaches 10 feet into the 20-foot parking setback required in the Retail Commercial Design Guidelines Section (VI)(D). The applicant has placed additional trees in order to create more of a buffer in lieu of meeting the setbacks in this area. The applicant cites the ample change in grade and existence of open space on the adjacent Tri-State lot as justification for this exception, see Attachment 10.

The second exception request would allow the encroachment of improvements, such as grading and a retaining wall along the south property line, 10 feet into the 30-foot setback from wetlands required in the Landscape Regulations Section (V)(C). The applicant has placed an eight-foot screen wall, as well as a 2.5-foot retaining wall, and additional trees in this area. They have also coordinated with the City's stormwater staff to understand the measures needed to prevent sediment from on-site erosion entering into the wetlands during and after construction.

Staff is in support of both exception requests provided that all recommended conditions are adopted with the approval, see sheet 30 of Attachment 6.

5. *The plan is compatible and harmonious with existing public and private development in the surrounding area.*

Staff finds that the proposed ODP Amendment is generally compatible and harmonious with existing public and private development in the surrounding area. The City open space to the south of the proposed hospital represents the most sensitive public land in the area due to the existence of wetlands there. This is also the location of the request to encroach 10 feet into the 30-foot setback from wetlands. The applicant has provided staff with enough information to achieve an acceptable level of confidence that erosion onto City open space can be avoided. However, the recommended conditions of approval will clarify necessary details with respect to this area and require that all access or work on City open space be limited to an easement that must be shown over the sanitary sewer line connection only, see Attachment 6, sheet 23.

6. *The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

Staff finds that the proposed ODP Amendment generally provides for protection from influences surrounding and within the development so long as the applicant meets all recommended revisions as a part of the conditions of approval for both the PDP and ODP. The conditions of approval would require several technical corrections necessary for the clarification of items related to this criterion and the addition of a note that would require a residential developer to build an eight-foot masonry wall on the property line between Lots 2 and 3 as shown on the ODP, which would provide further needed protection. The applicant is providing 14-foot walls to fully enclose activity courtyards on the

west side of the building, as well as an eight-foot screen wall on the south side of the site, and extra buffering in the form of trees on the north, west, and south sides.

- 7. The plan has no significant adverse impacts on future land uses and future development of the immediate area.*

Staff finds that the proposed ODP Amendment has no significant adverse impacts upon existing or future land uses nor upon the future development of the immediate area. Staff has reviewed the design of public infrastructure, and if all the recommended conditions of approval are passed, the design will buffer and mitigate the development of the behavioral health hospital.

- 8. The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.*

The Fire Department requires one point of access on Huron Street, which is shown. There is only one building proposed, but additional structural features on the site include the various retaining walls and screen walls, including in the areas along the north and south property lines where exceptions are requested. The building, landscape, and drives have been designed for safety and convenience, and with the inclusion of the recommended conditions, the structural features will be as well.

- 9. Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.*

The building height, bulk, setbacks, and coverages will all accord with sound principles, comparable to other sites in the vicinity, upon fulfillment of the recommended conditions discussed with criterion 4.

- 10. The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.*

With the use of earth tones of grays, browns, and cultured stone commonly seen in Colorado and throughout the City, the architectural design of the development is internally and externally compatible, see Attachments 11 and 12.

- 11. Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.*

The standards for screening along the north, south, and west property lines of service areas, trash and recycling with walls, grade, and vegetative buffers, as well as the standards for lighting, have been met with the exception of the north and south setbacks, which staff believes are justified if all recommended conditions are met. The construction drawings and site work will be reviewed and monitored to prevent environmental impacts.

- 12. Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.*

The landscape plan conforms with City Code, policies, and regulations and is adequate. Several existing trees will be removed for various reasons, including their poor condition, the piping of the ditch, the filling of part of the wetlands, or the construction of the building and site. \$120,300 is being collected with the issuance of the first land disturbance permit for cash-in-lieu of the mitigation or replacement of trees removed.

- 13. Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.*

The development will construct a sidewalk along Huron Street at the existing RTD bus stop to meet ADA standards. There is already an existing sidewalk along Huron that will be maintained with this development. The existing streets, lanes, and signals are suitable and adequate to carry the traffic of the development and vicinity as demonstrated in the accepted traffic memo, see Attachment 8.

14. *Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

The parking, drives, access, and turning movements are designed in a manner deemed safe by the Fire Department and Engineering Division. One recommended condition of approval is that the plants used in the sight triangles at the access point for Lot 2 be exchanged for plants with a shorter maximum height in order to meet requirements for promoting convenient and free circulation for patients and services, see sheet 29 of Attachment 6.

15. *Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.*

The sidewalks are proposed to circulate throughout the site and connect to the building entrances, the existing sidewalk on Huron Street, the open space to the south, and the bus stop on Huron Street.

16. *Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.*

Public Works and Utilities and the Storm Drainage Division of the Community Development Department have reviewed the plans, Phase II Drainage Study, and Utility Study and found they can conform with the PDP and utility master plans if the recommended conditions are met, see Attachments 7 and 9.

17. *The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant does not have any outstanding obligations to the City.

Staff's analysis of the seventeen criteria listed in section 11-5-15, W.M.C. above, generally supports the proposed amendment to the ODP.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an Official Development Plan or an amendment to an Official Development Plan.

Project Meeting(s) and Public Comments

A project meeting was held virtually on September 15, 2022. The neighborhood meeting was recorded and is viewable on the City's YouTube page, where it has been viewed 103 times.

The applicant mailed notice of the project meeting to property owners, occupants, and homeowners associations registered with the City within 1,000 feet of the Subject Property on September 1, 2022. The meeting was also advertised on the City's website. Six persons attended the project meeting. The applicant started the meeting with a presentation about the proposed hospital, and staff gave an overview of the development review process.

There were three questions from the public attendees. One was regarding the transport of patients to and from the hospital. Another was about where the open space walkway would occur. A third asked for a stone wall to be constructed near the service area on the south side of the building to block noise traveling from there to Westbury Farms at Apple Valley North, which the applicant has now provided on the plans.

Staff also received four additional inquiries outside of the project meeting. One was from the owner of a neighboring property west of the hospital property asking for further details because they would be unable to attend the meeting. A second was regarding whether the hospital would house any prisoners. Another was about how the Westminster Police would deal with additional calls in this area; this same person followed up asking about the open space part of the Subject Property. Finally, one person asked when the recording of the

meeting would be live on YouTube. Staff responded to all of these with the help of the applicant on the second inquiry.

Prior to the posting of this agenda memo, three representatives of neighboring communities reached out to City staff. Due to the added complexity of the subdivision of land in addition to the changes needed for the behavioral health hospital, they were confused about how much land the hospital was taking. The third specifically wanted the land to remain as open space. Information was given regarding the boundaries and the 12.59 acres that have been acquired by the City for Open Space. Once that was clarified, no further inquiries were voiced. All public comments received prior to February 21st have been included in Attachment 14.

Referrals and Reviews.

Referrals were sent externally to Xcel Energy, CenturyLink, Comcast, the City of Northglenn, RTD, Mile High Flood District, and Tri-County Health for review. Responses were received from Xcel Energy, CenturyLink, the City of Northglenn, and Mile High Flood District. Staff reviews included Geographic Information Systems, Code Compliance, Fire, Police, Stormwater, Parks, Traffic, Streets, Planning, Landscape, Signs, Records Management, Environmental Analysis, Inspections, Utilities, and Water Budget.

Summary of Staff Recommendation

Staff recommends that the Planning Commission:

1. Approve the PDP Amendment, subject to the Additional Conditions.
2. Approve the ODP Amendment, subject to the Additional Conditions.

The Additional Conditions shall mean:

1. The applicant shall add the following note to Sheet Three of both the PDP Amendment and the ODP Amendment prior to recordation of the PDP and ODP Amendments and issuance of a building permit: *Residential Development on Lot 3: When and if the property shown as Lot 3 on this [PDP/ODP] Amendment develops as a residential use, a masonry wall of no less than eight feet in height shall be shown on the associated ODP amendment and constructed by the residential developer on the property line as shown on sheet 9 on the site plan of the Eighth Amended ODP.*
2. Prior to recordation and issuance of a building permit, the applicant shall illustrate and submit for staff review and approval an easement for the construction of the sanitary sewer line on the City open space property (Outlot A) on the site and grading plans of the PDP and ODP Amendments, and work shall be limited to that easement. The applicant shall restore and revegetate all area disturbed for the construction of the sanitary sewer line. The applicant shall remove the access road from the City open space on all sheets of the ODP Amendment. If for any reason during review of construction documents or at any other time it becomes necessary for additional work to occur on City open space outside of this easement, the applicant shall apply for another ODP amendment and will submit a Formal Request for Private Use of City Open Space. Approval of this Formal Request would not be guaranteed.
3. Prior to recordation of the ODP Amendment and issuance of a building permit, the applicant shall revise and submit for staff review and approval the Utility Study to address the higher-than-standard pipe velocity during a fire flow event, in addition to providing the stamp and signature of the Professional Engineer who prepared the study.
4. Prior to recordation of the ODP Amendment and issuance of a building permit, the applicant shall address all comments on the utility plans and submit for staff review and approval, adjusting horizontal bends and fittings and the location of meter vaults per Standard 3.39.03.

5. Prior to recordation of the ODP Amendment and issuance of a building permit, the applicant shall revise and submit for staff review and approval a revised landscape plan that incorporates plant materials with a maximum mature height of 30 inches within the sight triangles per the Engineering Standards and Specifications.
6. Prior to recordation and issuance of a building permit, the applicant shall correct the depictions of the 30-foot setback from the right-of-way of the ditch and the wetlands, which is the subject of the exception requests, on the site, grading, and landscape plans of the ODP Amendment, which setback is required in the Landscape Regulations, Section (V)(C).
7. Prior to recordation of the ODP Amendment and issuance of a building permit, the applicant shall submit for staff review and approval irrigation plans for Lots 1A and 2 as shown on the ODP Amendment.
8. Prior to recordation and issuance of a building permit, the applicant shall submit for staff review and approval the technical corrections outlined in addition to the above conditions on the PDP and ODP Amendment documents shown in Attachments 5 and 6.

Any commitment made by the applicant during the public hearing required by City Council for approval shall be identified and included as an Additional Condition.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Priorities of Preparedness and Resilience and Shared Sense of Community are met through this behavioral health hospital project by providing the community with mental health support services that some residents need in order to live their best lives.

Respectfully Submitted,



John McConnell, AICP
Interim Planning Manager

ATTACHMENTS:

Attachment 1: Vicinity Map

Attachment 2: 1981 Preliminary Development Plan

Attachment 3: 1982 Official Development Plan

Attachment 4: 1982 Tri-State Subdivision Plat

Attachment 5: Proposed First Amended Tri-State Preliminary Development Plan

Attachment 6: Proposed Eighth Amended Tri-State Official Development Plan

Attachment 7: Proposed Utility Study

Attachment 8: Traffic Memo Accepted

Attachment 9: Phase II Drainage Study Accepted

Attachment 10: Lot 2 North Property Line Setback Exception Exhibit

Attachment 11: Architectural Elevations

Attachment 12: Three-Dimensional Site and Building Color Renderings

Attachment 13: Project Meeting Attendees and Questions

Attachment 14: Public Comment

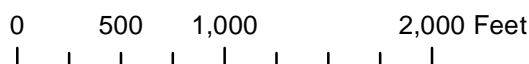


Vicinity Map

Acadia Behavioral Health Hospital in Tri-State Subdivision
SWC of W. 116th Ave and Huron St



WESTMINSTER



DRAWING - P.D.P.
Z 81-9
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
REORDER BY NUMBER 0754R

DRAWING NUMBER
Tri-State
1 of 3
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
REORDER BY NUMBER 0754R

DRAWING NUMBER
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
REORDER BY NUMBER 0754R

DRAWING NUMBER
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
REORDER BY NUMBER 0754R

PRELIMINARY DEVELOPMENT PLAN
Tri-State Planned Unit Development
In the City of Westminster
County of Adams, State of Colorado
Sheet 1 of 3

DEVELOPER: Tri-State Generation and Transmission Association, Inc.
12076 Grant Street
Denver, Colorado 80241
Phone: 452-6111 Contact: Hugh Frazier

ARCHITECT/PLANNER: Duff, Reck and Lehman Professional Company
3460 West 38th Avenue
Denver, Colorado 80211
Phone: 458-5033 Contact: Chuck Duff

LEGAL DESCRIPTION: Parcel A, Revised February 2, 1981

A parcel of land in the Southeast one-quarter of Section 4, Township 2 South, Range 68 West of the 6th Principal Meridian, City of Westminster, Adams County, Colorado, described as: Beginning at the Northeast corner of the Southeast one-quarter of said Section 4, thence N89° 48' 59"W along the North line said Southeast one-quarter a distance of 50.00 feet to the true point of beginning; then S00° 29' 46"W parallel with the East line of said Southeast one-quarter a distance of 1574.41 feet to a point on the North line of a parcel of land described in Book 2251, Page 591, Adams County records; thence N89° 40' 43"W along the North line of said parcel a distance of 1041.00 feet to the Northeast corner of North Glenn Manor-Amended Filing, a subdivision of a part of said Southeast one-quarter; then N89° 42' 24"W along the North line of said North Glenn Manor - a distance of 761.79 feet a point 788.14 feet East of the West line of said Southeast one-quarter; thence N00° 14' 25"E a distance of 305.00 feet to the beginning of a curve to the right, the delta of said curve is 16° 02' 46", the radius of said curve is 170.00 feet; the chord of said curve bears N02° 15' 48"E, 47.45 feet, thence along the arc of said curve a distance of 47.61 feet, thence N73° 42' 48"W a distance of 60.00 feet; thence N81° 30' 00"W a distance of 244.84 feet to the Southeast corner of Lot 1, Block 2, RANCHO PECOS I SUBDIVISION; thence N00° 00' 00"E along the East line said Lot 1 a distance of 187.09 feet to a point on a curve to the right, the delta of said curve is 7° 56' 51", the radius of said curve is 315.00 feet, the chord of said curve bears S74° 23' 00"E, 43.66 feet; thence along the arc of said curve a distance of 43.69 feet to the end of said curve, thence S70° 24' 35"E a distance of 430.00 feet to the beginning of a curve to the left, the delta of said curve is 60° 00' 00", the radius of said curve is 235.00 feet, the chord of said curve bears N79° 35' 25"E, 235.00 feet, thence along the arc of said curve a distance of 246.09 feet to the end of said curve, thence N49° 35' 25"E a distance of 162.70 feet; thence N40° 24' 35"W a distance of 580.57 feet to a point on the Southeastly R.O.W. of Navajo street as shown on RANCHO PECOS I SUBDIVISION a subdivision of a part of said Southeast one-quarter, thence N50° 05' 25"E along said Southeastly R.O.W. line a distance of 136.60 feet to the beginning of a curve to the left, the delta of said curve is 40° 54' 24", radius is 190.00 feet, the chord bears N25° 08' 13"E a distance of 160.31 feet; thence continuing along said Navajo Street R.O.W. and along the arc of said curve a distance of 165.50 feet to the end of said curve, thence N00° 11' 01"E along said Navajo Street R.O.W. a distance of 310.55 feet to a point on the North line of said Southeast one-quarter, thence S89° 48' 59"E along said North line a distance of 1508.35 feet to the true point of beginning.

The North 30 feet of the West 828.35 feet of above described parcel of land is excluded and is recorded in Adams County Records in Book 1843, Page 36, Book 1843, Page 864, and Book 1919, Page 692. The North 30 feet of the East 300 feet of above described parcel of land is excluded and is recorded in Adams County Records in Book 1919, Page 692.

Subject property contains 57.4430 acres, more or less.

Bearings are based on the North line of the Southeast one-quarter of said Section 4, being South 89° 48' 59" East per RANCHO PECOS I SUBDIVISION.

STATEMENT OF CONCEPT

The development of the property described herein is intended to create an employment generation center with primarily general office usage and some commercial usage at a density compatible with surrounding land use. A corporate headquarters is planned for Tri-State Generation and Transmission Association to initially include approximately 150,000 S.F. of office space and 40,000 S.F. for a computer center. Eventual expansion is to include doubling the size of both the office space and the computer center.

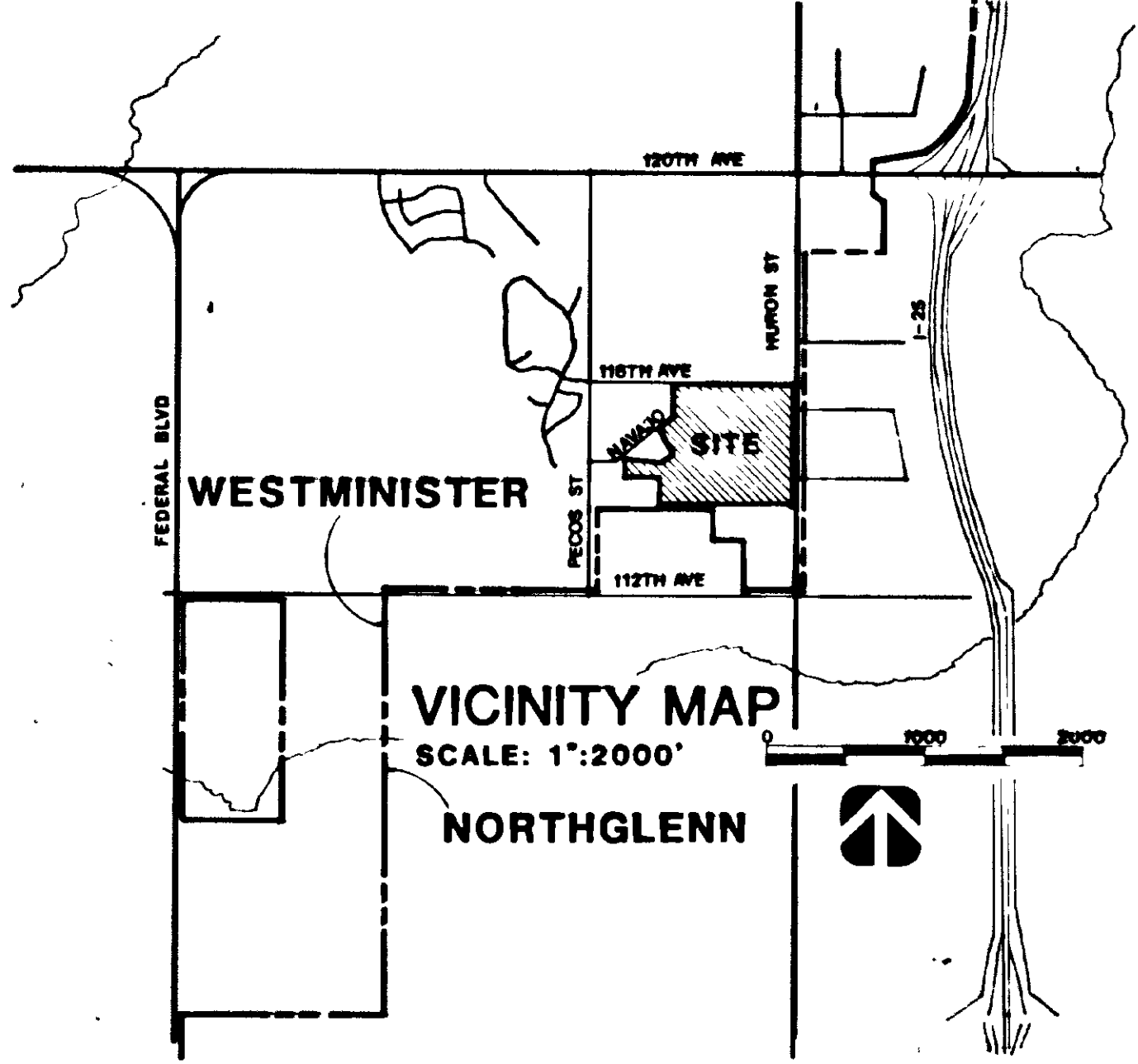
To complement the corporate headquarters, the remaining land is to be designated for general office, commercial and light industrial usage. The area will serve as a transition point between the industrial land east of Huron Street and the residential development west of Pecos Street.

- DEVELOPMENT TIMING**
- PHASE I** Development of a computer center and a corporate office building on the area designated for office use only. This phase is anticipated to be completed by the Spring of 1984. The O.D.P. and the P.D.P. are to be filed concurrently.
 - PHASE II** Development of the area designated for office/commercial usage. An O.D.P. is to be filed for each lot as they are developed with specific dates of completion outlined at that time.
 - PHASE III** Expansion of the corporate office building and/or computer center. The development timing of this phase will be dependent on future growth of the company. This phase will be subject to administrative approval by the City.

- SCHOOLS**
- Adams County School District #2 Cotton Creek Elementary 2.4 Miles
 - Huron Junior High School 10900 N. Huron 0.6 Miles
 - Northglenn Senior High 601 West 100th Place 1.7 Miles

- FIRE STATIONS**
- City of Westminster Fire District Station located at 112th and Vrain 2.4 Miles

- SHOPPING CENTERS**
- Malley Heights Center Malley Drive and Washington 2.6 Miles
 - Northglenn Mall 104th Avenue and I-25 0.8 Miles



ACCESS AND CIRCULATION

Access to Phase I will be from 116th Avenue. A 36' flowline-to-flowline width, 6" vertical curb and gutter and a 5' attached sidewalk on the South side only, is planned in the existing 60' right-of-way. 116th Avenue and all accompanying improvements shall be constructed per City of Westminster specifications with the developers responsibility to be limited to only the South 22'. The centerline of a 50' curb cut is to occur on the South side of 116th Avenue approximately 400' West of the centerline of Huron Street. This curb cut will have two one-way drives with a center island. The centerline of a 24' curb cut will occur approximately 290' East of the centerline of Navajo Street. This curb cut will be for a 24' wide drive. Access to Phase II will be directly from 114th Place, the centerline of which is to intersect Huron Street 412' north of the south property line +50' and intersect Navajo Street approximately 560' south of the north property line. 114th Place shall have full turning movements onto Huron. 114th Place and accompanying 6" vertical curb and gutter, and 4' attached sidewalk on one side shall be constructed per City of Westminster specifications when Phase II is developed.

The west side of Huron Street is to be improved to the following standards per City of Westminster specifications at the developers expense. 36' pavement width from centerline of street to western curb, 6" vertical curb and gutter and 5' detached sidewalk.

Phase I will include the Huron Street improvements from the centerline of 116th Avenue to the boundary of Phase I, 750' south. The remaining Huron Street improvements will be built in Phase II.

LAND USE TABLES

USE	ACREAGE	PER CENT OF TOTAL
Office	19.14	33.32
Office/Commercial	35.34	61.53
Dedicated Public Right-of-Way	2.96	5.15
Total	57.44	100.0

SETBACK, HEIGHT, PARKING AND SITE COVERAGE RESTRICTIONS

Office Use, Phases I & III	Building Setbacks	From all property boundaries	30'
	Parking Setbacks	From property boundaries	5'
		From right-of-way	10'
Office/Commercial Use, Phase II	Building Setbacks	From Huron Street	30'
		From all other property boundaries	20'
	Parking Setbacks	From property boundaries	5'
	From right-of-way	10'	
Height		Maximum	10 stories
Site Coverage		Open Space Minimum	30%
		Building and Parking Coverage Maximum	70%

PARKING RATIOS:

- Office One space/300 gross square feet
- Retail Space One space/200 gross square feet
- Warehouse One space /1,000 gross square feet
- Places of Assembly One space/every 3 persons of rated capacity

EXISTING ZONING

P.U.D. and R-4.

PROJECT
8103

TRI-STATE PLANNED UNIT DEVELOPMENT
114th PLACE AND HURON STREET
WESTMINSTER, COLORADO

Duff, Reck and Lehman
Architects
Planners and
Interior Designers

3460 W. 38th
Denver, Colorado
458-5033

SHEET 1
OF 3
DATE 6/3/81

PRELIMINARY DEVELOPMENT PLAN
Tri-State Planned Unit Development
In the City of Westminster
County of Adams, State of Colorado

Sheet 2 of 3

PERMITTED USES:

Office: Automobile parking area and structures
Offices
Public utility mains, lines or substitutions where no public office, repair or storage facilities are maintained.
Fences, walls and landscaping
Accessory buildings and structures

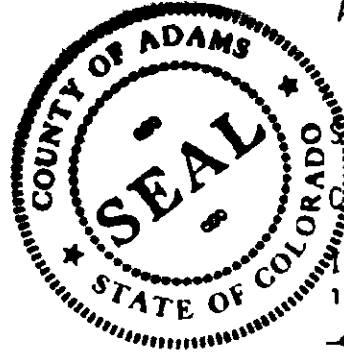
Office/Commercial: Automobile parking and structures
Offices
Medical and Dental Clinics
Places for the conduct of any retail business, to be approved at time of O.D.P.
Places serving food or beverages where such products are consumed within a building.
Places of Assembly
Banks
Personal Service Shops
Studios
Places for the conduct of any general commercial or wholesale activity, to be approved at time of O.D.P.
Animal Hospitals
Printing and Publishing Establishments
Warehousing
Educational Institutions
Public utility mains, lines, or substitutions where no public office, repair or storage facilities are maintained.
Fences, walls and landscaping
Accessory buildings and structures
Light Industrial/Manufacturing

SPECIAL CONDITIONS AND RESTRICTIONS

Approval of this Preliminary Development Plan constitutes a concept approval of the Plan subject to the ability of the City of Westminster or the land owner to provide necessary services. Due to serious short-range and long-range limitations on the raw water supply, water treatment capacity and sewage treatment capacity of the City, development of land in accordance with this plan may not be possible. Approval of this plan implies no commitment of the City of Westminster to provide services. The City of Westminster advises against development of land in accordance with this plan without a thorough investigation by the developer of the availability of water and sewer services at the time of such development.

Approved by the Planning Commission of the City of Westminster this 15th day of JUNE, 1981.
[Signature]
Chairman

Accepted by the City Council of the City of Westminster this 24th day of June 1981.
[Signature] Asst. City Clerk
[Signature] Mayor



STATE OF COLORADO)
COUNTY OF ADAMS) SS
I hereby certify that this instrument was filed for record in my office on the 14th day of December, 1981, at 3:13 P.M. in Book No. 38L, Reception No. B 355702.
[Signature] Clerk & Recorder
[Signature] Deputy

SIGN CONTROLS

Emphasis will be placed on simplicity of graphics and clarity. Color and materials will be harmonious with the architectural treatment. One ground sign per commercial building or center will be allowed. Ground signs will not exceed 10' in height. One building sign per tenant will be permitted. Office tenants shall be allowed 100 square feet for building signs. Commercial tenants shall be allowed a building sign not to exceed 2'-6" in height and a length not to exceed two-thirds of the width of the tenant space. The building sign shall be either a box-type or individual letter sign.

OUTDOOR LIGHTING

Lighting will be designed according to its function, utilized as a design element, and where appropriate combined with the site signing, low silhouette lighting and night accent lighting will be incorporated throughout the development. All lighting is to be shielded from adjacent properties and shall be non-glare.

ARCHITECTURAL TREATMENT

Exterior building surfaces shall be masonry including brick, slump stone, and architectural concrete block; precast exposed aggregate concrete; pre-cast stained concrete; wood, exposed metal surfaces accenting the above materials but not used as a dominant material (metal siding and exposed metal prefabricated buildings shall not be permitted). Primary colors shall be earth tones with other secondary colors used for accenting and highlighting architectural features.

UTILITY LINES:

New water and sanitary sewer lines will be provided in 114th Place and the existing sanitary sewer line in Navajo Street extended to the intersection of 116th Avenue and Navajo Street. Phase I will be served by the sewer extension in Navajo Street and by the existing water line in 116th Avenue right-of-way. Phase II will be served by the new lines in 114th Place and the existing sewer line at the South property line. This existing sanitary sewer line may be relocated to increase the flexibility of siting development.

EXISTING EASEMENTS

- A 20' Sanitary Sewer easement exists along the south property line from Huron Street to approximately 860' west at which point it runs in a northwesterly direction. This easement is intersected by a 20' sanitary sewer easement which begins approximately 1340' west of Huron Street, runs northeasterly and terminates at the point of intersection.
- A 30' right-of-way will be dedicated at the northern property boundary where the existing right-of-way is non-continuous.
- A 20' utility easement exists along the entire east property line, contained entirely within Huron Street right-of-way.

HAZARDOUS AND ENVIRONMENTALLY SIGNIFICANT AREAS

The irrigation ditch crossing the property will be maintained in its current condition in Phase I and all existing trees will be retained. In Phase II, a portion of the ditch may be relocated and buried to improve siting of development. These trees along the length of the ditch that is buried would be removed. The irrigation ditch is owned by the Ranch Land Company.

The existing detention pond will be relocated in Phase II to the southwest corner of the site to maximize use of the land and existing contours.

LANDSCAPING

A detailed landscape plan shall be submitted prior to receiving a building permit for structure within the P.D.P. Native trees, shrubs and grasses will be the dominant elements to help ensure their growth and to conserve water. Where required, automatic sprinklers will be installed.

A minimum of 10 deciduous trees per acre of open space, 20 evergreen trees per acre of open space, and 25 shrubs per acre of open space shall be planted.

The following plant list will be utilized in the final landscaping plan:

Plant List

Trees:	Mountain Ash	Sorbus aucuparia
Linden	Tilia cordata	
Honey Locust	Gleditsia triacanthos tnermts	
Scotch Pine	Pinus sylvestris	
Blue Spruce	Pinus pungens	
Crab Apple	Malus hopa	
Hawthorn	Crataegus mollis	
Western Hecckberry	Celtis occidentalis	
Locust Skyline	Gleditsia triacanthos "skyline"	
Green Ash	Fraxinum pennsylvanica	
Austrian Pine	Pinus nigra	
Shrubs:		
Lilac	Syringa vulgaris	
Forsythia	Forsythia intermedia spectabilis	
Dogwood	Cornus stolonifera coloradensis	
Tamarix Juniper	Juniperus sabinia tamaris citolia	
Cotoneaster	Coton acutifolia	
Creeping Mahonia	Mahonia repens	
Myrtle	Vinca minor	
Euonymus	Euonymus europaeus	
Pfitzer Juniper	Juniperus chinensis pfitzeriana	
Old Gold Juniper	Juniperus chinensis Pfitzeriana	
	Aurea	
Dogwood, Red	Cornus bailey	

PROJECT 8103

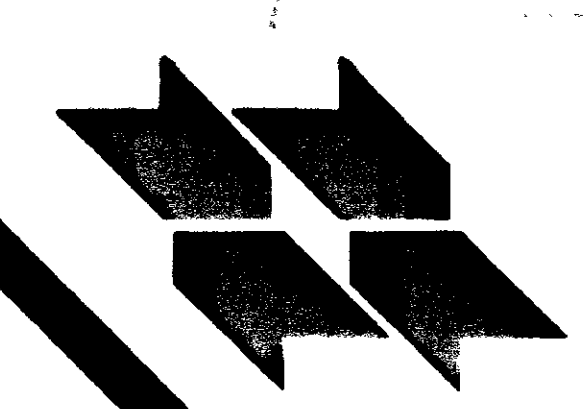
TRI-STATE PLANNED UNIT DEVELOPMENT
114th PLACE AND HURON STREET
WESTMINSTER, COLORADO

Duff, Reck and Lehman
Architects
Planners and
Interior Designers

3460 W. 38th
Denver, Colorado
458-5033

SHEET 2
OF 3
DATE 6/3/81

PRELIMINARY DEVELOPMENT PLAN
Tri-State Planned Unit Development
In the City of Westminster
County of Adams, State of Colorado
Sheet 3 of 3

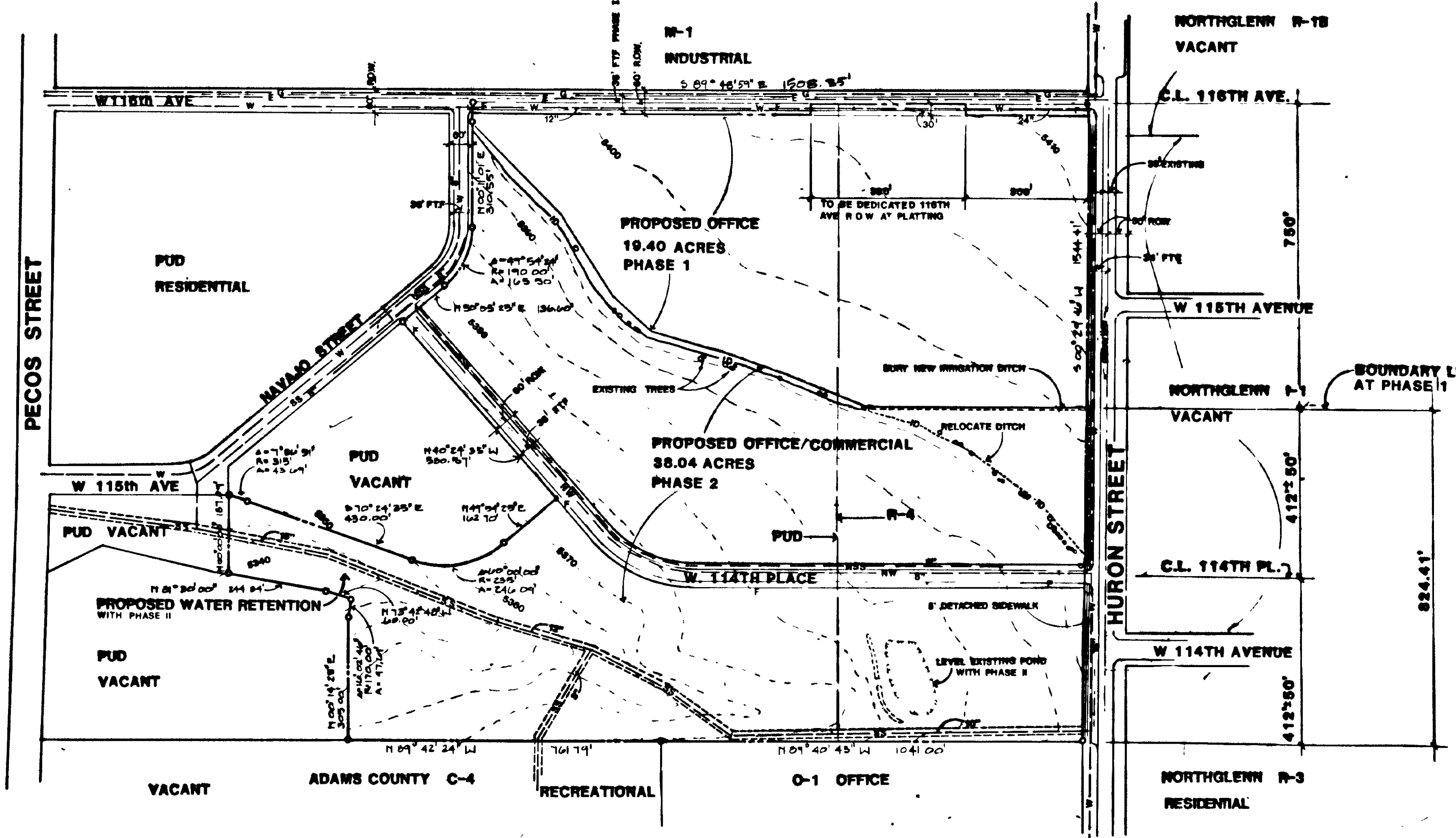


PROJECT
8103

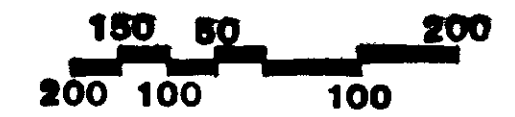
TRI-STATE PLANNED UNIT DEVELOPMENT
114th PLACE and HURON STREET
WESTMINSTER, COLORADO

Duff, Reck
and Lehman
Architects
Planners and
Interior Designers

3460 W. 38th
Denver, Colorado
458-5033



SITE & UTILITY PLAN
Scale: 1"=200'



- LEGEND:**
- W Water
 - E Electricity
 - SS Sanitary Sewer
 - G Natural Gas
 - ID Irrigation Ditch
 - NSS NEW SANITARY SEWER
 - NW NEW WATER
 - F FIRE HYDRANT

SHEET **3**

OF **3**
DATE **6/3/81**

OFFICIAL DEVELOPMENT PLAN
Tri-State Planned Unit Development
In the City of Westminster
County of Adams, State of Colorado
Sheet 1 of 5

DEVELOPER: Tri-State Generation and Transmission Association, Inc.
12076 Grant Street
Denver, Colorado 80241
Phone: 452-6111 Contact: Hugh Frazier

ARCHITECT/PLANNER: Duff, Reck and Lehman Professional Company
3460 West 38th Avenue
Denver, Colorado 80211
Phone: 458-5033 Contact: Chuc Duff

LEGAL DESCRIPTION:

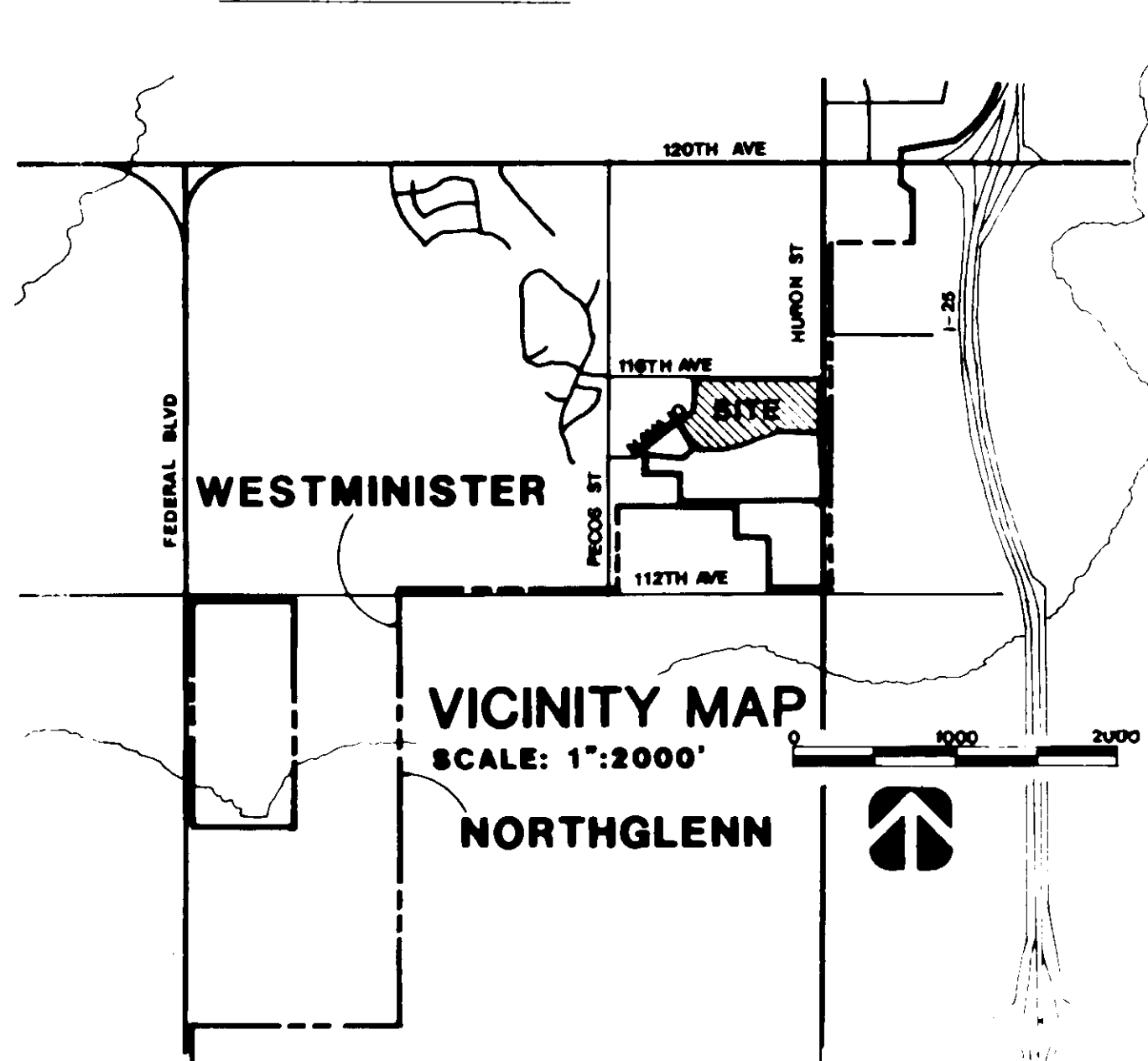
A parcel of land in the Southeast one-quarter of Section 4, Township 2 South, Range 68 West of the 6th Principal Meridian, City of Westminster, Adams County, Colorado, described as:

Beginning at the Northeast corner of the Southeast one-quarter of said Section 4; thence North 89°48'59" West along the North line of said Southeast one-quarter a distance of 50 feet to the true point of beginning; thence South 00°29'46" West parallel with the East line of Southeast one-quarter a distance of 750 feet; thence North 89°48'59" West, a distance of 477.75 feet to a point approximately 15 feet Northeastly of the centerline of a meandering ditch; thence following the meanders of said ditch approximately 15 feet Northeastly of its centerline as follows:

North 72°38'20" West a distance of 108.71 feet; thence North 69°04'47" West a distance of 230.83 feet; thence North 74°45'17" West a distance of 266.96 feet; thence North 55°49'58" West a distance of 69.87 feet; thence North 42°30'20" West a distance of 117.86 feet; thence North 29°44'21" West a distance of 172.14 feet; thence North 46°26'47" West a distance of 149.76 feet; thence North 39°45'04" West a distance of 181.36 feet to a point on the Easterly Right-of-Way line of Navajo Street as shown on RANCHO PECO I SUBDIVISION a subdivision of a part of said Southeast one-quarter; thence North 00°11'01" East along the Easterly Right-of-Way line of said Navajo Street a distance of 50 feet to a point on the North line of the Southeast one-quarter of said Section 4; thence South 89°48'59" East along the North line of the Southeast one-quarter of said Section 4 a distance of 1,508.35 feet to the true point of beginning. The North 30 feet of the West 828.35 feet of above described parcel of land is excluded and is recorded in Adams County Records in Book 1843, Page 36, Book 1843, Page 864 and Book 1919, Page 692. The North 30 feet of the East 300 feet of the above described parcel of land is excluded and is recorded in Adams County Records in Book 1919, Page 692.

The above described parcel of land contains 19.40 acres, more or less.

Bearings are based on the North line of the Southeast one-quarter of said Section 4, being South 89° 48' 59" East per RANCHO PECOS I SUBDIVISION.



PROJECT INTENT

A corporate headquarters is planned for Tri-State Generation and Transmission Association to initially include approximately 150,000 S.F. of office space and 40,000 S.F. for a computer center. Eventual expansion is to include doubling the size of both the office space and the computer center.

DEVELOPMENT TIMING

Phase I Construction of the two-story computer center, accompanying 180 foot micro-wave tower and parking area for the center.

Construction of a Corporate Headquarters Building up to six stories in height and the parking area, with access off 116th Avenue, for this building. This phase to begin within 24 months from approval of the O.D.P. and the Final Plat.

Phase II Expansion of facilities in Phase I as it becomes necessary. Phase II will be subject to administrative review at the time of expansion.

PROJECT ACCESS AND CIRCULATION

Access to the Computer Center, company vehicles, maintenance and deliveries will be from 116th Avenue. A paved private drive, a minimum of 24' wide with a 24' curb cut of which the centerline is approximately 290' East of the centerline of Navajo Street, will connect to these areas. The parking lot will have a minimum 4' sidewalk along the side adjacent to the Computer Center, 110 parking spaces, 9' x 19' shall be provided in this parking area with two handicapped parking stalls, 12' x 19'.

Access to the corporate office building will be from a 50' curb cut on the South side of 116th Avenue approximately 400' West of the centerline of Huron Street. This access point will be two one-way drives with a center island. The two one-way drives shall continue Southwest across the property to the front entry of the headquarters building. The parking lots in this area shall provide 524 parking spaces, 9' x 19', and 6 parking spaces for the handicapped, to be 12' x 19'. These areas are to be constructed in Phase I. Phase II parking will be constructed in conjunction with the amount of office space built.

A portion of the site at the North property line is to be dedicated for 116th Avenue right-of-way to make the existing 60' right-of-way continuous. This dedication will begin approximately 350' West of the centerline of Huron Street and run West approximately 380' and shall be 30' wide. 116th Avenue shall be constructed from Huron Street to Navajo Street and shall have a 36' flowline-to-flowline width, 6" vertical curb and gutter and a 5' attached sidewalk on the South side. The developer shall be financially responsible for the South 22' width of the total cost of 116th Avenue.

All streets and parking areas will be surfaced with asphalt pavement or an equivalent surface installed in conformance with the City of Westminster Standard Specification for Design and Construction.

EXISTING ZONING

P.U.D. and R-4.

SETBACK, HEIGHT AND SITE COVERAGE RESTRICTIONS

<u>Building, Setbacks</u>	
From all property boundaries	30'
<u>Parking Setbacks</u>	
From property boundaries	5'
From right-of-way	10'
<u>Height</u>	
Maximum 10 stories	
<u>Gross Floor Area</u>	
Phase I	190,000 square feet
Phase II	210,000 square feet
<u>Site Coverage</u>	
Open Space - Minimum	30%
Building & Parking Coverage - Maximum	70%

FENCING

A 6' high chain link security fence topped with barb wire is to be installed around the parking area designated for parking of company vehicles and the computer center parking area. A 6' high fence shall enclose the trash receptacle(s) and be constructed of material similar to that of the buildings. See Sheet 4.

OUTDOOR LIGHTING

Lighting will be designed according to its function, utilized as a design element, and where appropriate combined with the site's signing. Low silhouette lighting and night accent lighting will be incorporated throughout the development. Street lighting in public streets will be installed at developer's expense as designed by Public Service Company. See light standard detail on Sheet 4. All exterior lighting is to be shielded from adjacent properties and shall be non-glare.

SPECIAL LANGUAGE

"The City does not, by approving this Official Development Plan warrant or guarantee that it will provide water and sewer service to the sites planned herein."

"The owner of the property described as Tri-State Planned Unit Development has conveyed to the City all right to non-tributary water underlying this project as well as easements for acquisition of such water."

"Storm Drainage will be in accordance with approved Master Drainage Study."

"utilities will be installed in accordance with the approved Utilities Plan."

"Street lights will be installed at developer's expense."

"City will install, at developer's expense, all traffic control devices required, including street name signs."

LAND USE ACRES % OF TOTAL PROPERTY

Office	19.14	98.7%
Future Right-of-way	.26	1.3%

SITE COVERAGE

Building Coverage	2.07	10.7%
Paving and Drives	11.33	58.4%
Landscaped Open Space	5.74	29.6%
Future Right-of-way	.26	1.3%
	19.40	100%

PARKING

A minimum of one parking space shall be provided per each 300 square feet of gross office area and one space per each 1,000 square feet of gross storage or warehouse area.

PROJECT
8103

TRI-STATE HEADQUARTERS FACILITY
116th AVENUE and HURON STREET
WESTMINSTER, COLORADO

**Duff, Reck
and Lehman**
Architects
Planners and
Interior Designers

3460 W. 38th
Denver, Colorado
458-5033

SHEET 1

OF 5

DATE 6/3/81

OFFICIAL DEVELOPMENT PLAN
Tri-State Planned Unit Development
In the City of Westminster
County of Adams, State of Colorado
Sheet 2 of 5

SIGN CRITERIA

The signage shall be part of the overall graphic design and shall be coordinated in material and color throughout. No exposed tube lighting shall be permitted.

Sign Types and Controls

1. Entrance Sign

A two-faced sign shall be located near Huron at 116th Avenue and shall have a base structure of materials which are compatible with the building exterior. The copy shall be restricted to the Company logo, name and address. The sign shall not exceed 10 feet in height and each copy face shall be restricted to 50 S.F. The sign may be back or front lighted.

2. Building Identification

A single wall sign consisting of the company logo and individual letters for the company name in materials compatible with the building architecture. The area of the circumscribed letters and logo shall not exceed 50 S.F. This sign may be back lit or face lit as part of the building accent lighting.

3. Directory Signage

Signage as may be required for information and directions shall be graphically coordinated with other signs and building architecture. These signs shall not exceed 6 feet in height nor exceed 25 S.F. in area/sign face.

4. Flagpoles

Flagpoles shall not exceed 35' in height. Four flagpoles are planned in front of the headquarters building. Flagpoles shall have foundations.

Utilities

Water service shall be provided from an existing 12" line that runs along the North property line. This line will be utilized to create a looped system around the headquarters building. Sanitary sewer service will tie into the extension of the existing sewer in Navajo Street.

Irrigation System

An automatic irrigation system shall be installed to serve all trees, shrubs and sodded areas as needed.

Landscape Maintenance

Landscaping shall be planted and maintained in a living condition by the owner. Should any plant materials die, the owner of his assigns or heirs shall be responsible for the plant replacement within one planting season and in conformance with the landscape material requirements as set forth by this plan, or alternate material acceptable to the City.

WATER CONSERVATION

Restrooms, kitchens and industrial processes shall incorporate water conserving design and fixtures.

Irrigation systems shall be provided where appropriate and shall be designed for maximum water conservation.

Plant varieties requiring regular or heavy irrigation shall be restricted to a) small prominent areas justifying intensive landscaping and b) heavy usage areas where lawns provide an optimal surface for the planned use (e.g. play area). Drought tolerant, native dryscape landscaping modes shall be emphasized in areas where they are appropriate.

Adequate soil preparation shall be utilized in areas landscaped with plant materials to assure adequate life support and water absorption/retention.

Grading shall be designed to maximize benefit from irrigation and natural precipitation; and in conformance with applicable drainage requirements.

Landscaping Criteria

All plantings shall be selected from the plant list shown hereon. Should species be desired which are not included they shall be submitted to the City for administrative approval. A detailed landscape plan shall be submitted prior to receiving a building permit for any structures on the site.

Grasses

All open area shall be planted in sod or natural grasses (complete with automatic irrigation). Sod shall be used in areas of high pedestrian traffic and natural grass in low traffic areas. See plan for location.

Trees

Two general categories of trees shall be used.

1. Deciduous

- A. Sun shading of buildings for summer energy conservation.
- B. Ornamental for decoration at entrances and around parking lot.
- C. Tall clump type trees (such as poplar and aspen) shall be used as supplemental wind screens to protect buildings and parking lots from winter prevailing winds.

2. Evergreens

- A. The evergreens shall be used in conjunction with the deciduous for wind screening.
- B. General decoration.

Quantity

Deciduous 10 trees/AC of open space
Evergreen 20 trees/AC of open space

Size

Deciduous - 2-2 1/2" caliper
Evergreen - 6 to 8'-0 high

Shrubs

Shrubs shall be used to provide color and decoration. They shall be grouped at entries and signs. They may also be used in areas as ground cover to provide soil stabilization.

Quantity

25 shrubs/AC of open space

Size

5 gal. for decoration locations
Plugs - when used as ground cover (these items do not count against the quantity mentioned above.)

Approved by the Planning Commission of the City of Westminster this 15th day of June, 1981.

[Signature]
Chairman

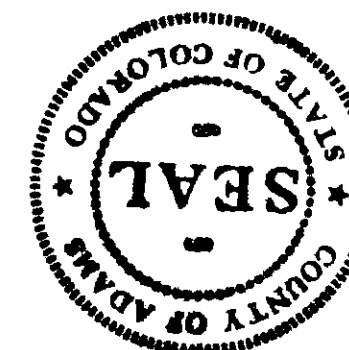
Accepted by the City Council of the City of Westminster this 22nd day of June, 1981.

[Signature] City Clerk *[Signature]* Mayor

STATE OF COLORADO)
COUNTY OF Adams) SS

I hereby certify that this instrument was filed for record in my office on the 22nd day of APRIL, 1981 at 1:47PM in Book no. P.4-d-406 Reception No. _____

[Signature] Clerk and Recorder *[Signature]* Deputy



Plant List

Trees:

Mountain Ash
Linden
Honey Locust
Scotch Pine
Blue Spruce
Crab Apple
Hawthorn
Western Hackberry
Locust Skyline
Green Ash
Austrian Pine

Sorbus aucuparia
Tilia cordata
Gleditsia triacanthos inermis
Pinus sylvestris
Pinea pungens
Malus hopy
Crataegus mollis
Celtis occidentalis
Gleditsia triacanthos "skyline"
Fraxinum pennsylvannica
Pinus nigra

Shrubs:

Lilac
Forsythia
Dogwood
Tamarix Juniper
Cotoneaster
Creeping Mahonia
Myrtle
Euonymus
Pfitzer Juniper
Old Gold Juniper
Dogwood, Red

Syringa vulgaris
Forsythia intermedia spectabilis
Cornus stolonifera coloradensis
Juniperus sabina tamaris citolia
Coton acutifolia
Mahonia repens
Vinca minor
Euonymus europeus
Juniperus chinensis pfitzeriana
Juniperus chinensis Pfitzeriana Aurea
Cornus bailey

PROJECT
8103

TRI-STATE HEADQUARTERS FACILITY
116th AVENUE and HURON STREET
WESTMINSTER, COLORADO

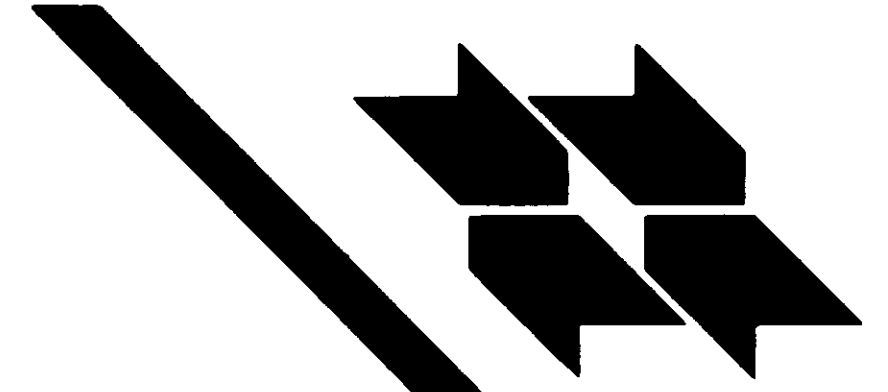
Duff, Reck
and Lehman
Architects
Planners and
Interior Designers

3460 W. 38th
Denver, Colorado
458-5033

SHEET 2

OF 5
DATE 6/3/81

OFFICIAL DEVELOPMENT PLAN
Tri-State Planned Unit Development
In the City of Westminster
County of Adams, State of Colorado
Sheet 3 of 5



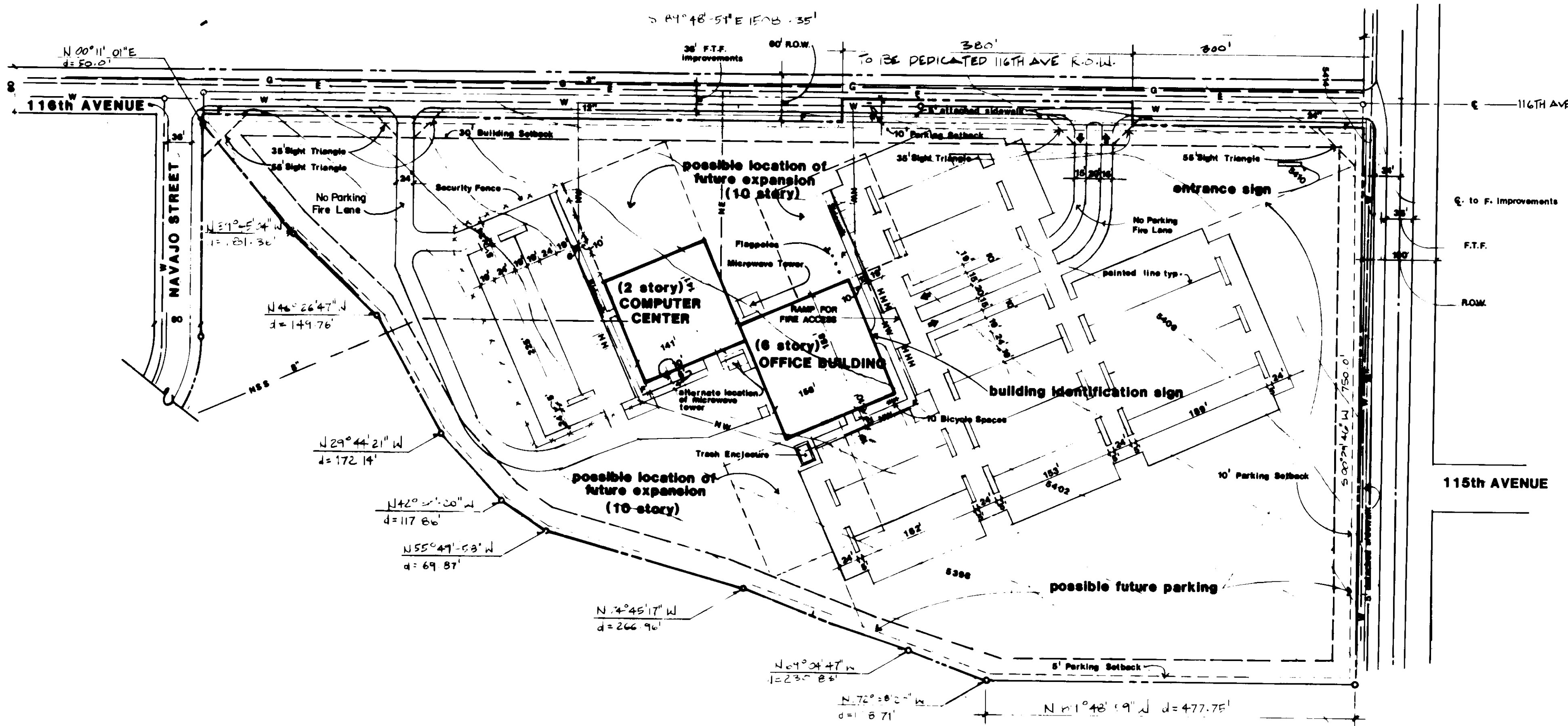
PROJECT
8103

TRI-STATE HEADQUARTERS FACILITY
116th AVENUE and HURON STREET
WESTMINSTER, COLORADO

Duff, Reck
and Lehman
Architects
Planners and
Interior Designers

3460 W. 38th
Denver, Colorado
458-5033

SHEET **3**
OF **5**
DATE **6/3/81**



GENERAL NOTES

1. Building footprints may vary in size and final configuration from that shown, but in no case shall the 70% coverage and 30% open space be violated.
2. Architectural elevations are shown for general character only and will be subject to change as architectural concepts are developed.
3. Preliminary location and method of drainage control and run-off is to be addressed in the Preliminary Drainage Report.
4. Phase I includes 634 parking spaces and 8 handicapped parking spaces.

SITE & UTILITY PLAN
SCALE: 1" : 100'

LEGEND:

- | | | | |
|----|---------------------------------|-----|--------------------|
| W | Water | NW | New Water |
| E | Electricity | NE | New Electricity |
| SS | Sanitary Sewer | NSS | New Sanitary Sewer |
| G | Natural Gas | | |
| ID | Irrigation Ditch | | |
| H | Handicapped Parking 12' Typical | | |
| F | Fire Hydrant | | |



OFFICIAL DEVELOPMENT PLAN
Tri-State Planned Unit Development
In the City of Westminster
County of Adams, State of Colorado
Sheet 4 of 5

LEGEND:

PARKING LOT LIGHTING ☒

SODDED AREAS [stippled pattern]

NATURAL GRASSES [horizontal line pattern]

DECIDUOUS &/or
EVERGREEN TREES [dotted pattern]

SHRUBS &/or
ORNAMENTAL TREES [solid black pattern]

PROJECT
8103

TRI-STATE HEADQUARTERS FACILITY
116th AVENUE and HURON STREET
WESTMINSTER, COLORADO

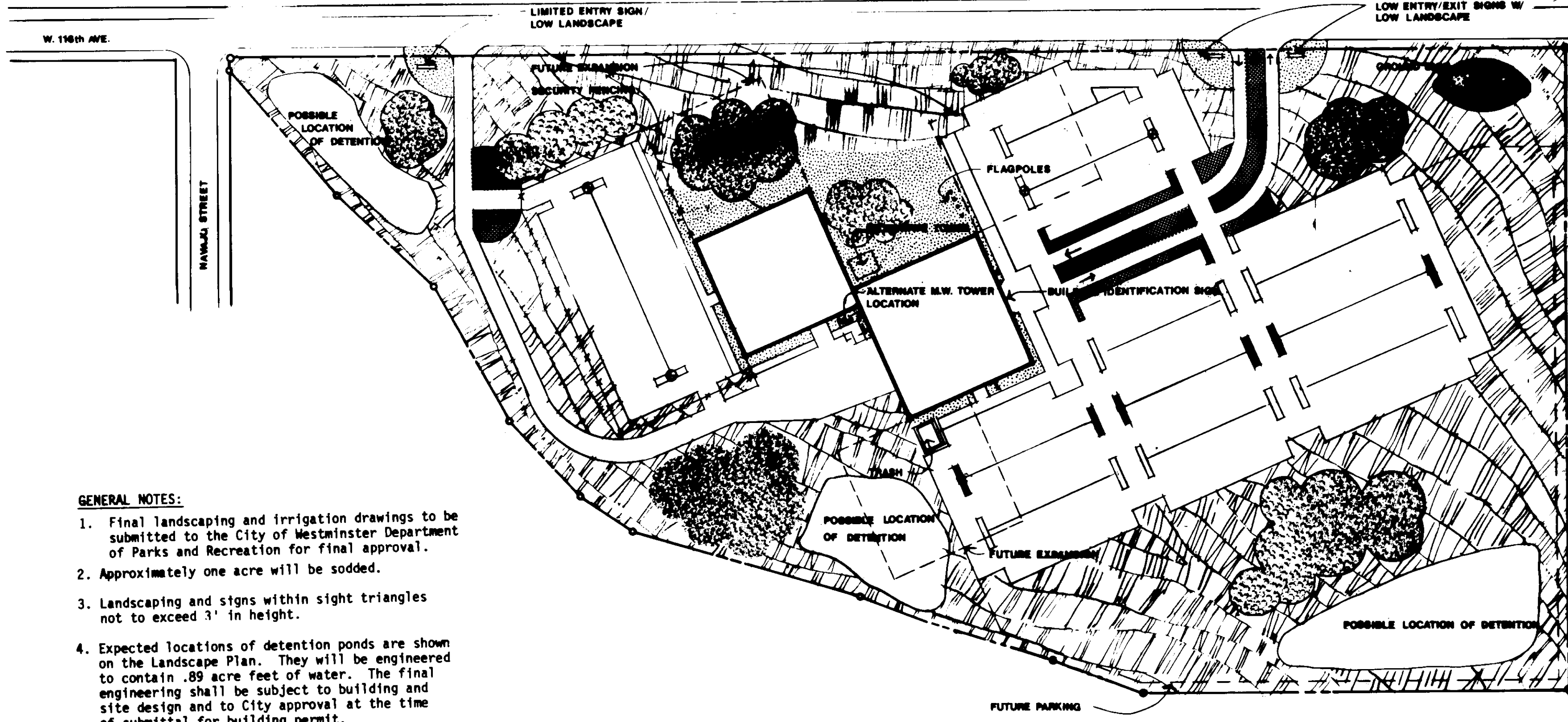
**Duff, Reck
and Lehman**
Architects
Planners and
Interior Designers

3460 W. 38th
Denver, Colorado
458-5033

SHEET **4**

OF **5**

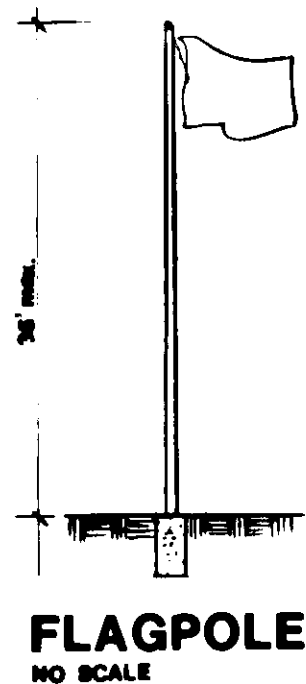
DATE 6/3/81



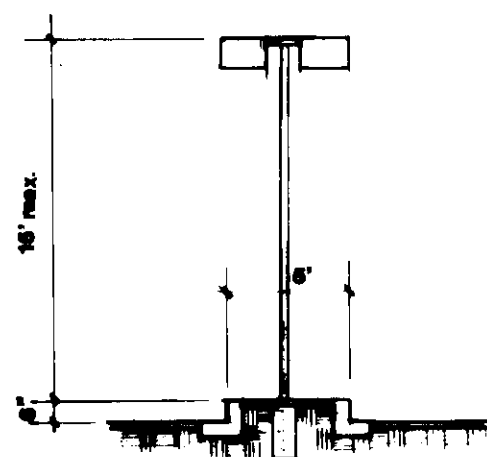
GENERAL NOTES:

- Final landscaping and irrigation drawings to be submitted to the City of Westminster Department of Parks and Recreation for final approval.
- Approximately one acre will be sodded.
- Landscaping and signs within sight triangles not to exceed 3' in height.
- Expected locations of detention ponds are shown on the Landscape Plan. They will be engineered to contain .89 acre feet of water. The final engineering shall be subject to building and site design and to City approval at the time of submittal for building permit. The area shown is 1.2 acres and shall have an average detention depth of 1 foot.

5. Note 1 above shall include drawings indicating the limits of detention ponding & exact location and type of plant material to be used.



FLAGPOLE
NO SCALE



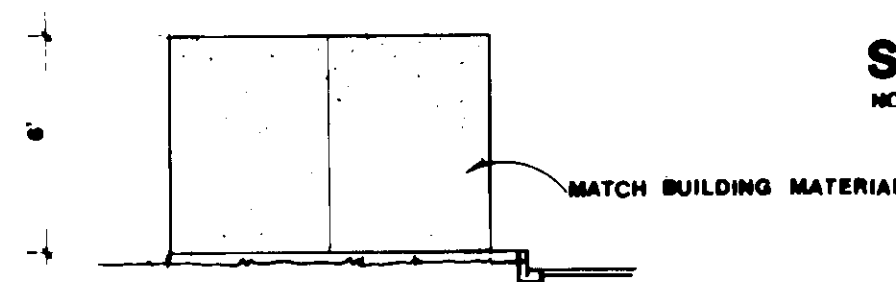
LIGHTING at PARKING ISLAND
NO SCALE



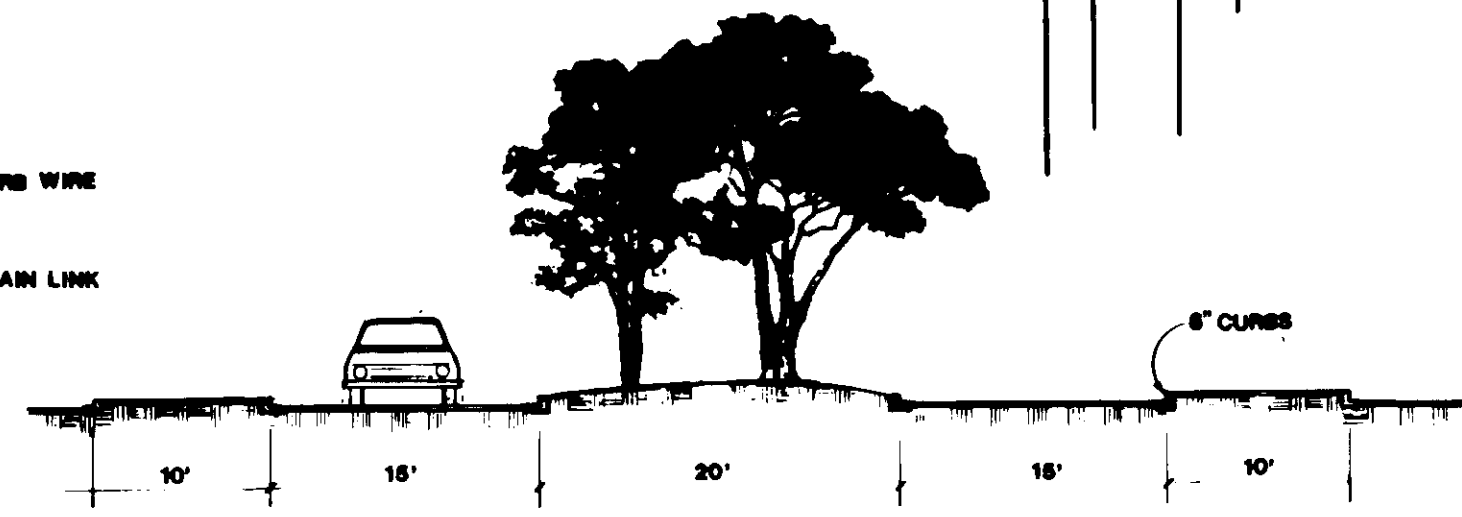
LIGHTING at WALKS
NO SCALE



SECURITY FENCE
NO SCALE

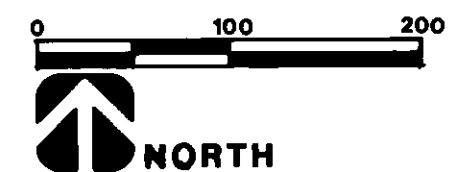


TRASH ENCLOSURE
NO SCALE

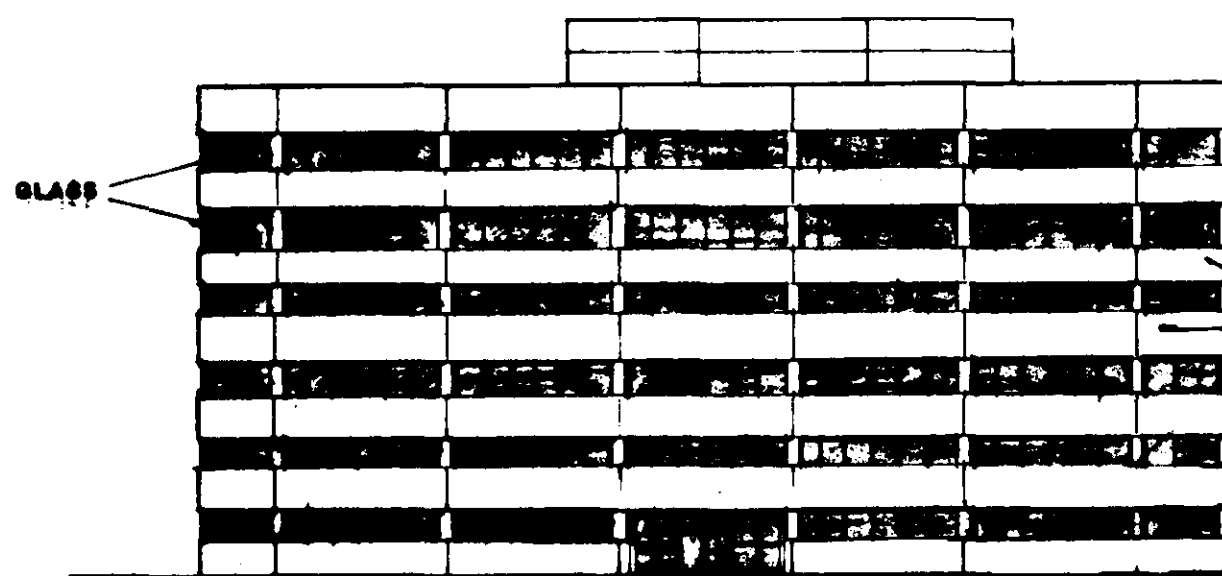
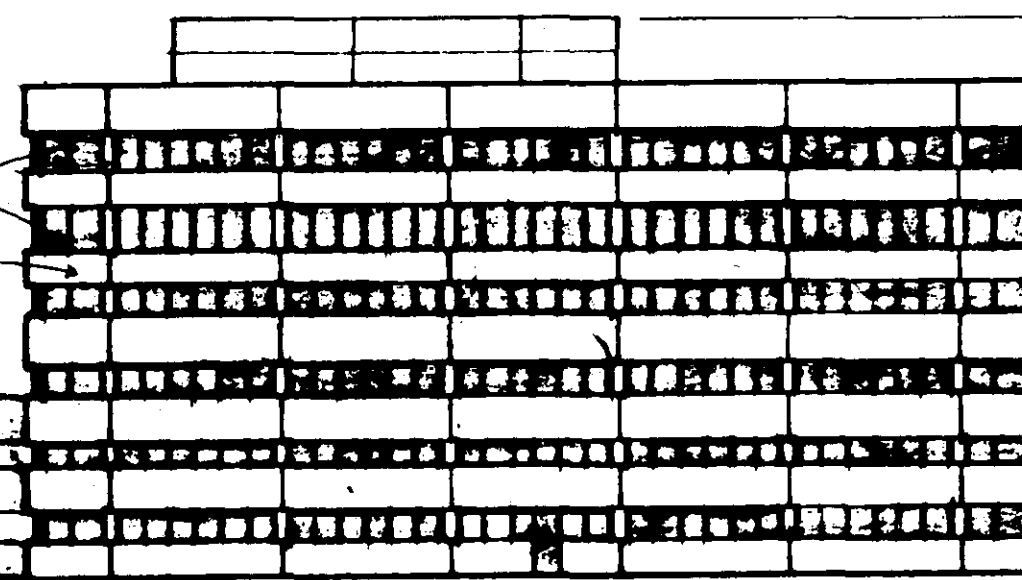
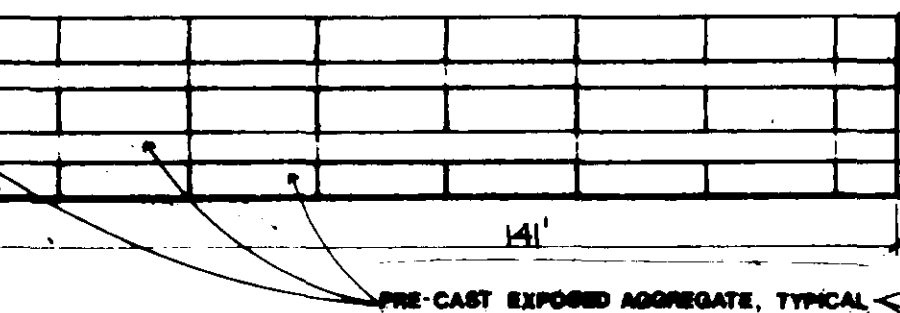
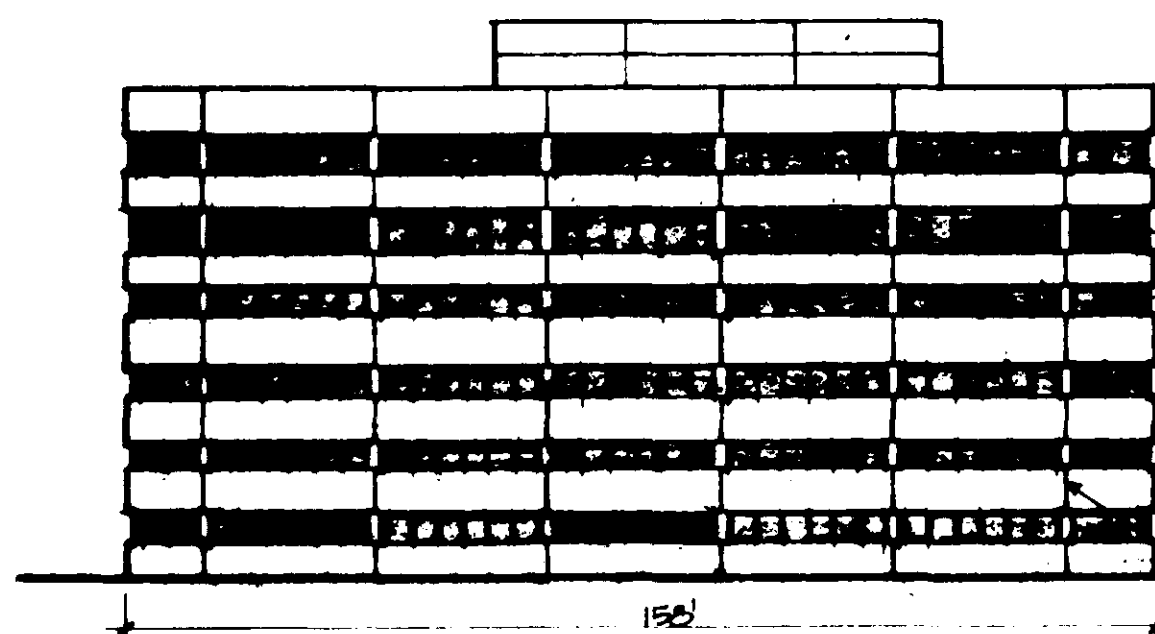
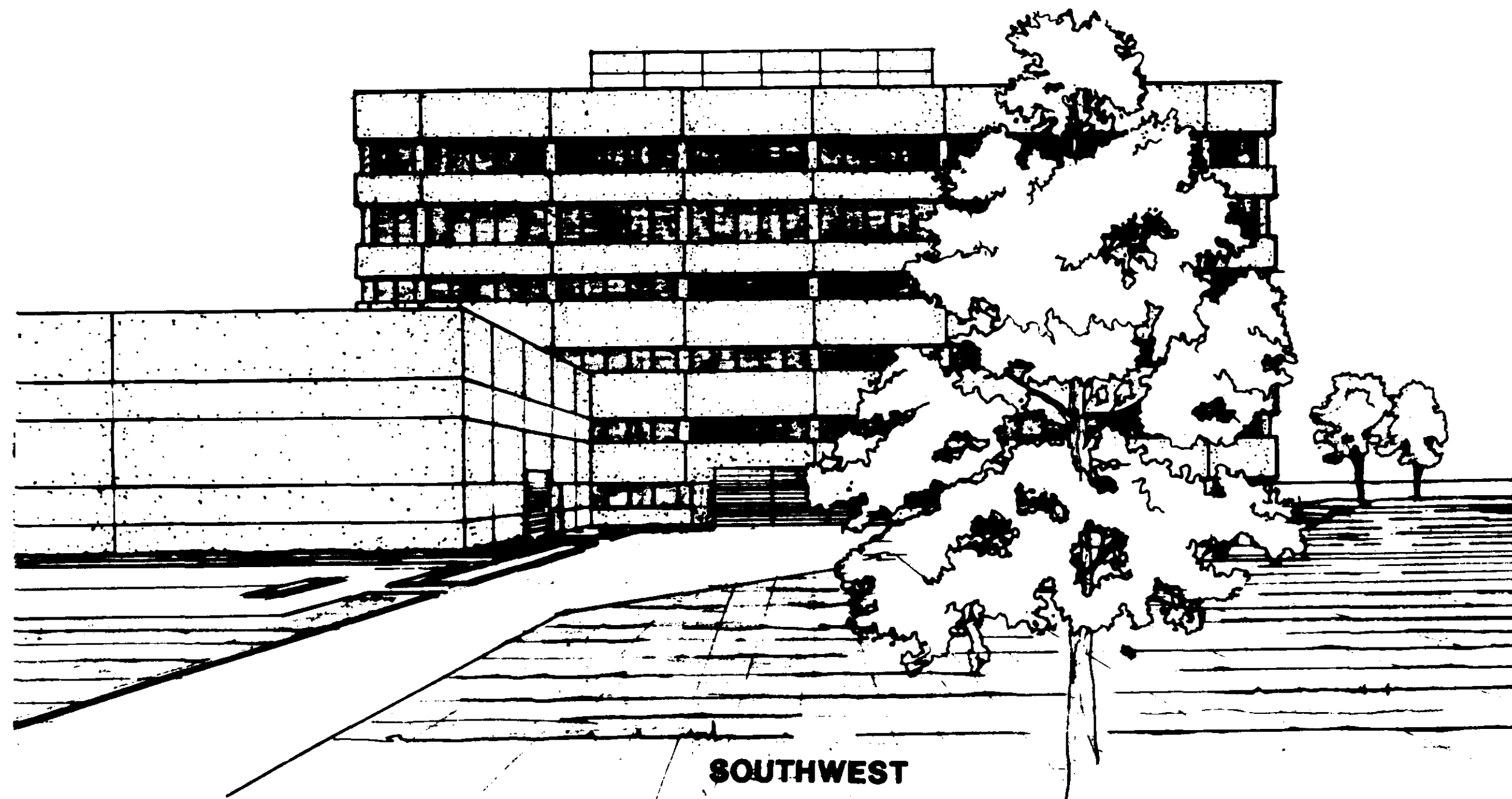
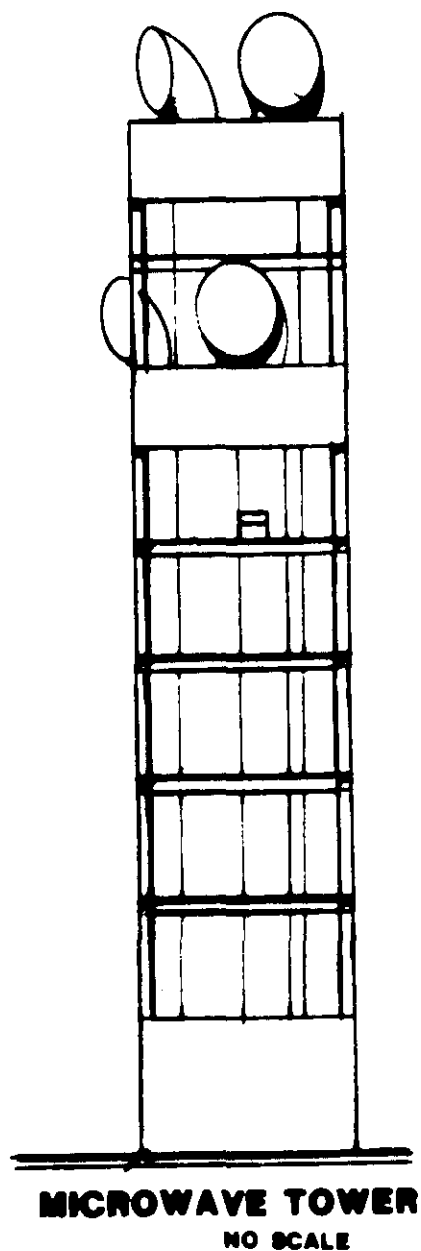


SECTION at MAIN ENTRY
NO SCALE

LANDSCAPE PLAN
SCALE: 1"=100'



OFFICIAL DEVELOPMENT PLAN
Tri-State Planned Unit Development
In the City of Westminster
County of Adams, State of Colorado
Sheet 5 of 5



PROJECT
8103

TRI-STATE HEADQUARTERS FACILITY
116th AVENUE and HURON STREET
WESTMINSTER, COLORADO

Duff, Reck
and Lehman
Architects
Planners and
Interior Designers

3460 W. 38th
Denver, Colorado
458-5033

SHEET **5**

OF **5**

DATE **6/3/81**

GENERAL NOTES

Primary colors shall be earth tones with other secondary colors used for accenting and highlighting architectural features.

Mechanical equipment on rooftop will be screened from view.

TO MECH
EL = 186'

TO PARAPET
EL = 176'

2ND LEVEL
EL = 112'

ENTRY LEVEL
EL = 100'

TO PARAPET
EL = 128'

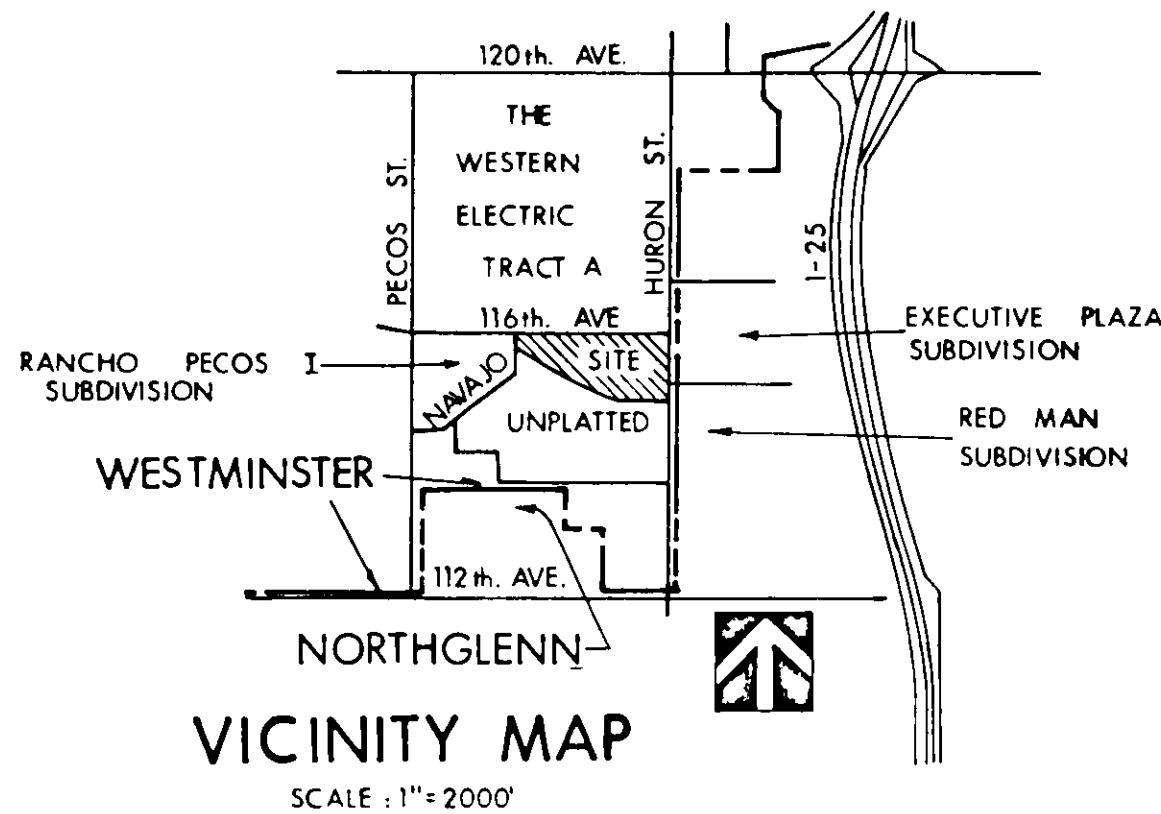
TO GRADE
EL = 100'

File 14 MAP 847

TRI-STATE SUBDIVISION

A PART OF THE S.E. 1/4 OF SECTION 4, T-2-S, R-68-W, 6th. P.M.
CITY OF WESTMINSTER
COUNTY OF ADAMS
STATE OF COLORADO

SHEET 1 OF 2



DEDICATION:

Know all men by these presents that Tri-State Generation and Transmission Association, Inc., A Colorado Corporation, being the owners of a parcel of land in the SE $\frac{1}{4}$ of Section 4, T.2 S., R.68 W of the 6th P.M., City of Westminister, County of Adams, State of Colorado more particularly described as follows:

Commencing at the Northeast corner of the SE $\frac{1}{4}$ of said Section 4; thence N 89°48'59" W along the North line of said SE $\frac{1}{4}$ a distance of 50.00 feet; thence S 00°29'46" W parallel with the East line of said SE $\frac{1}{4}$ a distance of 30.00 feet to the POINT OF BEGINNING; thence continuing S 00°29'46" W a distance of 720.00 feet; thence N 89°48'59" W a distance of 477.75 feet; thence N 72°38'20" W a distance of 108.71 feet; thence N 69°04'47" W a distance of 230.83 feet; thence N 74°45'17" W a distance of 266.96 feet; thence N 55°49'58" W a distance of 69.87 feet; thence N 42°30'20" W a distance of 117.86 feet; thence N 29°44'21" W a distance of 172.14 feet; thence N 46° 26'47" W a distance of 149.76 feet; thence N 39°45'04" W a distance of 181.36 feet to a point on the Easterly right-of-way line of Navajo Street; thence N 00°11'01" E along said Easterly right-of-way line a distance of 20.00 feet, thence S 89°48'59" E, along a line that is parallel to and 30.00 feet equidistant from the North line of said SE $\frac{1}{4}$, a distance of 828.36 feet; thence N 00°11'01" E a distance of 30.00 feet to a point on the North line of said SE $\frac{1}{4}$; thence S 89° 48'59" E, along said North line a distance of 380.00 feet; thence S 00°11'01" W a distance of 30.00 feet; thence S 89° 48'59" E, along a line that is parallel to and 30.00 feet equidistant from the North line of said SE $\frac{1}{4}$, a distance of 299.84 feet to the POINT OF BEGINNING, containing 19.40 acres, more or less.

Has laid out, subdivided and platted the same into lot and block under the name and style of TRI-STATE SUBDIVISION, and does by these presents grant and convey to the City of Westminister the following as shown thereon; for public use the avenue; for public use perpetual easements for the purposes of permitting the installation, operation, and maintenance of any and all public utilities, including but not limited to storm and sanitary sewers, natural gas and water lines, telephone and electric lines, cables, conduits, and poles, together with all necessary and convenient appurtenances thereto.

Executed this 4th day of March, 1982, By Tri-State Generation and Transmission Association, Inc., A Colorado Corporation:

Everett B. Chesney
Everett B. Chesney, President

E.A. Geesen
E.A. Geesen, Secretary

APPROVALS:

Approved by the Planning Commission of the City of Westminister this 15th day of JUNE, 1981.

William E. Smith
Chairman

This plat, and the dedication to the public of the street and public way shown hereon, and the public utility easements as shown, are hereby accepted and approved by the City Council of Westminister this 22nd day of JUNE, 1982.

William E. Smith
Attest: City Clerk (SEAL)"

Ken Jones
Mayor

STATE OF COLORADO)
COUNTY OF ADAMS) ss

The foregoing instrument was acknowledged before me this 4th day of March, A.D., 1982 by Everett B. Chesney as President and E.A. Geesen as Secretary of Tri-State Generation and Transmission, Inc., A Colorado Corporation.

December 8, 1984
My Commission Expires

Dorcas E. Wickfield
Notary Public

ATTORNEYS CERTIFICATION:

I, Thomas M. McCaffrey, an attorney admitted to practice in the State of Colorado, hereby certify that the persons dedicating the public ways shown on this plat are owners thereof in fee simple, free and clear of all encumbrances.

Thomas M. McCaffrey
Thomas M. McCaffrey

"STATE OF COLORADO)
COUNTY OF ADAMS) ss

I hereby certify that this instrument was filed for record in my office on the 28th day of APRIL, 1982, at 1:47 P.M., in Book No. 14, Page No. 847, File MAP, Map Reception No. B372093.

William Sobel
Clerk & Recorder (SEAL)"



Velma E. Mihalski
Deputy

SURVEYORS'S CERTIFICATION:

I, Paul D. Nelson, Jr., a Land Surveyor in the State of Colorado, do hereby certify that I have surveyed the above described property and to the best of my professional knowledge, belief and opinion this plat is a true and accurate representation of said survey.

Paul D. Nelson, Jr.
Paul D. Nelson, Jr., L.S. 17350



TRI-STATE SUBDIVISION

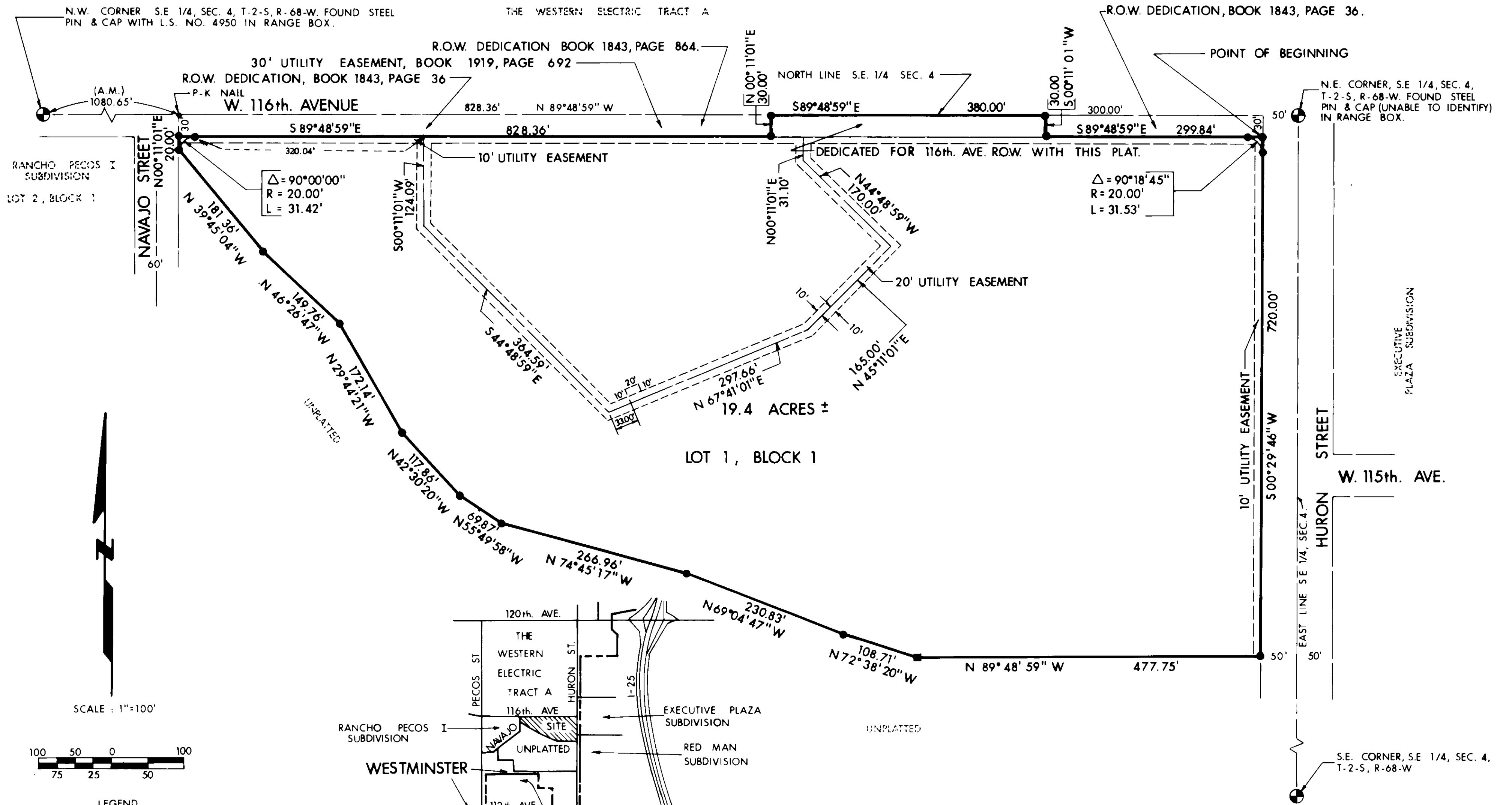
A PART OF THE S.E. 1/4 OF SECTION 4, T-2-S, R-68-W, 6th. P.M.

CITY OF WESTMINSTER

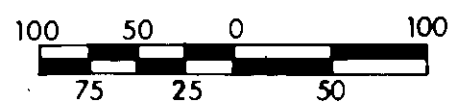
COUNTY OF ADAMS

STATE OF COLORADO

SHEET 2 OF 2

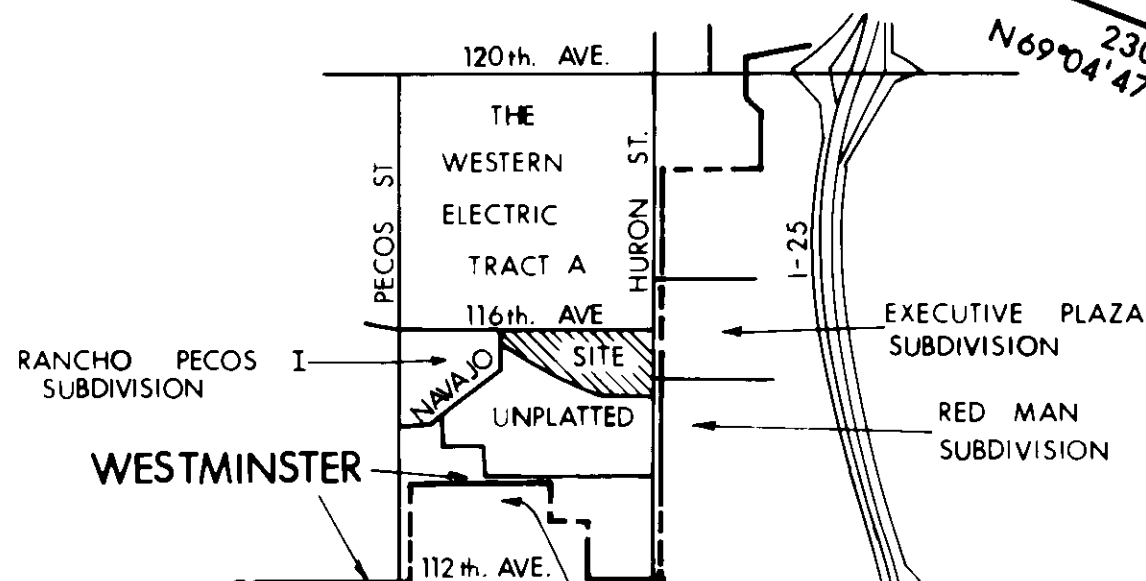


SCALE : 1"=100'



LEGEND

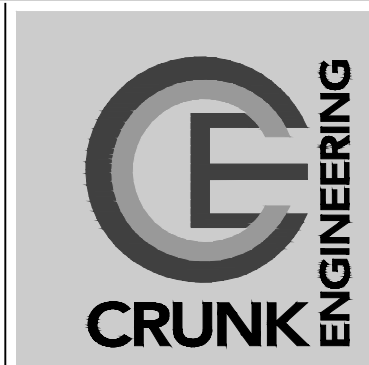
- = STEEL PIN WITH CAP NO. 11330 SET ON PROPERTY CORNER
- = BRASS CAP WITH L S NO 11330 SET ON PROPERTY CORNER.



VICINITY MAP

SCALE : 1"= 200'

Costin Engineering
CIVIL ENGINEERING AND LAND SURVEYING
2775 WEST HAMPTON AVE ENGLEWOOD, COLORADO 80110
TELEPHONE (303) 762-0630



FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 7

LEGAL DESCRIPTION
SEE SHEET 2 - LEGAL DESCRIPTION

SURVEYOR'S CERTIFICATE

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____

PROPERTY OWNER
THE RANCH COUNTRY CLUB
11887 TEJON STREET
WESTMINSTER, CO 80234

TRI-SATE GENERATION AND TRANSMISSION ASSOCIATION, INC
1100 W 116TH AVE
WESTMINSTER, CO 80234

CITY OF WESTMINSTER
4800 W. 92ND AVE,
WESTMINSTER, CO 80031

CONSULTANTS
CRUNK ENGINEERING LLC
7112 CROSSROADS BOULEVARD, SUITE 201
BRENTWOOD, TN 37027
CONTACT: WILL CRUNK, PE
PHONE: 615.873.1795
EMAIL: WILL@CRUNKENG.COM

DEVELOPMENT TIMING & PHASING
IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S PDP OR LATEST PDP AMENDMENT IS MORE THAN FIVE (5) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE PDP OR AMENDED PDP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:

PHASE I - DEVELOPMENT OF A BEHAVIORAL HEALTH HOSPITAL. THIS WILL BE A SINGLE PHASE PROJECT AND IS ANTICIPATED TO BE COMPLETED BY MAY 2024.

SHEET INDEX
SHEET 1 OF 7 - COVER
SHEET 2 OF 7 - LEGAL DESCRIPTION
SHEET 3 OF 7 - NOTES
SHEET 4 OF 7 - EXISTING CONDITIONS
SHEET 5 OF 7 - EXISTING LOT LINES
SHEET 6 OF 7 - PROPOSED LOT LINES
SHEET 7 OF 7 - SITE LAYOUT

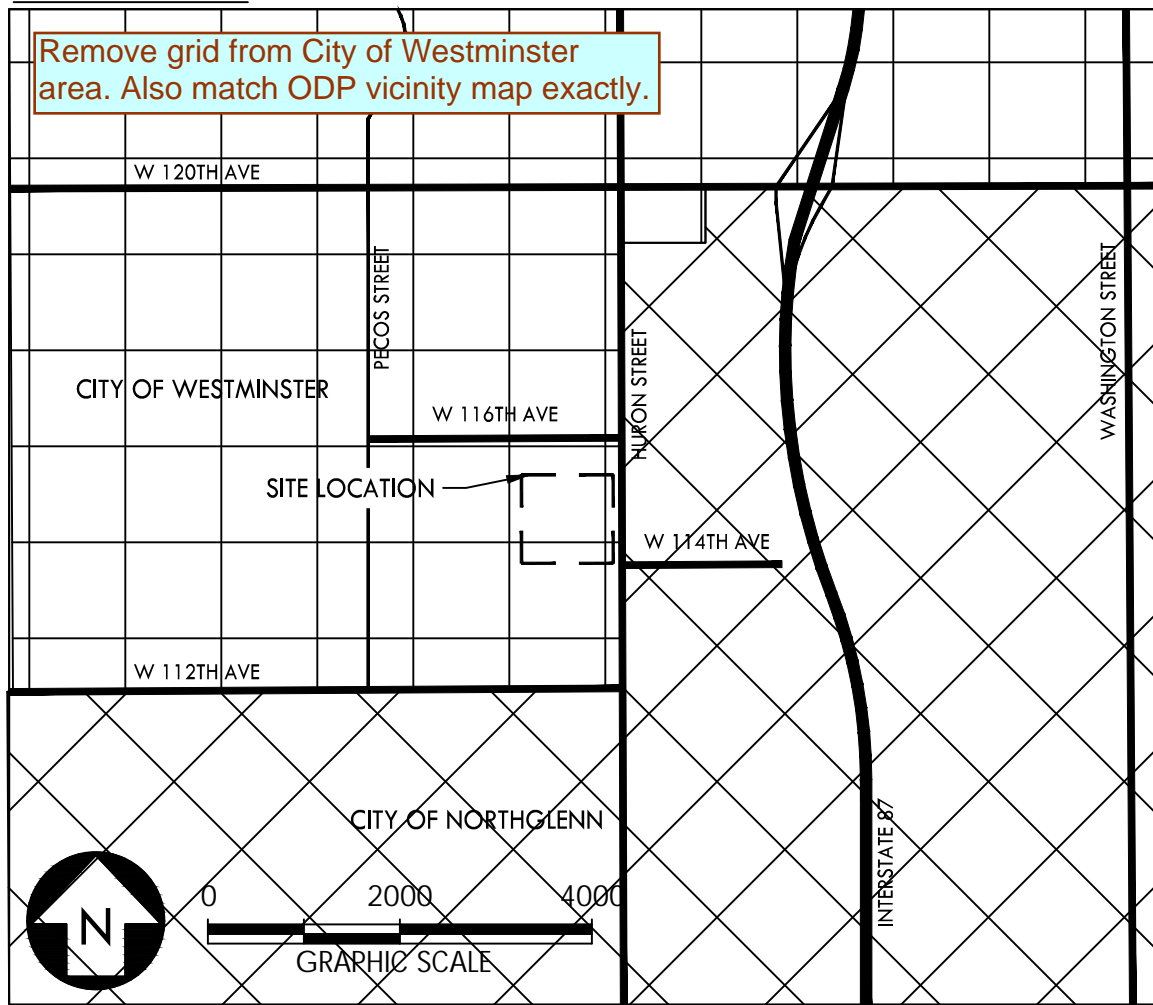
PERMITTED USES
BUSINESS OFFICES, MEDICAL FACILITIES AND OFFICES, HOSPITAL USES **ON LOTS 1A AND 2**

PROHIBITED USES
ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

PROJECT SCOPE
THE PROPOSED PROJECT IS A 2-STORY 99,497 SQ-FT NEW BEHAVIORAL HEALTH HOSPITAL THAT PROVIDES 144 BEDS. THE PROJECT ALSO SUBDIVIDES THE TRI-STATE PROPERTY INTO 4 LOTS. THE HOSPITAL WILL BE DEVELOPED ON LOT 2, THE TRI-STATE LOT WILL BE RECONFIGURED TOGETHER WITH THE DITCH INTO LOT 1A, OUTLOT A WILL BE USED AS OPEN SPACE BY THE CITY, AND LOT 3 WILL REMAIN VACANT AT THE TIME OF THIS DEVELOPMENT.

ZONING & LAND USE
CURRENT ZONING & LAND USE: P.U.D - VACANT
PROPOSED ZONING & LAND USE: P.U.D. - OFFICE/R&D LOW DENSITY
COMPREHENSIVE PLAN DESIGNATION: OFFICE/R&D LOW INTENSITY

VICINITY MAP



	ZONING	LAND USE	COMP. PLAN DESIGNATION
NORTH:	PUD	FLEX/LIGHT INDUSTRIAL	FLEX/LIGHT INDUSTRIAL
SOUTH:	PUD	OFFICE	OFFICE
EAST:	I-2	COMMERCIAL	CITY OF NORTHGLENN
WEST:	R-4	MULTI-FAMILY HIGH DENSITY	R-18 RESIDENTIAL

LAND USE TABLE

SUB AREA	LAND USE	ACRES	% OF PROPERTY	FAR OR DU/AC
LOT 1A	TRI-STATE GENERATION OFFICE SPACE	23.4200	41	0.24
LOT 2	ACADIA BEHAVIORAL HEALTH HOSPITAL	11.0100	19	0.21
LOT 3	VACANT	10.1900	18	0
OUTLOT A	CITY OPEN SPACE	12.5900	22	0

OWNER APPROVAL

I, _____ [NAME], AS _____ [TITLE] OF _____ [NAME OF LEGAL ENTITY], A _____ [STATE AND TYPE OF LEGAL ENTITY], PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____ TITLE _____

OWNER APPROVAL

I, _____ [NAME], AS _____ [TITLE] OF _____ [NAME OF LEGAL ENTITY], A _____ [STATE AND TYPE OF LEGAL ENTITY], PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____ TITLE _____

OWNER APPROVAL

I, _____ [NAME], AS _____ [TITLE] OF _____ [NAME OF LEGAL ENTITY], A _____ [STATE AND TYPE OF LEGAL ENTITY], PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____ TITLE _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

CHAIRMAN _____

ATTEST: CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT ____:____ O'CLOCK __.M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

REPEAT COMMENT: IF ACADIA WILL CLOSE ON THE PROPERTY PRIOR TO RECORDATION, A 4TH OWNER SIGNATURE BLOCK MUST BE ADDED. IN YOUR RESPONSES YOU INDICATED THAT THERE ARE NOW 4 OWNER SIGNATURE BLOCKS BUT THERE ARE ONLY 3. THE CITY MUST SIGN AS BOTH APPROVING BODY AND OWNER.

If Acadia will close on the property prior to recordation, they must be listed as a fourth owner.

DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED: 06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

CASE # PLN22-0037

FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN

TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 7



DATE: 06/15/2022

LEGAL DESCRIPTION

PROPOSED LOT 1A, BLOCK 1

KNOW ALL PERSONS BY THESE PRESENT THAT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC., A COLORADO COOPERATIVE CORPORATION, BEING THE OWNER OF THE PROPERTY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHEAST ONE-QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 4;
THENCE NORTH 89 48 59" WEST ALONG THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 50.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00 24 46" EAST A DISTANCE OF 1011.59 FEET ALONG HURON STREET;
THENCE SOUTH 88 47 46" WEST A DISTANCE OF 157.92 FEET;
THENCE NORTH 52 40 17" WEST A DISTANCE OF 179.19 FEET;
THENCE NORTH 60 54 33" WEST A DISTANCE OF 129.13 FEET;
THENCE NORTH 73 36 19" WEST A DISTANCE OF 200.35 FEET;
THENCE NORTH 69 58 31" WEST A DISTANCE OF 229.39 FEET;
THENCE NORTH 75 37 58" WEST A DISTANCE OF 271.20 FEET;
THENCE NORTH 57 19 42" WEST A DISTANCE OF 87.83 FEET;
THENCE NORTH 43 36 23" WEST A DISTANCE OF 133.08 FEET;
THENCE NORTH 30 37 32" WEST A DISTANCE OF 189.55 FEET;
THENCE SOUTH 89 16 29" WEST A DISTANCE OF 164.52 FEET TO A POINT ON THE SOUTHEASTERLY R.O.W. OF NAVAJO STREET;
THENCE ALONG SAID R.O.W. LINE ALONG A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 01 50 31", THE RADIUS OF SAID CURVE IS 190.00 FEET, THE CHORD OF SAID CURVE BEARS NORTH 00 11 45" EAST, A DISTANCE OF 6.11 FEET;
THENCE NORTH 00 43 31" WEST CONTINUING ALONG SAID NAVAHO STREET R.O.W., A DISTANCE OF 260.43 FEET;
THENCE NORTH 00 50 57" WEST CONTINUING ALONG SAID NAVAHO STREET R.O.W., A DISTANCE OF 50.12 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER;
THENCE NORTH 89 16 29" EAST ALONG SAID NORTH LINE, A DISTANCE OF 1508.49 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT THAT PORTION DESCRIBED IN RIGHT-OF-WAY DEDICATION RECORDED JANUARY 29, 1973 IN BOOK 1843 PAGE 36.

EXCEPT THAT PORTION DESCRIBED IN RIGHT-OF-WAY DEDICATION RECORDED FEBRUARY 1, 1973 IN BOOK 1843 PAGE 864.

CONTAINING 23.42 ACRES, MORE OR LESS.

PROPOSED LOT 2, BLOCK 1

KNOW ALL PERSONS BY THESE PRESENT THAT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC., A COLORADO COOPERATIVE CORPORATION, BEING THE OWNER OF THE PROPERTY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHEAST ONE-QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 4;
THENCE NORTH 89 48 59" WEST ALONG THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 50.00 FEET, THENCE SOUTH 00 24 46" EAST A DISTANCE OF 1011.59 FEET ALONG HURON STREET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00 24 46" EAST, ALONG HURON STREET R.O.W. LINE, A DISTANCE OF 335.11 FEET;
THENCE SOUTH 78 17 49" WEST A DISTANCE OF 205.20 FEET;
THENCE NORTH 63 33 25" WEST A DISTANCE OF 211.92 FEET;
THENCE SOUTH 63 54 45" WEST A DISTANCE OF 225.90 FEET;
THENCE SOUTH 86 10 12" WEST A DISTANCE OF 225.24 FEET;
THENCE NORTH 73 04 18" WEST A DISTANCE OF 332.39 FEET;
THENCE NORTH 26 00 27" EAST A DISTANCE OF 115.06 FEET;
THENCE NORTH 47 45 58" EAST A DISTANCE OF 241.57 FEET;
THENCE NORTH 89 35 14" EAST A DISTANCE OF 86.06 FEET;
THENCE NORTH 00 24 46" WEST A DISTANCE OF 336.78 FEET;
THENCE SOUTH 69 58 31" EAST A DISTANCE OF 229.39 FEET;
THENCE SOUTH 73 36 19" EAST A DISTANCE OF 200.35 FEET;
THENCE SOUTH 60 54 33" EAST A DISTANCE OF 129.13 FEET;
THENCE SOUTH 52 40 17" EAST A DISTANCE OF 179.19 FEET;
THENCE NORTH 88 47 46" EAST A DISTANCE OF 157.92 FEET TO THE TRUE POINT OF BEGINNING

CONTAINING 11.01 ACRES, MORE OR LESS.

PROPOSED LOT 3, BLOCK 1

KNOW ALL PERSONS BY THESE PRESENT THAT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC., A COLORADO COOPERATIVE CORPORATION, BEING THE OWNER OF THE PROPERTY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHEAST ONE-QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 4;
THENCE NORTH 89 48 59" WEST ALONG THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 1508.49 FEET, THENCE SOUTH 00 50 57" EAST CONTINUING ALONG SAID NAVAJO STREET R.O.W., A DISTANCE OF 50.12 FEET; THENCE SOUTH 00 43 31" EAST CONTINUING ALONG SAID NAVAJO STREET R.O.W., A DISTANCE OF 260.43 FEET; THENCE ALONG SAID R.O.W. LINE ALONG A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 01 50 31", THE RADIUS OF SAID CURVE IS 190.00 FEET, THE CHORD OF SAID CURVE BEARS SOUTH 00 11 45" WEST, A DISTANCE OF 6.11 FEET TO THE TRUE POINT OF BEGINNING;

THENCE NORTH 89 16 29" EAST A DISTANCE OF 164.52 FEET;
THENCE SOUTH 30 37 32" EAST A DISTANCE OF 189.55 FEET;
THENCE SOUTH 43 36 23" EAST A DISTANCE OF 133.08 FEET;
THENCE SOUTH 57 19 42" EAST A DISTANCE OF 87.83 FEET;
THENCE SOUTH 75 37 58" EAST A DISTANCE OF 271.20 FEET;
THENCE SOUTH 00 24 46" EAST A DISTANCE OF 336.78 FEET;
THENCE SOUTH 89 35 14" WEST A DISTANCE OF 86.06 FEET;
THENCE SOUTH 47 45 58" WEST A DISTANCE OF 241.57 FEET;
THENCE SOUTH 26 00 27" WEST A DISTANCE OF 115.06 FEET;
THENCE NORTH 73 04 18" WEST A DISTANCE OF 539.76 FEET TO THE BEGINNING OF A CURVE;

THENCE ALONG SAID CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 59 59 34", THE RADIUS OF SAID CURVE IS 235.00 FEET, THE CHORD OF SAID CURVE BEARS NORTH 78 40 38" EAST, A DISTANCE OF 234.97 FEET;
THENCE SOUTH 48 40 53" WEST A DISTANCE OF 162.70 FEET;
THENCE SOUTH 41 18 57" EAST A DISTANCE OF 580.33 FEET TO A POINT ON THE SOUTHEASTERLY R.O.W. OF NAVAJO STREET;
THENCE SOUTH 49 10 53" WEST ALONG NAVAJO STREET R.O.W., A DISTANCE OF 136.32 FEET TO THE BEGINNING OF A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 49 54 24"; THE RADIUS OF SAID CURVE IS 190.00 FEET, THE CHORD OF SAID CURVE BEARS NORTH 25 08 13" EAST, A DISTANCE OF 160.31 FEET TO THE POINT OF BEGINNING.

CONTAINING 10.19 ACRES, MORE OR LESS.

PROPOSED OUTLOT A, BLOCK 1

KNOW ALL PERSONS BY THESE PRESENT THAT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC., A COLORADO COOPERATIVE CORPORATION, BEING THE OWNER OF THE PROPERTY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHEAST ONE-QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 4;
THENCE NORTH 89 48 59" WEST ALONG THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 50.00 FEET, THENCE SOUTH 00 24 46" EAST A DISTANCE OF 1346.71 FEET ALONG HURON STREET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00 24 46" EAST A DISTANCE OF 228.00 FEET ALONG HURON STREET R.O.W. TO A POINT ON THE NORTH LINE OF A PARCEL OF LAND DESCRIBED IN BOOK 2251 PAGE 591, ADAMS COUNTY RECORDS;
THENCE SOUTH 89 24 45" WEST A DISTANCE OF 1041.00 FEET TO THE NORTHEAST CORNER OF NORTH GLENN MANOR - AMENDED FILEING, A SUBDIVISION OF A PART OF SAID SOUTHEAST ONE-QUARTER;
THENCE NORTH 00 40 07" WEST A DISTANCE OF 305 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 16 02 46", THE RADIUS OF SAID CURVE IS 170.00 FEET, THE CHORD OF SAID CURVE BEARS NORTH 08 15 48" EAST, 47.45 FEET;
THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 47.61 FEET;

THENCE NORTH 74 37 20" WEST A DISTANCE OF 60.28 FEET;
THENCE NORTH 82 05 25" WEST A DISTANCE OF 244.69 FEET TO THE SOUTHEAST CORNER OF LOT 1, BLOCK 2, RANCHO PECOS I SUBDIVISION;
THENCE NORTH 00 54 32" WEST ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 186.32 FEET TO A POINT ON A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 07 56 51", THE RADIUS OF SAID CURVE IS 315.00 FEET, THE CHORD OF SAID CURVE BEARS SOUTH 75 26 27" EAST, 43.57 FEET;
THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 43.69 FEET;
THENCE SOUTH 71 21 07" EAST A DISTANCE OF 429.70 FEET;
THENCE SOUTH 73 04 18" EAST A DISTANCE OF 872.15 FEET;
THENCE NORTH 86 10 12" EAST A DISTANCE OF 225.24 FEET;
THENCE NORTH 63 54 45" EAST A DISTANCE OF 225.90 FEET;
THENCE SOUTH 63 33 25" EAST A DISTANCE OF 211.92 FEET;
THENCE NORTH 78 17 49" EAST A DISTANCE OF 205.20 FEET TO THE POINT OF BEGINNING;

CONTAINING 12.59 ACRES, MORE OR LESS.

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

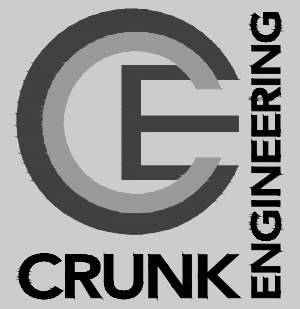
2 OF 7
LEGAL
DESCRIPTION

CASE # PLN22-0037

FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN

TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 7



PROJECT NOTES

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. FOR 11.01 (LOT 2) + 4.27 (ADDITION TO LOT 1A) ACRES A FEE OF \$30,560 IS DUE TO THE CITY.

RECOVERY COSTS:

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PDP USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

PUD EXCEPTIONS

1. RETAIL COMMERCIAL DESIGN GUIDELINES SECTION IV D - ENCROACHMENT INTO 20' PARKING AND LANDSCAPE REGULATION SECTION V.C., 30-FOOT CANAL SETBACK WITH THE ACCESS DRIVE SET BACK ONLY 10 FEET FROM THE NORTH PROPERTY LINE AND THE GRADING TO WITHIN 0 FEET OF THE PROPERTY LINE. MITIGATION PROPOSED BY ADDING ADDITION LANDSCAPE SCREENING ALONG THE AREAS OF PROPOSED ENCROACHMENT.

ALTERNATIVE AND JUSTIFICATION: THIS EXCEPTION IS PARTIALLY JUSTIFIED BY THE EXISTING GRADE DIFFERENCE WHICH NATURALLY MAKES THE SUBJECT SITE LESS VISIBLE, AS WELL AS THE FACT THAT THE ADJACENT USE IS THE SAME, AND THERE IS A DITCH, EXISTING TREES, AND AMPLE LANDSCAPE AREA ON THE ADJACENT PROPERTY. IN ADDITION, LANDSCAPE BUFFERING IS BEING ENHANCED ON THE SUBJECT PROPERTY ALONG THIS SETBACK. (SEE COMMENTS ON LANDSCAPE PLAN.)

2. 30-FOOT WATERCOURSE SETBACK WITH IMPROVEMENTS SET BACK 20 FEET NEAR THE SOUTH PROPERTY LINE. ALTERNATIVE AND JUSTIFICATION: THIS EXCEPTION IS PARTIALLY JUSTIFIED BY THE 8-FOOT WALL PROVIDED IN THIS AREA, AS WELL AS THE PROVISION FOR PROTECTION AND CONTROL MEASURES AGAINST EROSION. IN ADDITION, LANDSCAPE BUFFERING IS BEING ENHANCED IN THIS AREA. (SEE COMMENTS ON LANDSCAPE PLAN.)

Add: LANDSCAPE REGULATION SECTION V.C.,

Start new line here.

As a condition of approval, the following note as well as the location of the wall will be added to sheet 3 of this PDP amendment prior to recording and issuance of any building permits:

RESIDENTIAL DEVELOPMENT ON LOT 3

At the time of any residential development on Lot 3 on this PDP Amendment, the residential developer shall construct a masonry wall of no less than EIGHT FEET in height, and it must be shown on the subsequent ODP amendment in the location on the property line as shown on Sheet 9 on the site plan of the EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN.

STANDARD STATEMENTS

- A. APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN CONSTITUTES A CONCEPT APPROVAL OF THE PLAN SUBJECT TO THE ABILITY OF THE CITY OF WESTMINSTER OR THE LAND OWNER TO PROVIDE NECESSARY SERVICES. DUE TO SERIOUS SHORT-RANGE AND LONG-RANGE LIMITATIONS ON THE RAW WATER SUPPLY, WATER TREATMENT CAPACITY AND SEWAGE TREATMENT CAPACITY OF THE CITY, DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN MAY NOT BE POSSIBLE. APPROVAL OF THIS PLAN IMPLIES NO COMMITMENT OF THE CITY OF WESTMINSTER TO PROVIDE SERVICES. THE CITY OF WESTMINSTER ADVISES AGAINST DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN WITHOUT A THOROUGH INVESTIGATION BY THE DEVELOPER OF THE AVAILABILITY OF WATER AND SEWER SERVICE AT THE TIME OF SUCH DEVELOPMENT.
- B. THE LAND USES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE LOCATION AND NUMBER OF SUCH ESTABLISHMENTS AND THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- C. THE DENSITIES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE CONSIDERED AS A MAXIMUM AND SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- D. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. IF YOU HAVE ANY QUESTIONS REGARDING THE CITY'S USE TAX REQUIREMENTS, PLEASE CONTACT THE CITY TAX AUDITOR.
- E. UTILITY EASEMENTS: THE DESIGN OF THE PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- F. LOT 3 SHALL NOT CONNECT TO HURON STREET AND SHALL OBTAIN ACCESS FROM NAVAJO STREET.

DATE: 06/15/2022

DATE:

NEW BEHAVIORAL HEALTH HOSPITAL

ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:

06/15/2022

REV 1 09/21/2022

REV 2 11/08/2022

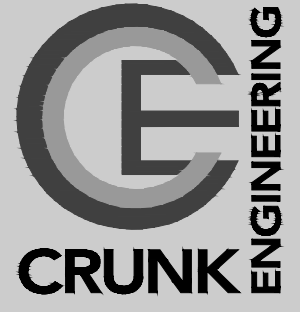
REV 3 12/12/2022

REV 4 01/18/2022

3 OF 7
NOTES

FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4 OF 7

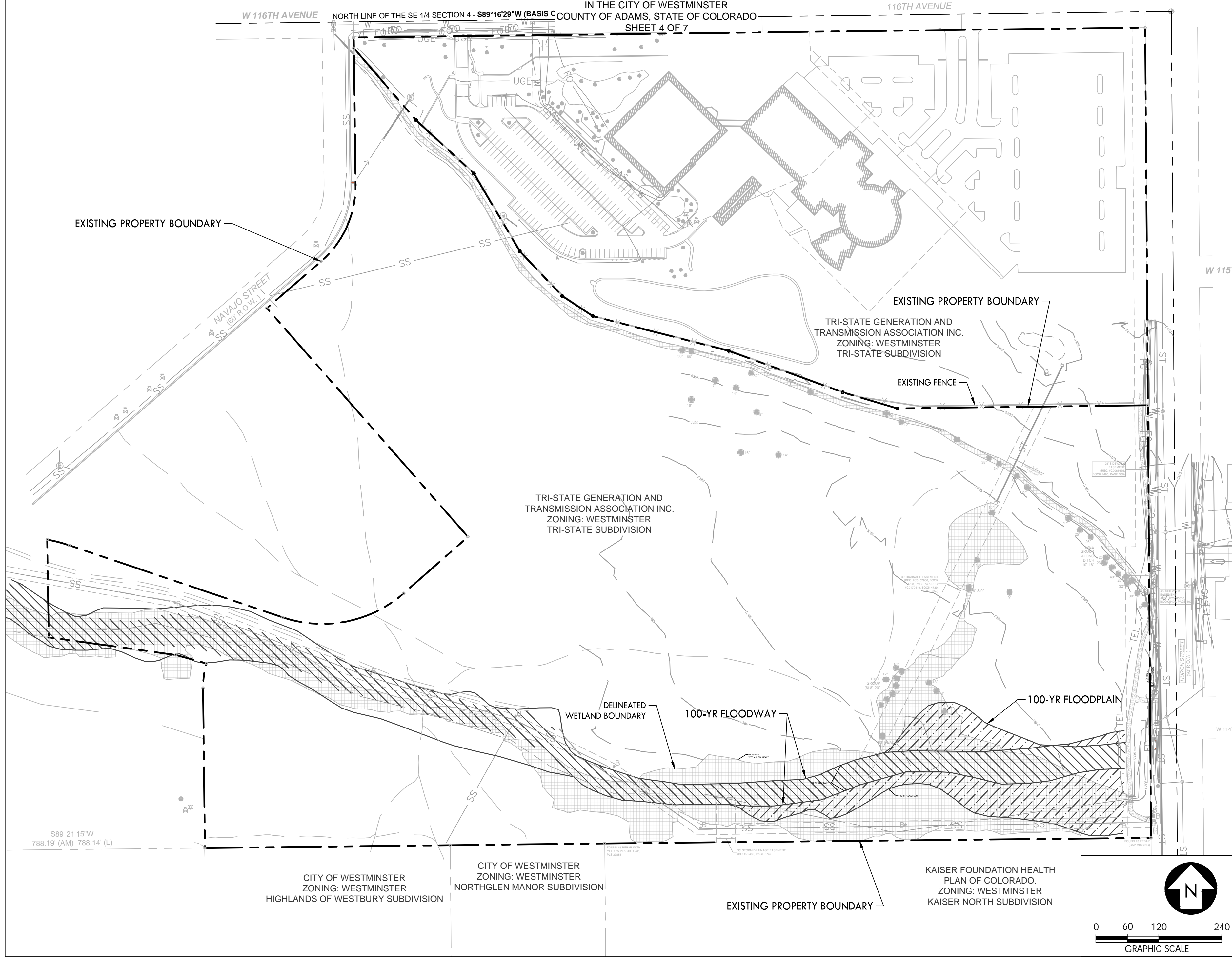


DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

4 OF 7
EXISTING
CONDITIONS



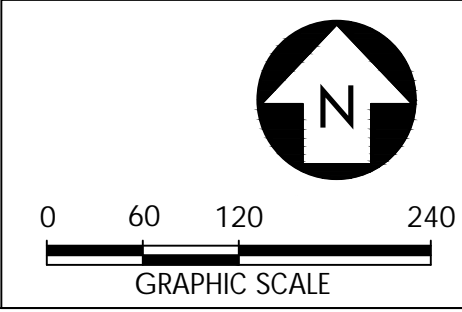
S89 21 15"W
788.19' (AM) 788.14' (L)

CITY OF WESTMINSTER
ZONING: WESTMINSTER
HIGHLANDS OF WESTBURY SUBDIVISION

CITY OF WESTMINSTER
ZONING: WESTMINSTER
NORTHGLEN MANOR SUBDIVISION

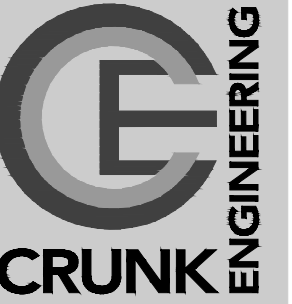
EXISTING PROPERTY BOUNDARY

KAISER FOUNDATION HEALTH
PLAN OF COLORADO.
ZONING: WESTMINSTER
KAISER NORTH SUBDIVISION



FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
SHEET 5 OF 7



DATE: 06/15/2022

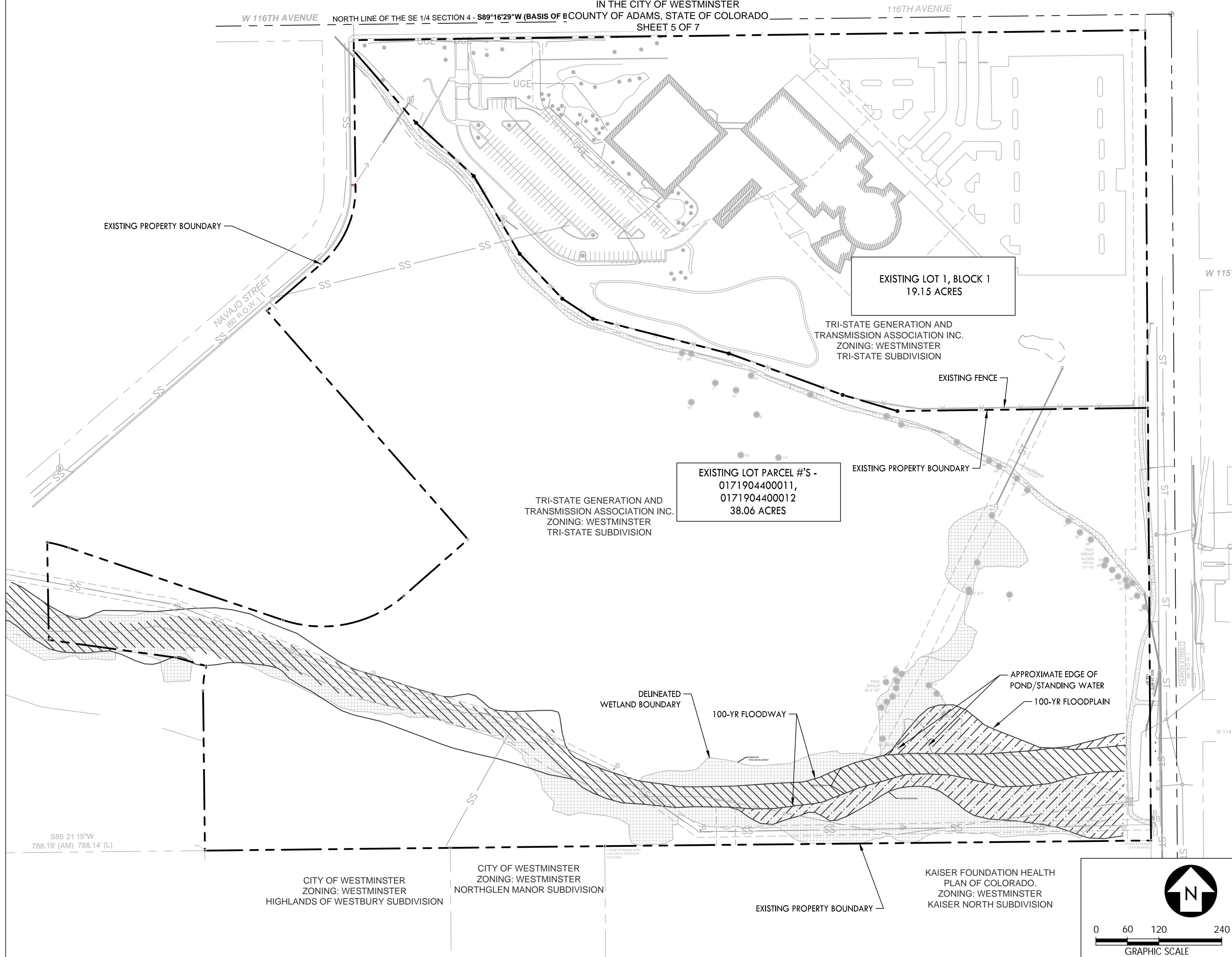
NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

5 OF 7
EXISTING LOT
LINES





DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

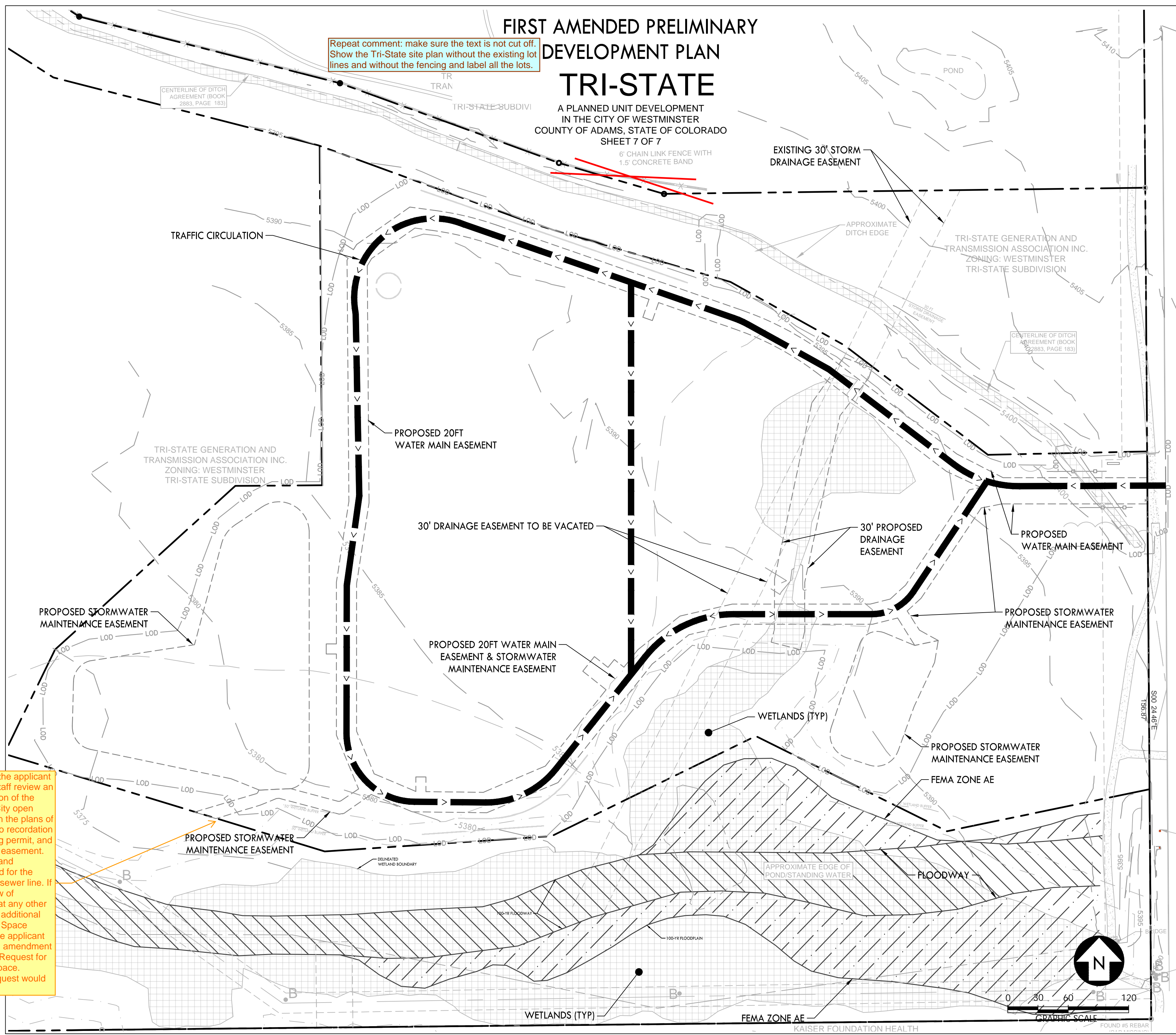
PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

7 OF 7
SITE LAYOUT

FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 7 OF 7

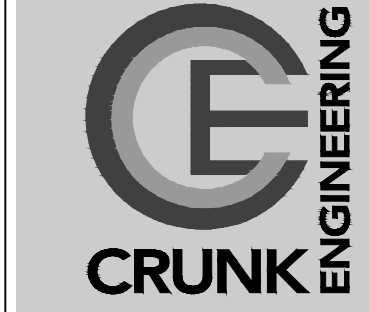
Repeat comment: make sure the text is not cut off.
Show the Tri-State site plan without the existing lot
lines and without the fencing and label all the lots.



As a condition of approval, the applicant shall show and submit for staff review an easement for the construction of the sanitary sewer line on the City open space property (Outlot A) on the plans of the PDP amendment prior to recordation and issuance of any building permit, and work shall be limited to that easement. The applicant shall restore and revegetate all area disturbed for the construction of the sanitary sewer line. If for any reason during review of construction documents or at any other time it becomes needed for additional work to occur on City Open Space outside of this easement, the applicant shall apply for another ODP amendment as well as submit a Formal Request for Private Use of City Open Space. Approval of this Formal Request would not be guaranteed.

KAISER FOUNDATION HEALTH

FOUND #5 REBAR



DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022
REV 1 09/21/2022
REV 2 11/08/2022
REV 3 12/12/2022
REV 4 01/18/2022

1 OF 57
COVER

LEGAL DESCRIPTION
SEE SHEET 2 - LEGAL DESCRIPTION

SURVEYOR'S CERTIFICATE
I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____

PROPERTY OWNER
THE RANCH COUNTRY CLUB
11887 TEJON STREET
WESTMINSTER, CO 80234

TRI-SATE GENERATION AND TRANSMISSION ASSOCIATION, INC
1100 W 116TH AVE
WESTMINSTER, CO 80234

CITY OF WESTMINSTER
4800 W. 92ND AVE,
WESTMINSTER, CO 80031

CONSULTANTS
CRUNK ENGINEERING LLC
7112 CROSSROADS BOULEVARD, SUITE 201
BRENTWOOD, TN 37027
CONTACT: WILL CRUNK, PE
PHONE: 615.873.1795
EMAIL: WILL@CRUNKENG.COM

DEVELOPMENT TIMING & PHASING
IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:

PHASE I - DEVELOPMENT OF A BEHAVIORAL HEALTH HOSPITAL. THIS WILL BE A SINGLE PHASE AND IS ANTICIPATED TO BE COMPLETED BY MAY 2024.

SHEET INDEX

- SHEET 1 - COVER
- SHEET 2 - LEGAL DESCRIPTION
- SHEET 3 - NOTES
- SHEET 4 - EXISTING CONDITIONS
- SHEET 5 - EXISTING LOT LINES
- SHEET 6 - PROPOSED LOT LINES
- SHEET 7-12 - SITE PLAN
- SHEET 13-18 - GRADING PLAN
- SHEET 19-23 - UTILITY PLAN
- SHEET 24 - LANDSCAPE DATA
- SHEET 25-26 - PLANTING SCHEDULE
- SHEET 27 - OVERALL LANDSCAPE
- SHEET 28-32 - ENLARGED LANDSCAPE PLAN
- SHEET 33 - MITIGATION DATA
- SHEET 34 - EXISTING TREE PLAN
- SHEET 35 - OVERALL TREE IMPACT
- SHEET 36 - ENLARGED IMPACTS
- SHEET 37 - HYDROZONE PLAN
- SHEET 38 - LANDSCAPE DETAILS
- SHEET 39 - COMPOSITE FLOOR PLAN
- SHEET 40-43 - EXTERIOR ELEVATIONS
- SHEET 44 - TRASH ENCLOSURE DETAILS
- SHEET 45 - MONUMENT SIGN DETAILS
- SHEET 46 - STAFF AREA SHELTER DETAILS
- SHEET 47 - PHOTOMETRIC PLANS
- SHEET 48-57 - DETAILS

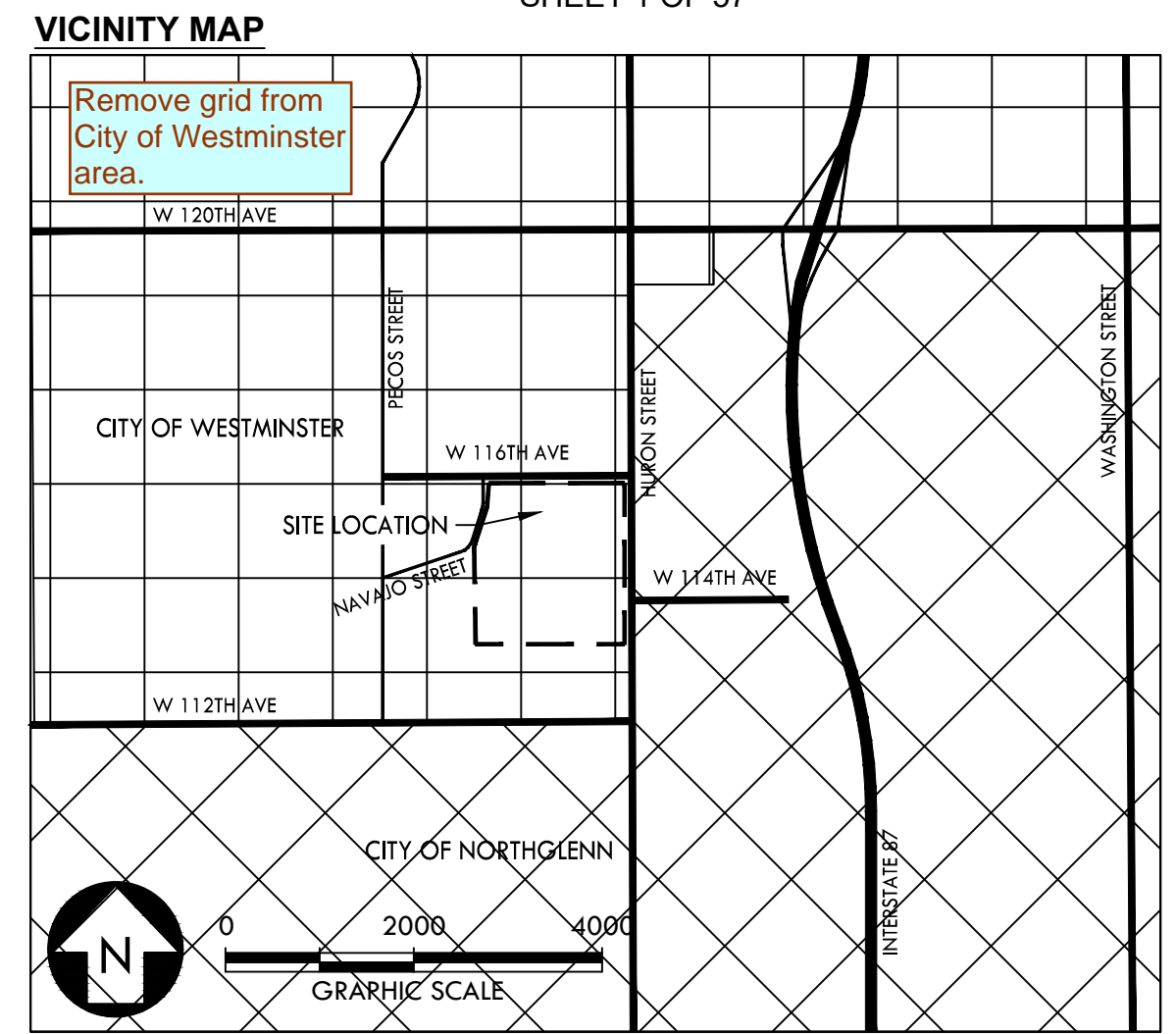
PERMITTED USES:
BUSINESS OFFICES, BEHAVIORAL HEALTH HOSPITAL, AND MEDICAL CLINIC USES. THE BEHAVIORAL HEALTH HOSPITAL WOULD SERVE PATIENTS WITH GENERAL MOOD DISORDERS, THOUGHT DISORDERS, GERIATRIC PSYCHIATRY, DUAL DIAGNOSIS/SUD, CHILD AND ADOLESCENT PSYCHIATRY, AND OUTPATIENT SERVICES. BASED ON MEDICAL NEED THE AVERAGE LENGTH OF STAY IS 7-10 DAYS WITH A MAXIMUM OF 21 DAYS.

PROHIBITED USES ON LOTS 1A AND 2
ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

PROJECT SCOPE
THE PROPOSED PROJECT IS A 2-STORY 99,497 SQ-FT NEW BEHAVIORAL HEALTH HOSPITAL THAT PROVIDES 144 BEDS. THIS EXPANDS THE BOUNDARIES OF THIS ODP FROM 19.15 AC TO 57.21 AC THE PROJECT ALSO SUBDIVIDES THE TRI-STATE PROPERTY INTO 4 LOTS. THE HOSPITAL WILL BE DEVELOPED ON LOT 2, THE TRI-STATE LOT WILL BE RECONFIGURED TOGETHER WITH THE DITCH INTO LOT 1A, OUTLOT A WILL BE USED AS OPEN SPACE BY THE CITY, AND LOT 3 WILL REMAIN VACANT AT THE TIME OF THIS DEVELOPMENT.

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 57



ZONING & LAND USE

	ZONING	LAND USE	COMP. PLAN DESIGNATION
NORTH:	PUD	FLEX/LIGHT INDUSTRIAL	FLEX/LIGHT INDUSTRIAL
SOUTH:	PUD	OFFICE	OFFICE
EAST:	I-2	COMMERCIAL	CITY OF NORTHGLENN
WEST:	R-4	MULTI-FAMILY HIGH DENSITY	R-18 RESIDENTIAL

LOTS AND COVERAGE

	TOTAL	LOT 1A	LOT 2	LOT 3	OUTLOT A
TOTAL SITE AREA:	57.21	23.42	11.01	10.19	12.59
BUILDING COVERAGE (SF & %):		71,673, 7%	58,274, 12.15%	-	-
PARKING AND DRIVES (SF & %):		248,693, 24%	153,265, 31.94%	-	-
LANDSCAPE AREA (SF & %):		699,809, 69%	268,056, 55.91%	-	-

PROJECT/SITE DATA

	TOTAL	LOT 1A	LOT 2	LOT 3	OUTLOT A
ODP BOUNDARY AREA (SF/ACRES):	2,492,067/ 57.21	1,020,175/ 23.42	479,596/ 11.01	443,876/ 10.19	548,420/ 12.59
GFA (SF):	344,734	245,237	99,497	0	0
FFA (SF):	129,947	71,673	58,274	0	0
FAR PER ACRE (#):	0.1400	0.2400	0.2100	0	0
MAXIMUM BUILDING HEIGHT(S) (FT):	120	120	50		

MINIMUM SETBACKS

	BUILDING REQUIRED	BUILDING PROVIDED	PARKING REQUIRED	PARKING PROVIDED	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED	IMPROVEMENTS REQUIRED	IMPROVEMENTS PROVIDED
FROM RIGHT-OF-WAY (FT):	50	569	25	150	25	25	NA	NA
FROM INTERNAL PROPERTY LINES (FT):	20	47	10	10	20	10	NA	NA
FROM TOP OF BANK OR R.O.W. OF WATERCOURSES, WHICHEVER IS FURTHEST FROM THE WATERCOURSE(FT):	40	47	30	10	20	10	30	0

OWNER APPROVAL

I, _____ [NAME], AS _____ [TITLE] OF _____ [NAME OF LEGAL ENTITY], A _____ [STATE AND TYPE OF LEGAL ENTITY], PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____ TITLE _____

OWNER APPROVAL

I, _____ [NAME], AS _____ [TITLE] OF _____ [NAME OF LEGAL ENTITY], A _____ [STATE AND TYPE OF LEGAL ENTITY], PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____ TITLE _____

OWNER APPROVAL

I, _____ [NAME], AS _____ [TITLE] OF _____ [NAME OF LEGAL ENTITY], A _____ [STATE AND TYPE OF LEGAL ENTITY], PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____ TITLE _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

CHAIRMAN _____

ATTEST: CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT ____:____ O'CLOCK __.M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

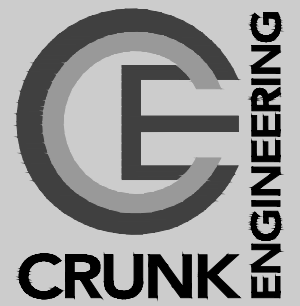
CASE # PLN22-0041

If Acadia will close on the property prior to recordation, they must be listed as a fourth owner.

This text appears to now be approximately .09" while the rest of the text on this sheet appears to be .125". Please make all text .1" for legibility and to meet recordation requirements.

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 57



DATE: 06/15/2022

DATE:

NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

2 OF 57
LEGAL
DESCRIPTION

LEGAL DESCRIPTION

PROPOSED LOT 1A, BLOCK 1

KNOW ALL PERSONS BY THESE PRESENT THAT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC., A COLORADO COOPERATIVE CORPORATION, BEING THE OWNER OF THE PROPERTY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHEAST ONE-QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 4;
THENCE NORTH 89°48'59" WEST ALONG THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 50.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00°24'46" EAST A DISTANCE OF 1011.59 FEET ALONG HURON STREET;
THENCE SOUTH 88°47'46" WEST A DISTANCE OF 157.92 FEET;
THENCE NORTH 52°40'17" WEST A DISTANCE OF 179.19 FEET;
THENCE NORTH 60°54'33" WEST A DISTANCE OF 129.13 FEET;
THENCE NORTH 73°36'19" WEST A DISTANCE OF 200.35 FEET;
THENCE NORTH 69°58'31" WEST A DISTANCE OF 229.39 FEET;
THENCE NORTH 75°37'58" WEST A DISTANCE OF 271.20 FEET;
THENCE NORTH 57°19'42" WEST A DISTANCE OF 87.83 FEET;
THENCE NORTH 43°36'23" WEST A DISTANCE OF 133.08 FEET;
THENCE NORTH 30°37'32" WEST A DISTANCE OF 189.55 FEET;
THENCE SOUTH 89°16'29" WEST A DISTANCE OF 164.52 FEET TO A POINT ON THE SOUTHEASTERLY R.O.W. OF NAVAJO STREET;
THENCE ALONG SAID R.O.W. LINE ALONG A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 01°50'31", THE RADIUS OF SAID CURVE IS 190.00 FEET, THE CHORD OF SAID CURVE BEARS NORTH 00°11'45" EAST, A DISTANCE OF 6.11 FEET;
THENCE NORTH 00°43'31" WEST CONTINUING ALONG SAID NAVAHO STREET R.O.W., A DISTANCE OF 260.43 FEET;
THENCE NORTH 00°50'57" WEST CONTINUING ALONG SAID NAVAHO STREET R.O.W., A DISTANCE OF 50.12 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER;
THENCE NORTH 89°16'29" EAST ALONG SAID NORTH LINE, A DISTANCE OF 1508.49 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT THAT PORTION DESCRIBED IN RIGHT-OF-WAY DEDICATION RECORDED JANUARY 29, 1973 IN BOOK 1843 PAGE 36.

EXCEPT THAT PORTION DESCRIBED IN RIGHT-OF-WAY DEDICATION RECORDED FEBRUARY 1, 1973 IN BOOK 1843 PAGE 864.

CONTAINING 23.42 ACRES, MORE OR LESS.

PROPOSED LOT 2, BLOCK 1

KNOW ALL PERSONS BY THESE PRESENT THAT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC., A COLORADO COOPERATIVE CORPORATION, BEING THE OWNER OF THE PROPERTY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHEAST ONE-QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 4;
THENCE NORTH 89°48'59" WEST ALONG THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 50.00 FEET, THENCE SOUTH 00°24'46" EAST A DISTANCE OF 1011.59 FEET ALONG HURON STREET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00°24'46" EAST, ALONG HURON STREET R.O.W. LINE, A DISTANCE OF 335.11 FEET;
THENCE SOUTH 78°17'49" WEST A DISTANCE OF 205.20 FEET;
THENCE NORTH 63°33'25" WEST A DISTANCE OF 211.92 FEET;
THENCE SOUTH 63°54'45" WEST A DISTANCE OF 225.90 FEET;
THENCE SOUTH 86°10'12" WEST A DISTANCE OF 225.24 FEET;
THENCE NORTH 73°04'18" WEST A DISTANCE OF 332.39 FEET;
THENCE NORTH 26°00'27" EAST A DISTANCE OF 115.06 FEET;
THENCE NORTH 47°45'58" EAST A DISTANCE OF 241.57 FEET;
THENCE NORTH 89°35'14" EAST A DISTANCE OF 86.06 FEET;
THENCE NORTH 00°24'46" WEST A DISTANCE OF 336.78 FEET;
THENCE SOUTH 69°58'31" EAST A DISTANCE OF 229.39 FEET;
THENCE SOUTH 73°36'19" EAST A DISTANCE OF 200.35 FEET;
THENCE SOUTH 60°54'33" EAST A DISTANCE OF 129.13 FEET;
THENCE SOUTH 52°40'17" EAST A DISTANCE OF 179.19 FEET;
THENCE NORTH 88°47'46" EAST A DISTANCE OF 157.92 FEET TO THE TRUE POINT OF BEGINNING

CONTAINING 11.01 ACRES, MORE OR LESS.

PROPOSED LOT 3, BLOCK 1

KNOW ALL PERSONS BY THESE PRESENT THAT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC., A COLORADO COOPERATIVE CORPORATION, BEING THE OWNER OF THE PROPERTY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHEAST ONE-QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 4;
THENCE NORTH 89°48'59" WEST ALONG THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 1508.49 FEET, THENCE SOUTH 00°50'57" EAST CONTINUING ALONG SAID NAVAJO STREET R.O.W., A DISTANCE OF 50.12 FEET; THENCE SOUTH 00°43'31" EAST CONTINUING ALONG SAID NAVAJO STREET R.O.W., A DISTANCE OF 260.43 FEET; THENCE ALONG SAID R.O.W. LINE ALONG A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 01°50'31", THE RADIUS OF SAID CURVE IS 190.00 FEET, THE CHORD OF SAID CURVE BEARS SOUTH 00°11'45" WEST, A DISTANCE OF 6.11 FEET TO THE TRUE POINT OF BEGINNING;

THENCE NORTH 89°16'29" EAST A DISTANCE OF 164.52 FEET;
THENCE SOUTH 30°37'32" EAST A DISTANCE OF 189.55 FEET;
THENCE SOUTH 43°36'23" EAST A DISTANCE OF 133.08 FEET;
THENCE SOUTH 57°19'42" EAST A DISTANCE OF 87.83 FEET;
THENCE SOUTH 75°37'58" EAST A DISTANCE OF 271.20 FEET;
THENCE SOUTH 00°24'46" EAST A DISTANCE OF 336.78 FEET;
THENCE SOUTH 89°35'14" WEST A DISTANCE OF 86.06 FEET;
THENCE SOUTH 47°45'58" WEST A DISTANCE OF 241.57 FEET;
THENCE SOUTH 26°00'27" WEST A DISTANCE OF 115.06 FEET;
THENCE NORTH 73°04'18" WEST A DISTANCE OF 539.76 FEET TO THE BEGINNING OF A CURVE;

THENCE ALONG SAID CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 59°59'34", THE RADIUS OF SAID CURVE IS 235.00 FEET, THE CHORD OF SAID CURVE BEARS NORTH 78°40'38" EAST, A DISTANCE OF 234.97 FEET;
THENCE SOUTH 48°40'53" WEST A DISTANCE OF 162.70 FEET;
THENCE SOUTH 41°18'57" EAST A DISTANCE OF 580.33 FEET TO A POINT ON THE SOUTHEASTERLY R.O.W. OF NAVAJO STREET;
THENCE SOUTH 49°10'53" WEST ALONG NAVAJO STREET R.O.W., A DISTANCE OF 136.32 FEET TO THE BEGINNING OF A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 49°54'24"; THE RADIUS OF SAID CURVE IS 190.00 FEET, THE CHORD OF SAID CURVE BEARS NORTH 25°08'13" EAST, A DISTANCE OF 160.31 FEET TO THE POINT OF BEGINNING.

CONTAINING 10.19 ACRES, MORE OR LESS.

PROPOSED OUTLOT A, BLOCK 1

KNOW ALL PERSONS BY THESE PRESENT THAT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION, INC., A COLORADO COOPERATIVE CORPORATION, BEING THE OWNER OF THE PROPERTY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHEAST ONE-QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, ADAMS COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 4;
THENCE NORTH 89°48'59" WEST ALONG THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 50.00 FEET, THENCE SOUTH 00°24'46" EAST A DISTANCE OF 1346.71 FEET ALONG HURON STREET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00°24'46" EAST A DISTANCE OF 228.00 FEET ALONG HURON STREET R.O.W. TO A POINT ON THE NORTH LINE OF A PARCEL OF LAND DESCRIBED IN BOOK 2251 PAGE 591, ADAMS COUNTY RECORDS;
THENCE SOUTH 89°24'45" WEST A DISTANCE OF 1041.00 FEET TO THE NORTHEAST CORNER OF NORTH GLENN MANOR - AMENDED FILEING, A SUBDIVISION OF A PART OF SAID SOUTHEAST ONE-QUARTER;
THENCE NORTH 00°40'07" WEST A DISTANCE OF 305 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 16°02'46", THE RADIUS OF SAID CURVE IS 170.00 FEET, THE CHORD OF SAID CURVE BEARS NORTH 08°15'48" EAST, 47.45 FEET;
THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 47.61 FEET;

THENCE NORTH 74°37'20" WEST A DISTANCE OF 60.28 FEET;
THENCE NORTH 82°05'25" WEST A DISTANCE OF 244.69 FEET TO THE SOUTHEAST CORNER OF LOT 1, BLOCK 2, RANCHO PECOS I SUBDIVISION;
THENCE NORTH 00°54'32" WEST ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 186.32 FEET TO A POINT ON A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 07°56'51", THE RADIUS OF SAID CURVE IS 315.00 FEET, THE CHORD OF SAID CURVE BEARS SOUTH 75°26'27" EAST, 43.57 FEET;
THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 43.69 FEET;
THENCE SOUTH 71°21'07" EAST A DISTANCE OF 429.70 FEET;
THENCE SOUTH 73°04'18" EAST A DISTANCE OF 872.15 FEET;
THENCE NORTH 86° 10'12" EAST A DISTANCE OF 225.24 FEET;
THENCE NORTH 63°54'45" EAST A DISTANCE OF 225.90 FEET;
THENCE SOUTH 63°33'25" EAST A DISTANCE OF 211.92 FEET;
THENCE NORTH 78°17'49" EAST A DISTANCE OF 205.20 FEET TO THE POINT OF BEGINNING;

CONTAINING 12.59 ACRES, MORE OR LESS.

CASE # PLN22-0041

PROJECT NOTES

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR 11.01 (LOT 2) + 4.27 (ADDITION TO LOT 1A) ACRES A FEE OF \$30,560 IS DUE TO THE CITY.

RECOVERY COSTS:

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL ALSO BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

THIS STATEMENT IS TO ENSURE THAT THE RETAIL COMMERCIAL DESIGN GUIDELINES SECTION IV A) 1, HAS BEEN THOROUGHLY REVIEWED TO ENSURE THE PROPOSED GRADING REFLECTED ON THESE PLANS MEETS ALL RETAINING WALL AND GRADING STANDARDS. FURTHERMORE THESE STANDARDS WILL CONTINUE TO BE MET AS THE PROPOSED DEVELOPMENT MOVES FORWARD TO CONSTRUCTION PERMITTING.

TREE MITIGATION:

THE DEVELOPER WILL PAY CASH-IN-LIEU OF TREE MITIGATION BEFORE THE APPROVAL OF THE LAND DISTURBANCE PERMIT. A TOTAL OF 802 INCHES AT DIAMETER AT BREAST HEIGHT (DBH) ARE REQUIRED FOR MITIGATION. THE CITY WILL ACCEPT A CASH-IN-LIEU FEE OF \$150 PER INCH. THE TOTAL FEE OWED IS \$120,300. ~~THIS IS IF ONLY 4 ADDITIONAL TREES BEYOND THOSE REQUIRED FOR THE SITE ARE PROVIDED. THE NUMBER WILL GO DOWN IF MORE TREES ARE PROVIDED, INCLUDING ON TRI-STATE PROPERTY.~~

As a condition of approval, the applicant shall add following note to sheet 3 of the ODP amendment prior to recording and issuance of any building permits:

RESIDENTIAL DEVELOPMENT ON LOT 3

At the time of any residential development on Lot 3 on this ODP Amendment, the residential developer shall construct a masonry wall of no less than EIGHT FEET in height, and it must be shown on the subsequent ODP amendment in the location on the property line as shown on Sheet 9 on the site plan of this Eighth Amended ODP.

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN

TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 57

PUD EXCEPTIONS

1. RETAIL COMMERCIAL DESIGN GUIDELINES SECTION IV D - ENCROACHMENT INTO 20' PARKING AND LANDSCAPE REGULATION SECTION V.C., 30-FOOT CANAL SETBACK WITH THE ACCESS DRIVE SET BACK ONLY 10 FEET FROM THE NORTH PROPERTY LINE AND THE GRADING TO WITHIN 0 FEET OF THE PROPERTY LINE. MITIGATION PROPOSED BY ADDING ADDITION LANDSCAPE SCREENING ALONG THE AREAS OF PROPOSED ENCROACHMENT.

ALTERNATIVE AND JUSTIFICATION: THIS EXCEPTION IS PARTIALLY JUSTIFIED BY THE EXISTING GRADE DIFFERENCE WHICH NATURALLY MAKES THE SUBJECT SITE LESS VISIBLE, AS WELL AS THE FACT THAT THE ADJACENT USE IS THE SAME, AND THERE IS A DITCH, EXISTING TREES, AND AMPLE LANDSCAPE AREA ON THE ADJACENT PROPERTY. IN ADDITION, LANDSCAPE BUFFERING IS BEING ENHANCED ON THE SUBJECT PROPERTY ALONG THIS SETBACK. (SEE COMMENTS ON LANDSCAPE PLAN.)

2. 30-FOOT WATERCOURSE SETBACK WITH IMPROVEMENTS SET BACK 20 FEET NEAR THE SOUTH PROPERTY LINE. ALTERNATIVE AND JUSTIFICATION: THIS EXCEPTION IS PARTIALLY JUSTIFIED BY THE [LIST HEIGHT] WALL PROVIDED IN THIS AREA, AS WELL AS THE PROVISION FOR PROTECTION AND CONTROL MEASURES AGAINST EROSION. IN ADDITION, LANDSCAPE BUFFERING IS BEING ENHANCED IN THIS AREA. (SEE COMMENTS ON LANDSCAPE PLAN.)

Add: LANDSCAPE REGULATION SECTION V.C.,

Start new line here.

STANDARD STATEMENTS

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.
- M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.
- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.



DATE: 06/15/2022

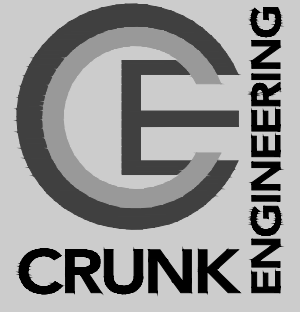
NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

OR ISSUANCE OF ANY LAND DISTURBANCE PERMIT.

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 5 OF 57

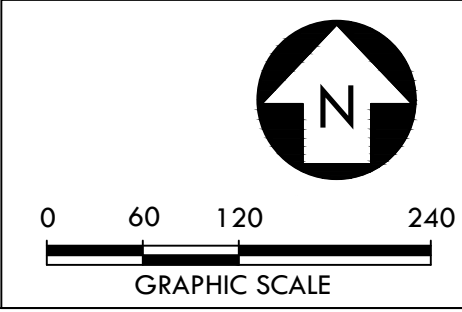
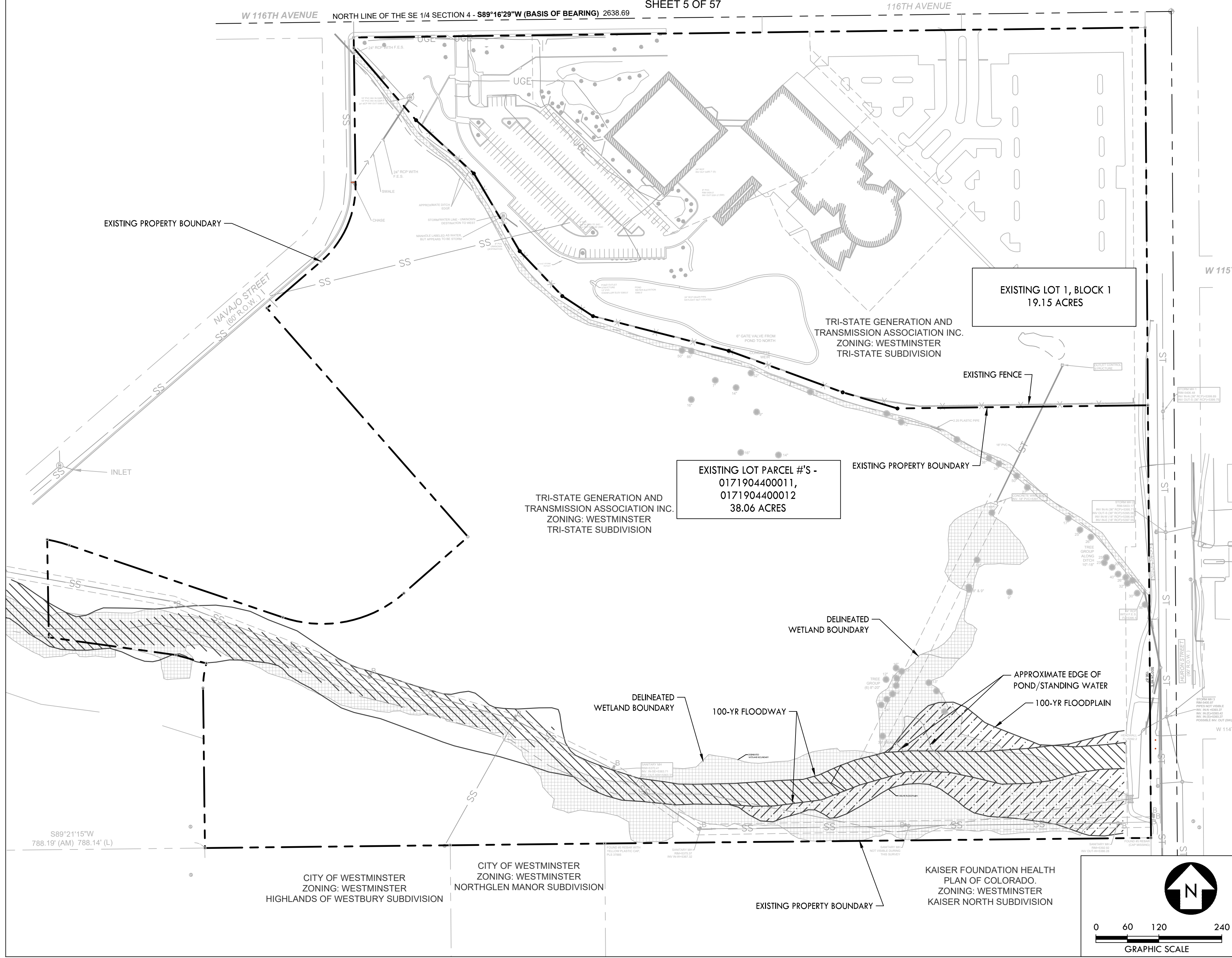


DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
 11455 HURON ST
 WESTMINSTER, CO 80234

PLAN PREPARED:
 06/15/2022
 REV 1 09/21/2022
 REV 2 11/08/2022
 REV 3 12/12/2022
 REV 4 01/18/2022

5 OF 57
 EXISTING LOT
 LINES



CITY OF WESTMINSTER
ZONING: WESTMINSTER
HIGHLANDS OF WESTBURY SUBDIVISION

CITY OF WESTMINSTER
ZONING: WESTMINSTER
NORTHGLEN MANOR SUBDIVISION

KAISER FOUNDATION HEALTH
PLAN OF COLORADO.
ZONING: WESTMINSTER
KAISER NORTH SUBDIVISION

LOT 2 COVERAGE

LAND USE	SURFACE TYPE	AREA (SF)	% OF SITE
COMMERCIAL	BUILDING COVERAGE	58,110	12.11%
	PAVING AND DRIVES	153,265	31.94%
	LANDSCAPE OPEN AREA	263,278	5.85%
	ROW AREA	5,201	1.10%
TOTAL		479,914	100.00%

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN

TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 7 OF 57

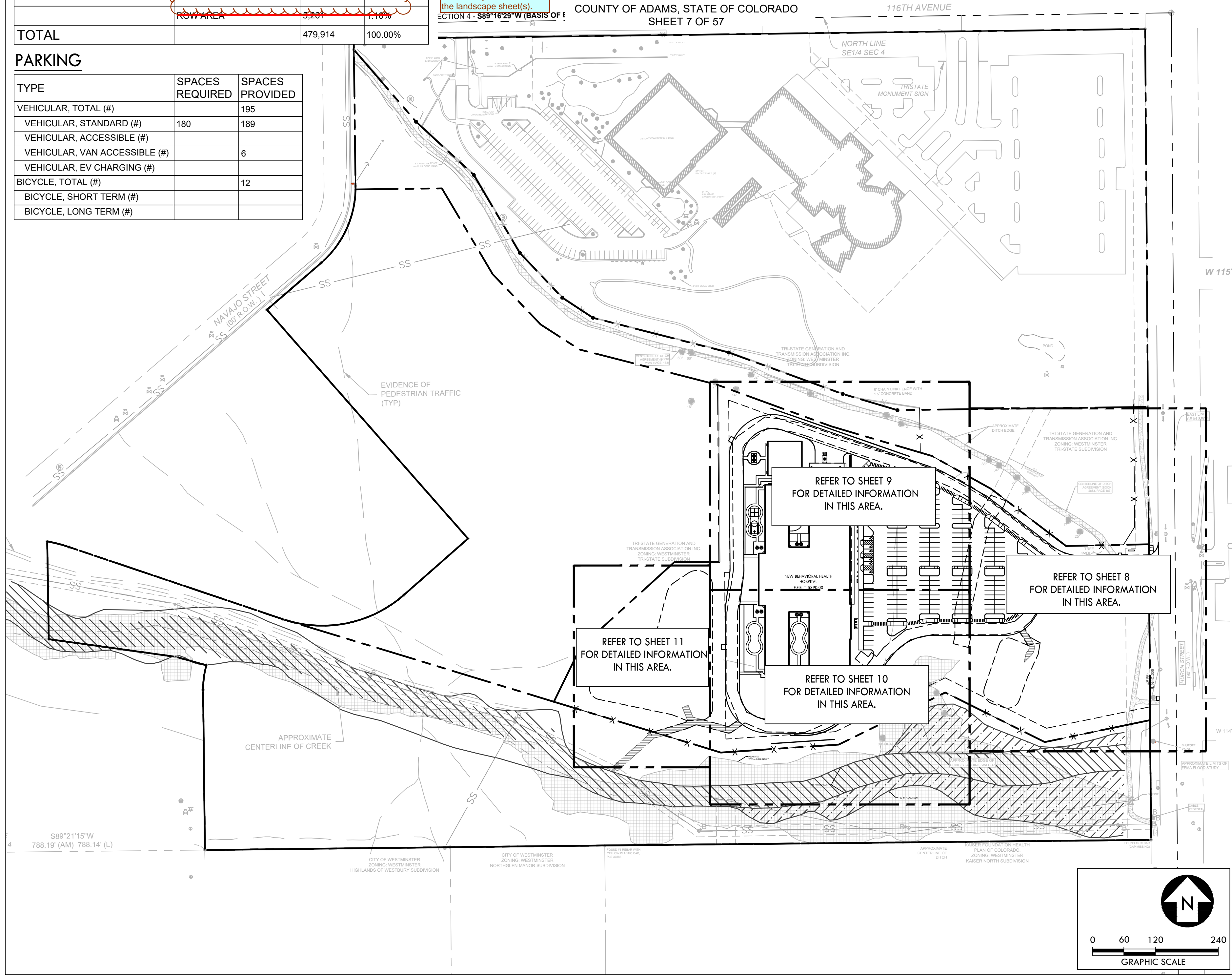
These numbers need to be corrected and should match those on the cover sheet for Lot 2. The ROW should only be shown on the landscape sheet(s).
SECTION 4 - S89°16'29"W (BASIS OF I



DATE: 06/15/2022

PARKING

TYPE	SPACES REQUIRED	SPACES PROVIDED
VEHICULAR, TOTAL (#)		195
VEHICULAR, STANDARD (#)	180	189
VEHICULAR, ACCESSIBLE (#)		
VEHICULAR, VAN ACCESSIBLE (#)		6
VEHICULAR, EV CHARGING (#)		
BICYCLE, TOTAL (#)		12
BICYCLE, SHORT TERM (#)		
BICYCLE, LONG TERM (#)		

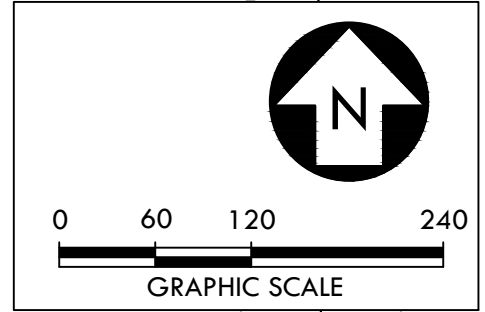


NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

7 OF 57
OVERALL SITE PLAN

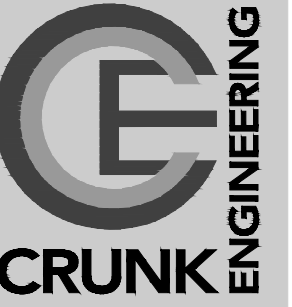


EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 8 OF 57

Reference
landscape sheet
29 for full extent
of the fence on
the Tri-State lot.

NOTE:
WETLAND MITIGATION SHALL BE IN ACCORDANCE
WITH THE PERMIT ISSUED BY THE UNITED STATES
ARMY CORPS OF ENGINEERS (USACE)



DATE: 06/15/2022

DATE:

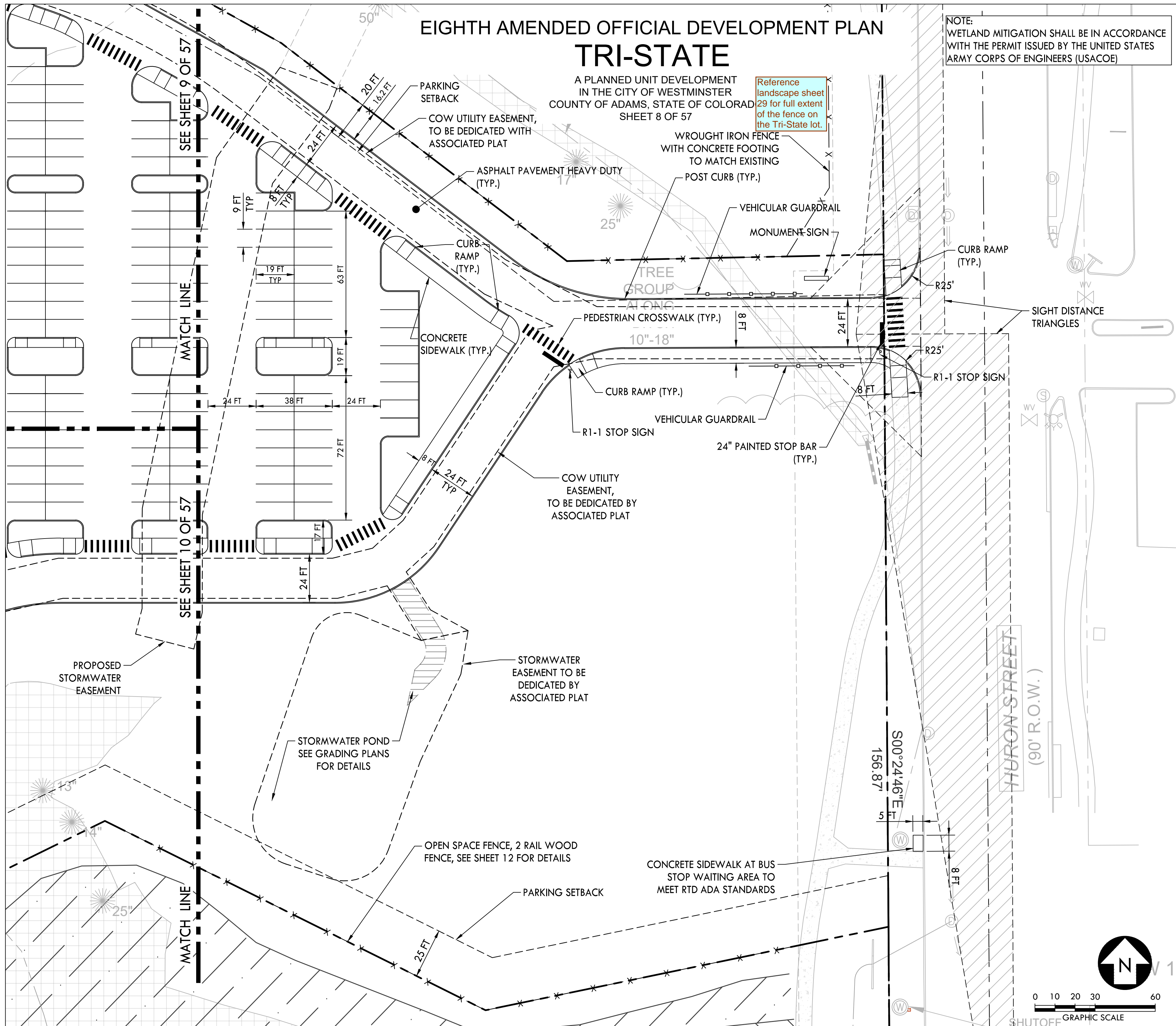
NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

8 OF 57
SITE PLAN

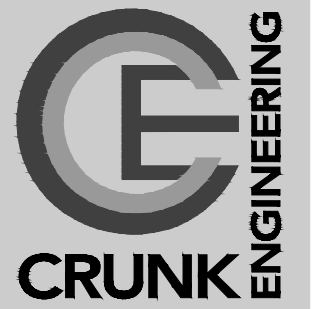


EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN

TPI-STATE

IND UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 9 OF 57

NOTE:
 WETLAND MITIGATION SHALL BE IN ACCORDANCE
 WITH THE PERMIT ISSUED BY THE UNITED STATES
 ARMY CORPS OF ENGINEERS (USACOE)



DATE: 06/15/2022

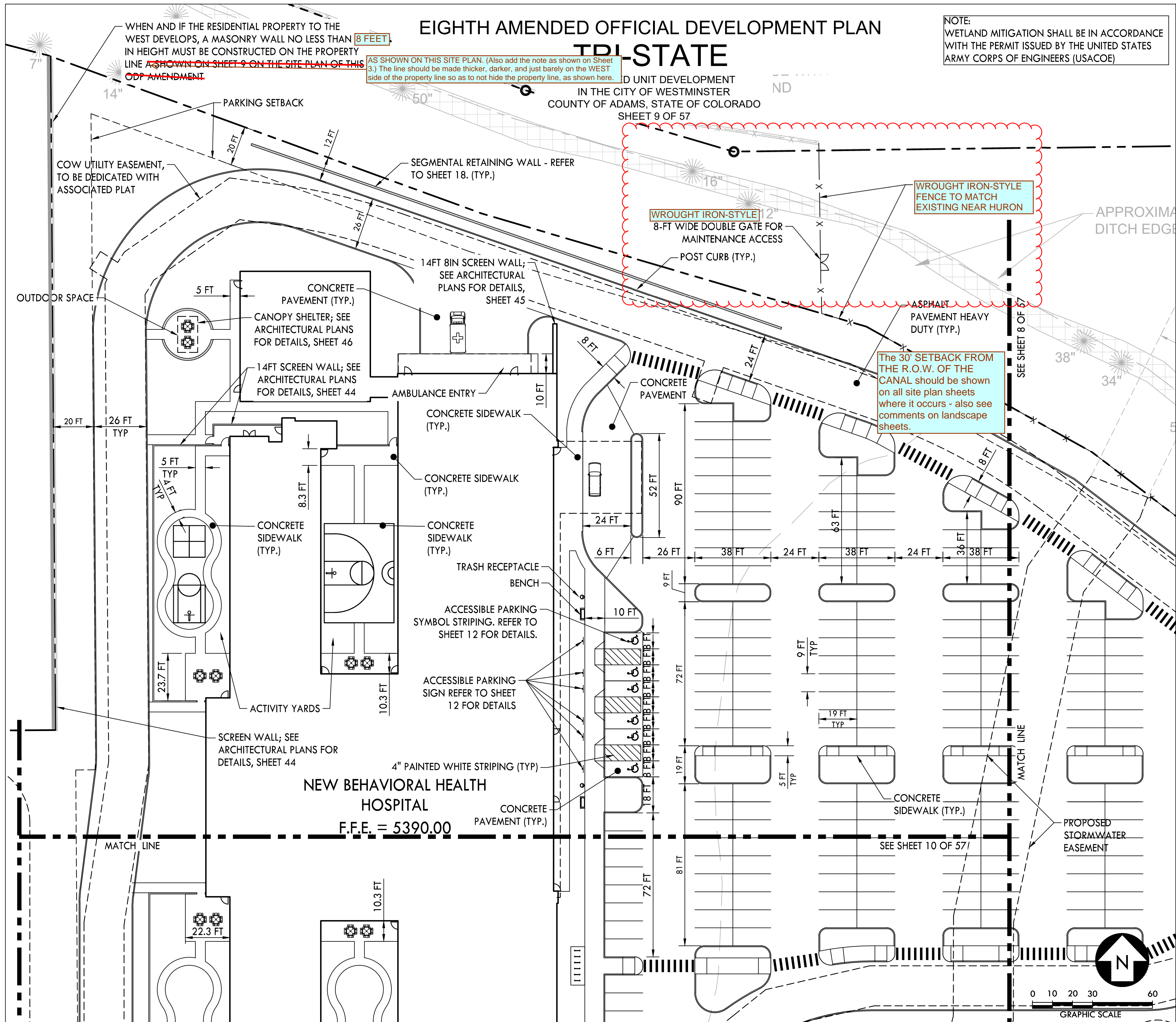
DATE:

NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
 WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

9 OF 57
 SITE PLAN



AS SHOWN ON THIS SITE PLAN. (Also add the note as shown on Sheet 3.) The line should be made thicker, darker, and just barely on the WEST side of the property line so as to not hide the property line, as shown here.

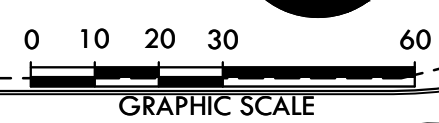
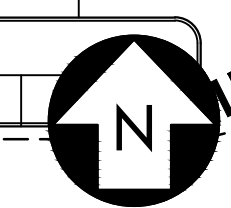
WHEN AND IF THE RESIDENTIAL PROPERTY TO THE WEST DEVELOPS, A MASONRY WALL NO LESS THAN 8 FEET IN HEIGHT MUST BE CONSTRUCTED ON THE PROPERTY LINE AS SHOWN ON SHEET 9 ON THE SITE PLAN OF THIS ODP AMENDMENT.

WROUGHT IRON-STYLE 2" 8-FT WIDE DOUBLE GATE FOR MAINTENANCE ACCESS
 POST CURB (TYP.)

WROUGHT IRON-STYLE FENCE TO MATCH EXISTING NEAR HURON

The 30' SETBACK FROM THE R.O.W. OF THE CANAL should be shown on all site plan sheets where it occurs - also see comments on landscape sheets.

NEW BEHAVIORAL HEALTH HOSPITAL
 F.F.E. = 5390.00



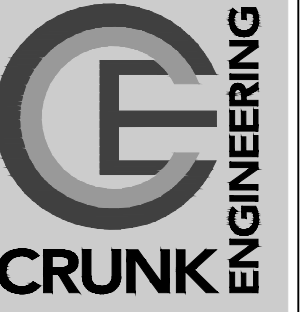
EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN

TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 10 OF 57

NEW BEHAVIORAL HEALTH
HOSPITAL

F.F.E. = 5390.00



DATE: 06/15/2022

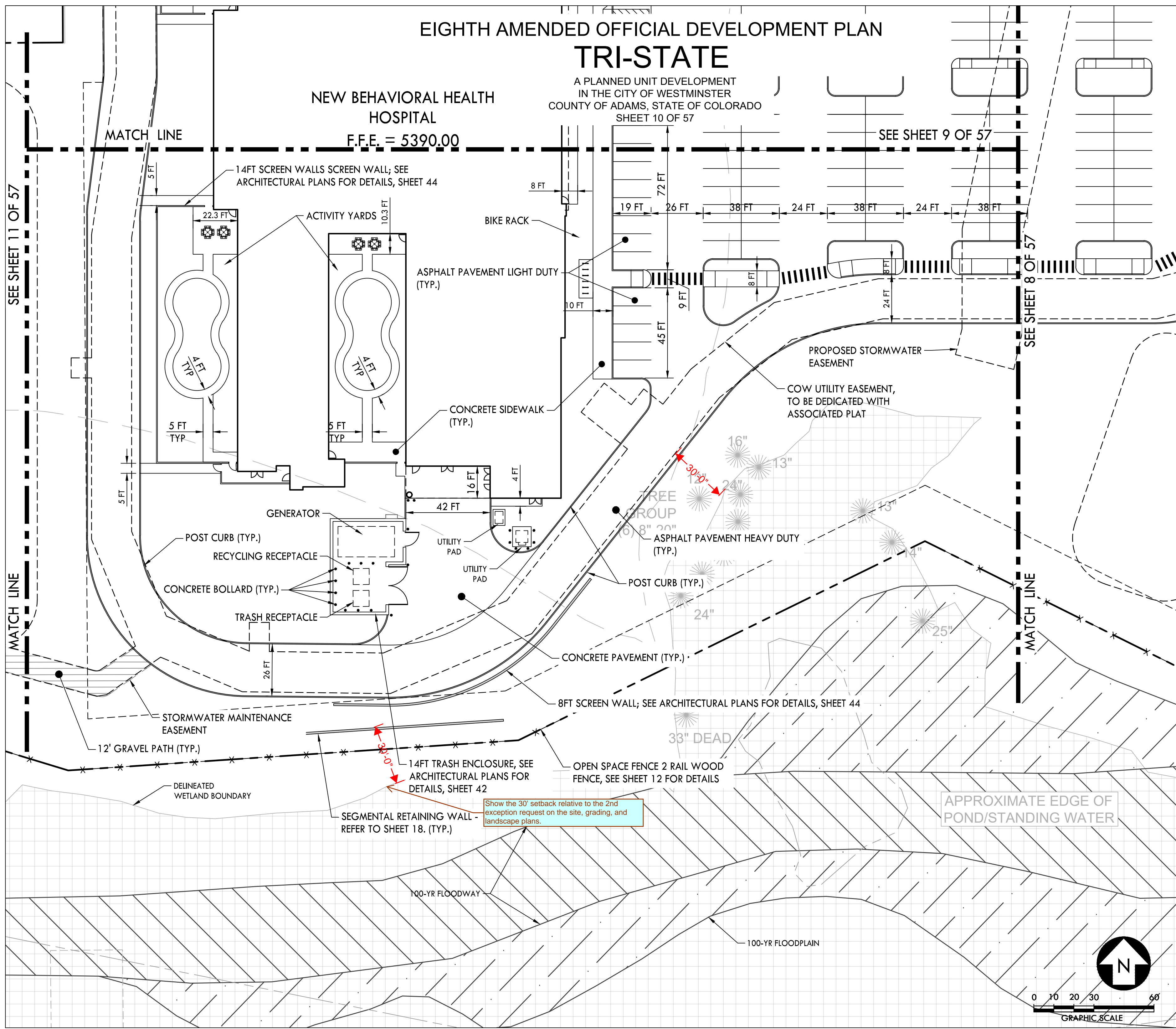
NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

10 OF 57
SITE PLAN

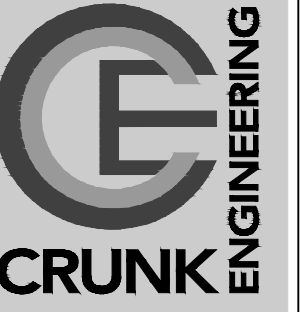


Show the 30' setback relative to the 2nd exception request on the site, grading, and landscape plans.

APPROXIMATE EDGE OF POND/STANDING WATER

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 11 OF 57



NEW BEHAVIORAL
HOSPITAL
F.F.E. = 539

DATE: 06/15/2022

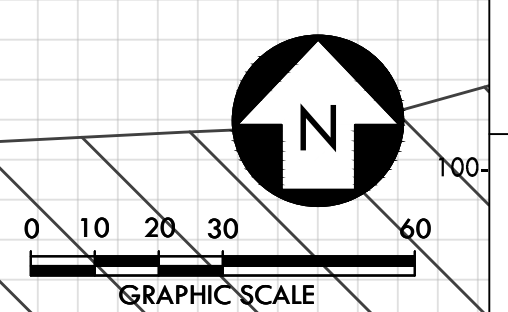
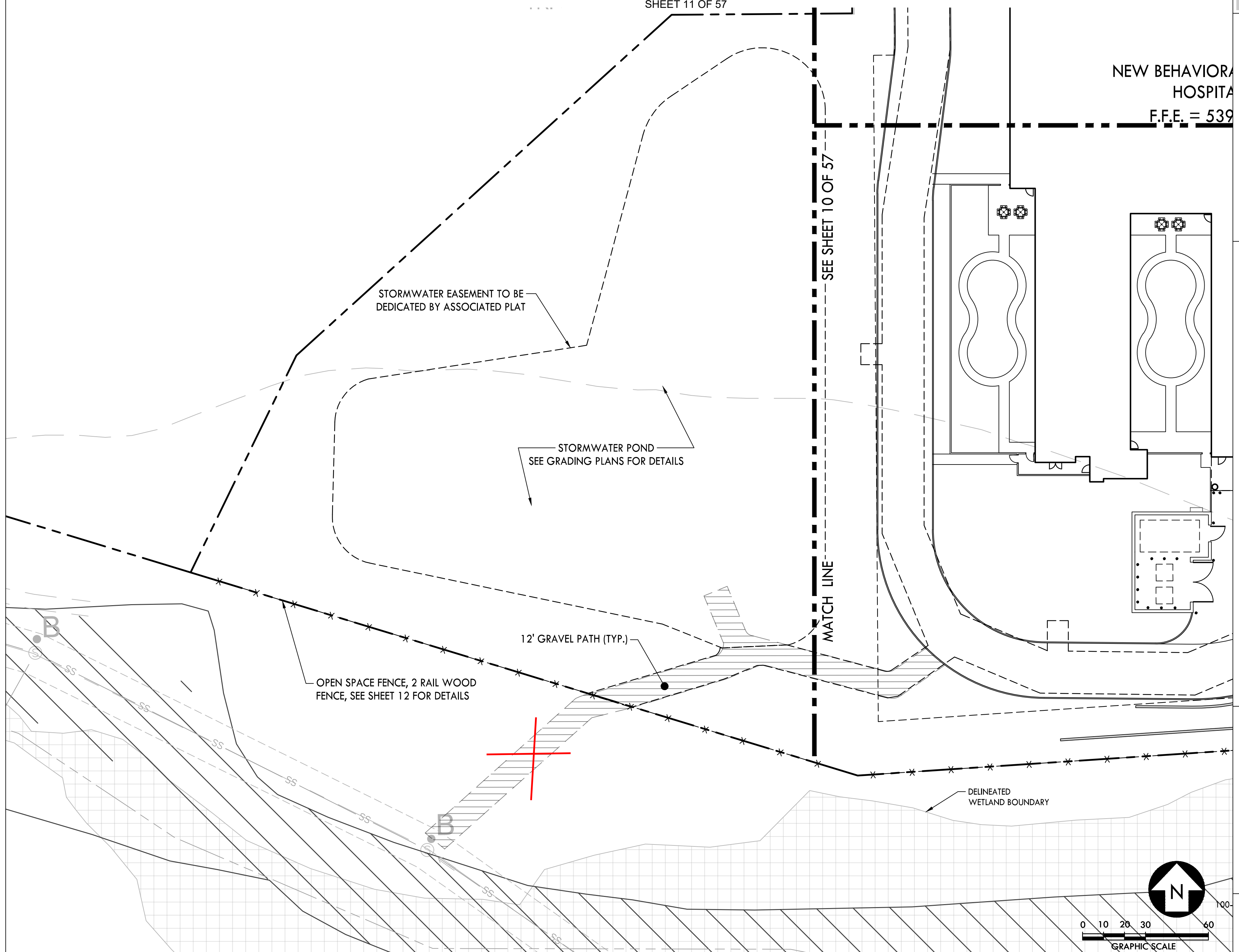
NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

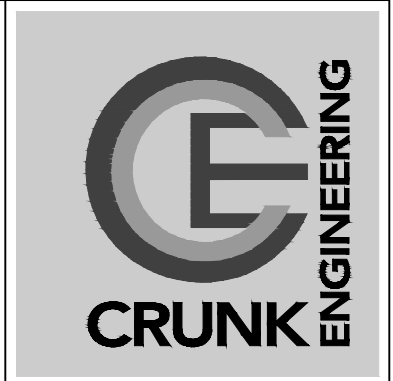
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

11 OF 57
SITE PLAN



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 12 OF 57



DATE: 06/15/2022

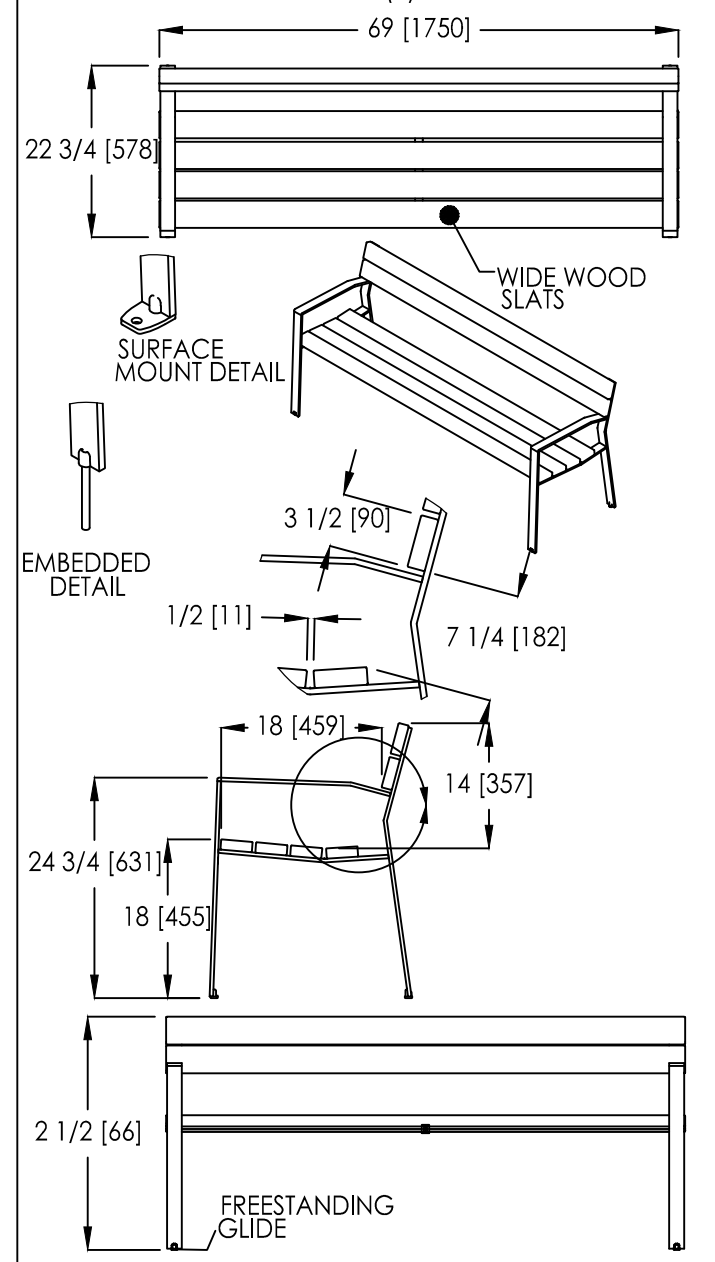
**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022
REV 1 09/21/2022
REV 2 11/08/2022
REV 3 12/12/2022
REV 4 01/18/2022

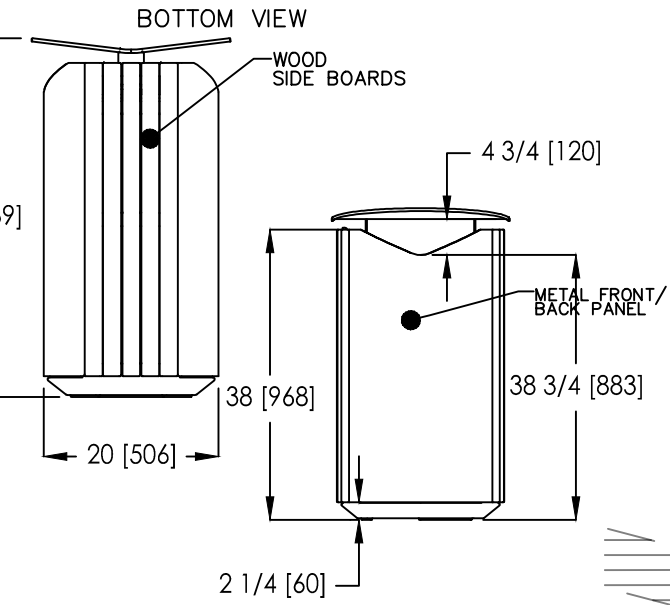
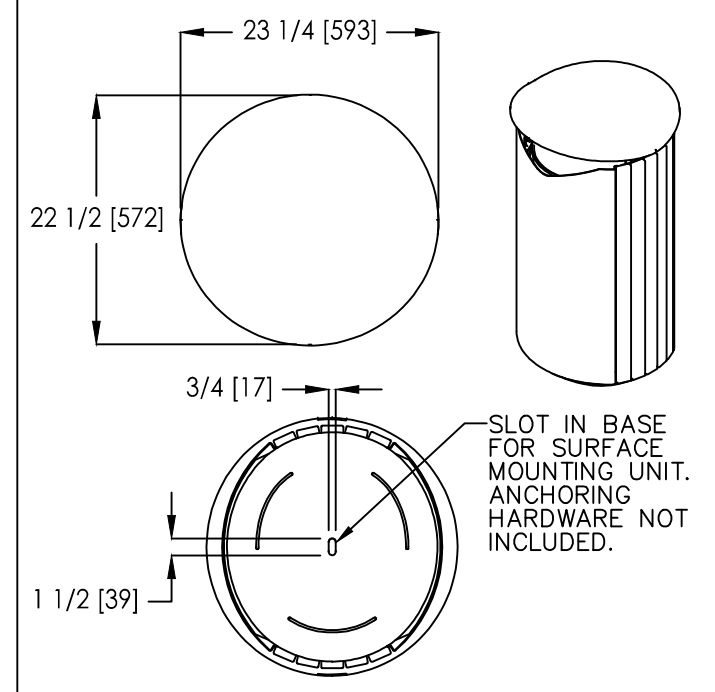
12 OF 57
AMMENITIES
PLAN

10FT CANOPY AND PICNIC TABLES,
SEE ARCHITECTURAL PLANS FOR
DETAILS, SHEET 46

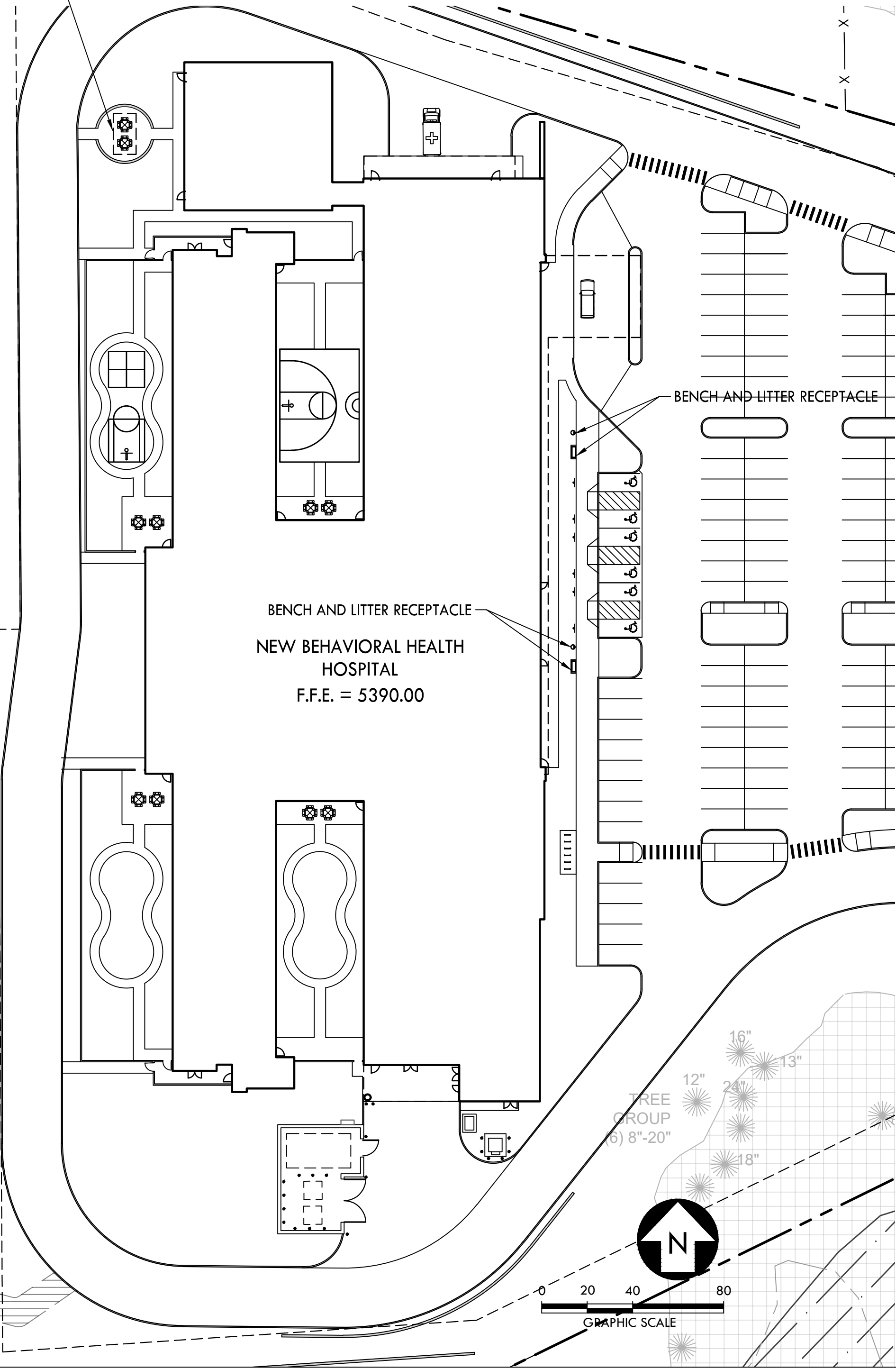
SURFACE MOUNT OPTION: (4) 1/4" THICK ANCHOR TABS WITH Ø1/2" HOLE FOR ANCHORING, NON-CORROSIVE ANCHORING HARDWARE SUPPLIED BY OTHERS.
EMBEDDED OPTION: INCLUDES (4) 10mm x 120mm THREADED RODS



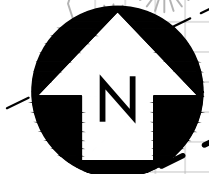
HARPO BACKED BENCH
THERMALLY MODIFIED ASH WITH SILVER PODERCOAT FINISH



GENERATION 50 LITTER RECEPTACLE
THERMALLY MODIFIED ASH WITH SILVER PODERCOAT FINISH

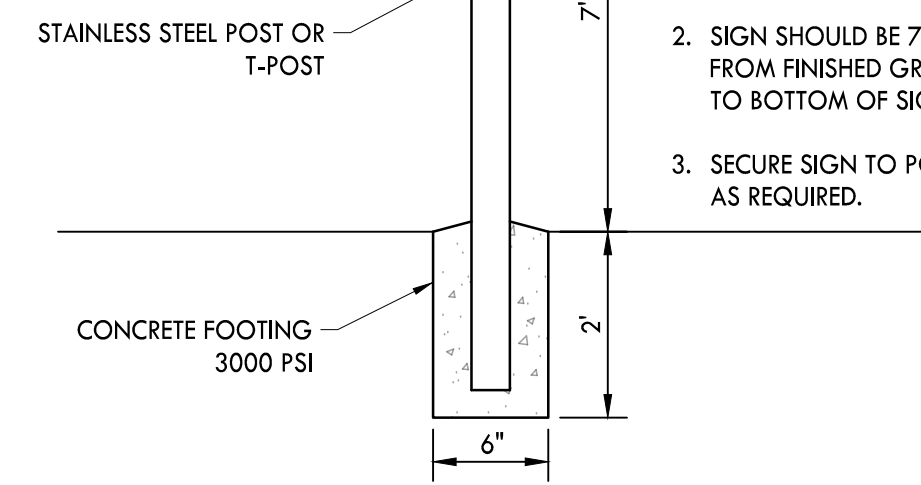


NEW BEHAVIORAL HEALTH HOSPITAL
F.F.E. = 5390.00

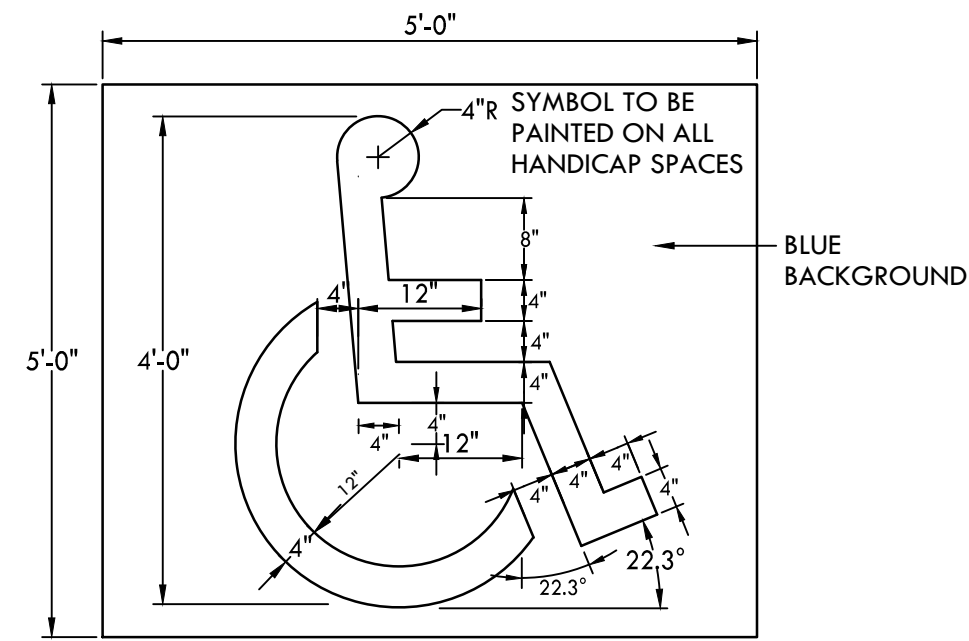


NOTES:

1. PROVIDE VAN ACCESSIBLE SIGN AT VAN ACCESSIBLE SPACES ONLY.
2. SIGN SHOULD BE 7-FT FROM FINISHED GRADE TO BOTTOM OF SIGN.
3. SECURE SIGN TO POST AS REQUIRED.



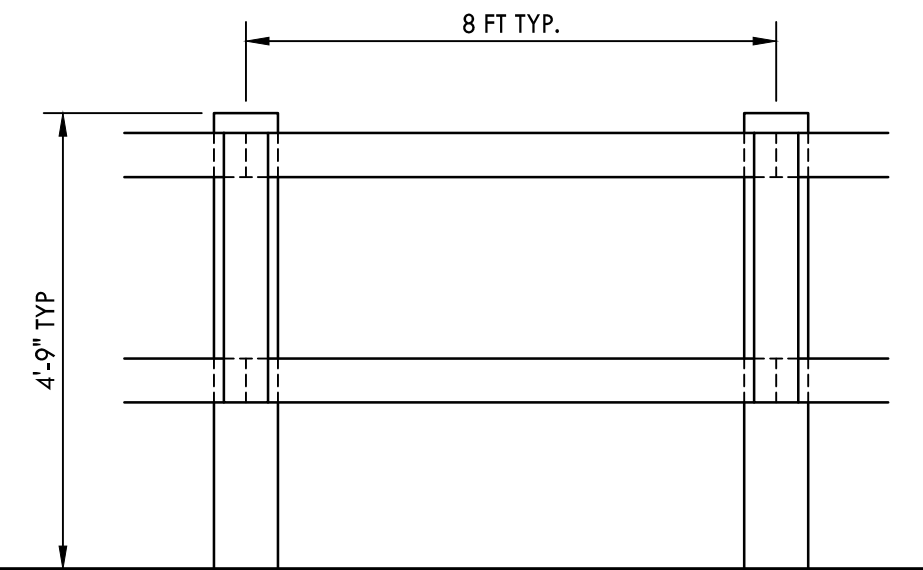
ACCESSIBLE PARKING SIGN
NOT TO SCALE



PAINTED ACCESSIBLE PARKING SYMBOL
NOT TO SCALE

NOTE:

1. RAILS SHALL BE FASTENED WITH #9 X 3" COARSE EVERCOTE GALVANIZED STEEL WOOD SCREWS. FASCIA SHALL BE FASTENED WITH 2".
2. ALL LUMBER SHALL BE NO. 2 GRADE PRESSURE TREATED PINE. POSTS SHALL BE TREATED FOR GROUND CONTACT
3. ALL FENCING SHALL BE FINISHED WITH 2 COATS SEMI-TRANSPARENT STAIN; COLOR - SW 'HAWTHORN'; ALLOW MIN. 30 DAYS BETWEEN INSTALLATION AND STAINING TO ALLOW LUMBER TO DRY.

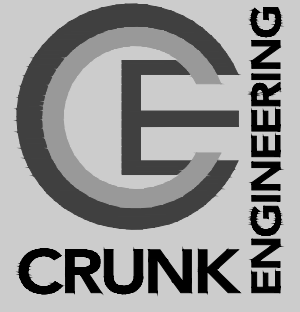


2 RAIL WOOD FENCE
NOT TO SCALE

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 13 OF 57

W 115TH AVE

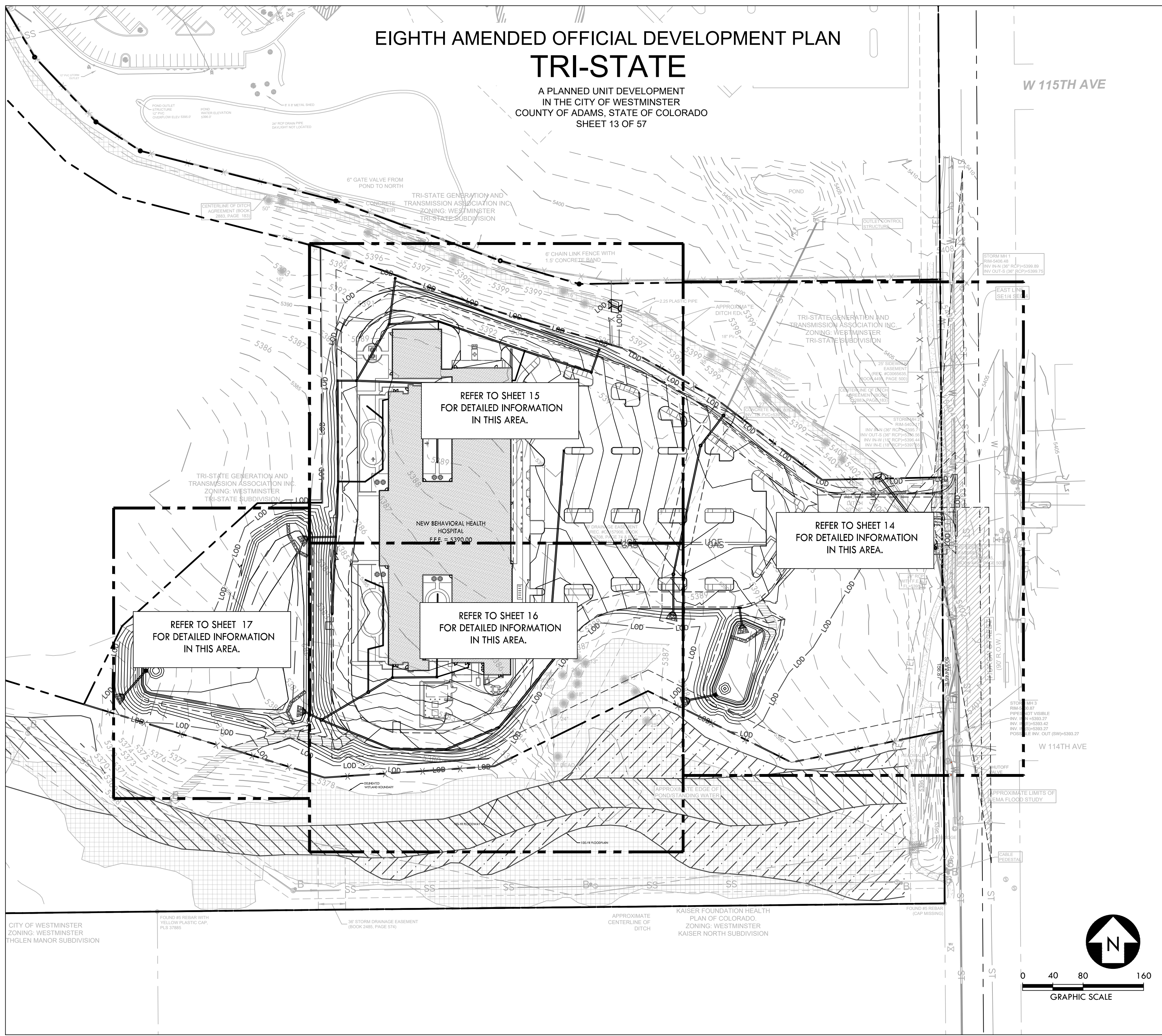


DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

13 OF 57
OVERALL GRADING
PLAN



REFER TO SHEET 17
FOR DETAILED INFORMATION
IN THIS AREA.

REFER TO SHEET 16
FOR DETAILED INFORMATION
IN THIS AREA.

REFER TO SHEET 15
FOR DETAILED INFORMATION
IN THIS AREA.

REFER TO SHEET 14
FOR DETAILED INFORMATION
IN THIS AREA.

CITY OF WESTMINSTER
ZONING: WESTMINSTER
THGLEN MANOR SUBDIVISION

FOUND RE REBAR WITH
YELLOW PLASTIC CAP,
PLS 37885

36" STORM DRAINAGE EASEMENT
(BOOK 2485, PAGE 574)

APPROXIMATE
CENTERLINE OF
DITCH

KAISER FOUNDATION HEALTH
PLAN OF COLORADO
ZONING: WESTMINSTER
KAISER NORTH SUBDIVISION

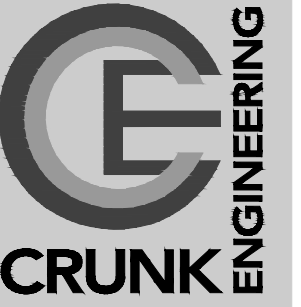
FOUND RE REBAR
(CAP MISSING)



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 14 OF 57

NOTE:
WETLAND MITIGATION SHALL BE IN ACCORDANCE
WITH THE PERMIT ISSUED BY THE UNITED STATES
ARMY CORPS OF ENGINEERS (USACOE)



DATE: 06/15/2022

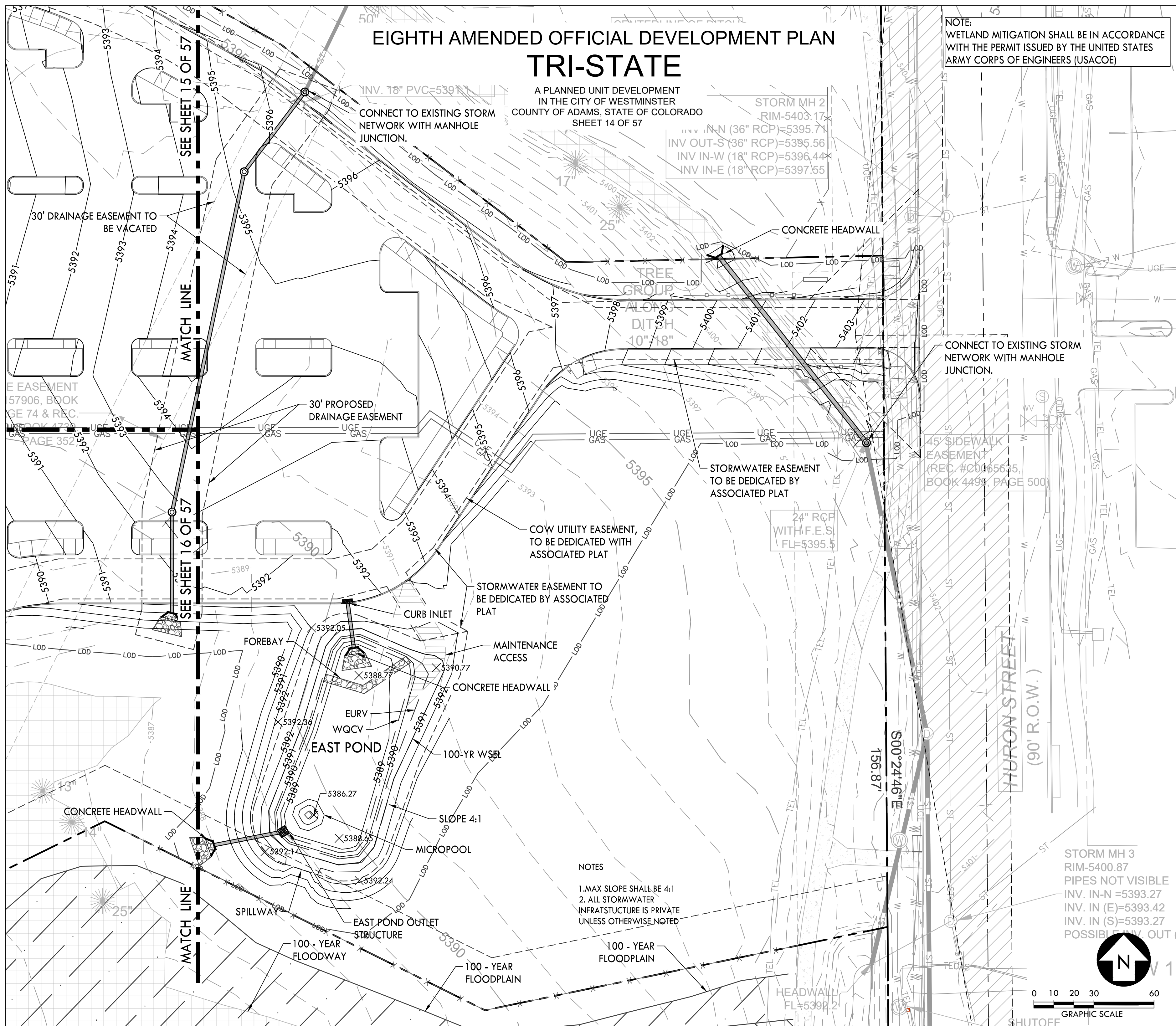
NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

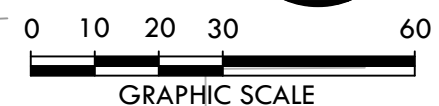
PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

14 OF 57
GRADING PLAN



NOTES
1. MAX SLOPE SHALL BE 4:1
2. ALL STORMWATER
INFRASTRUCTURE IS PRIVATE
UNLESS OTHERWISE NOTED



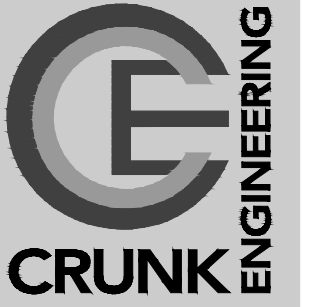
HEADWALL
FL=5392.2

SHUTOFF

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 15 OF 57

NOTE:
WETLAND MITIGATION SHALL BE IN ACCORDANCE
WITH THE PERMIT ISSUED BY THE UNITED STATES
ARMY CORPS OF ENGINEERS (USACOE)



DATE: 06/15/2022

DATE:

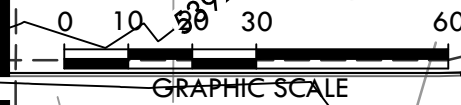
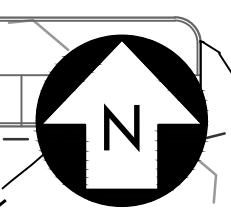
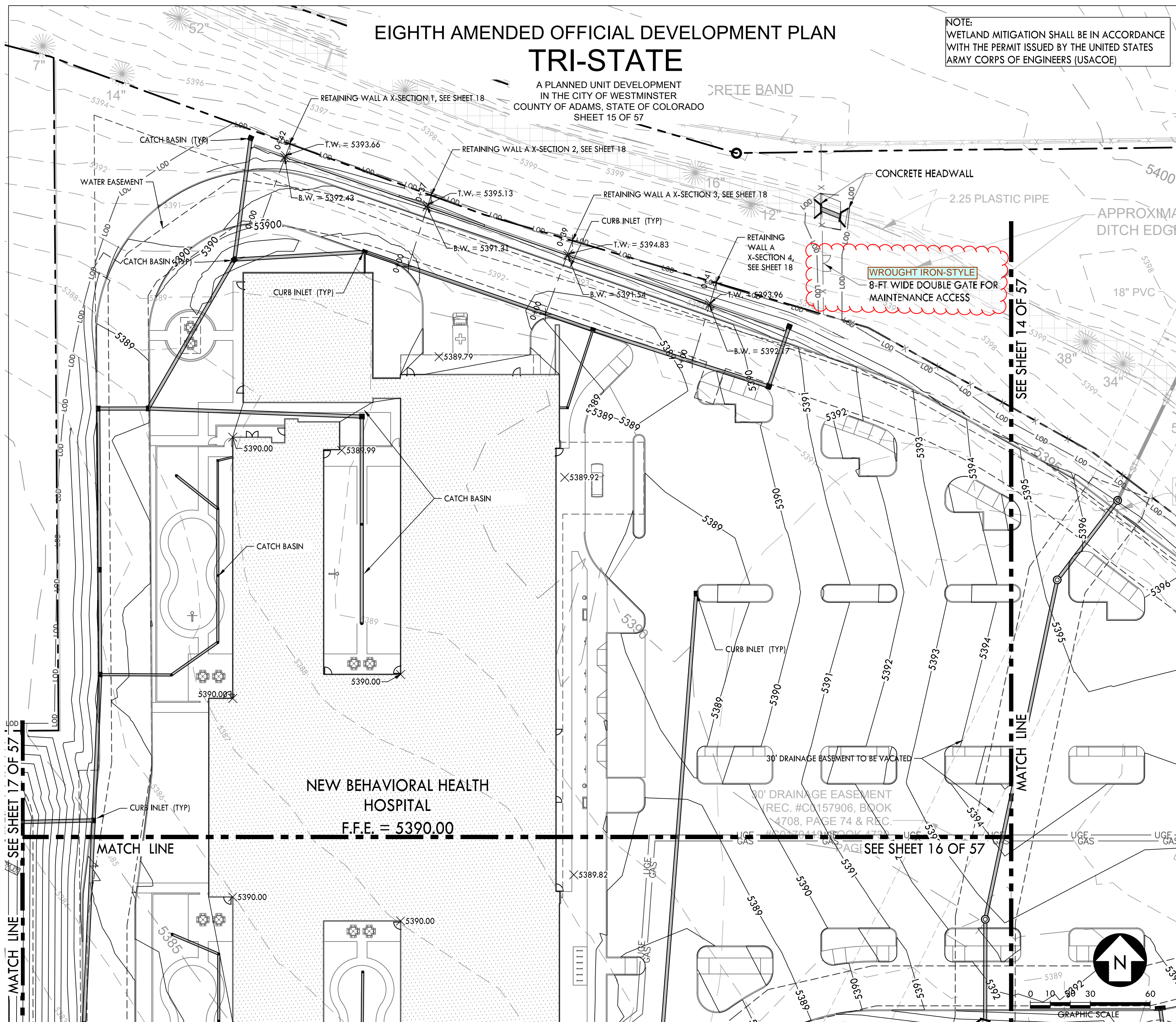
NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

15 OF 57
GRADING PLAN



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

**NEW BEHAVIORAL HEALTH
HOSPITAL**

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 16 OF 57

F.F.E. = 5390.00

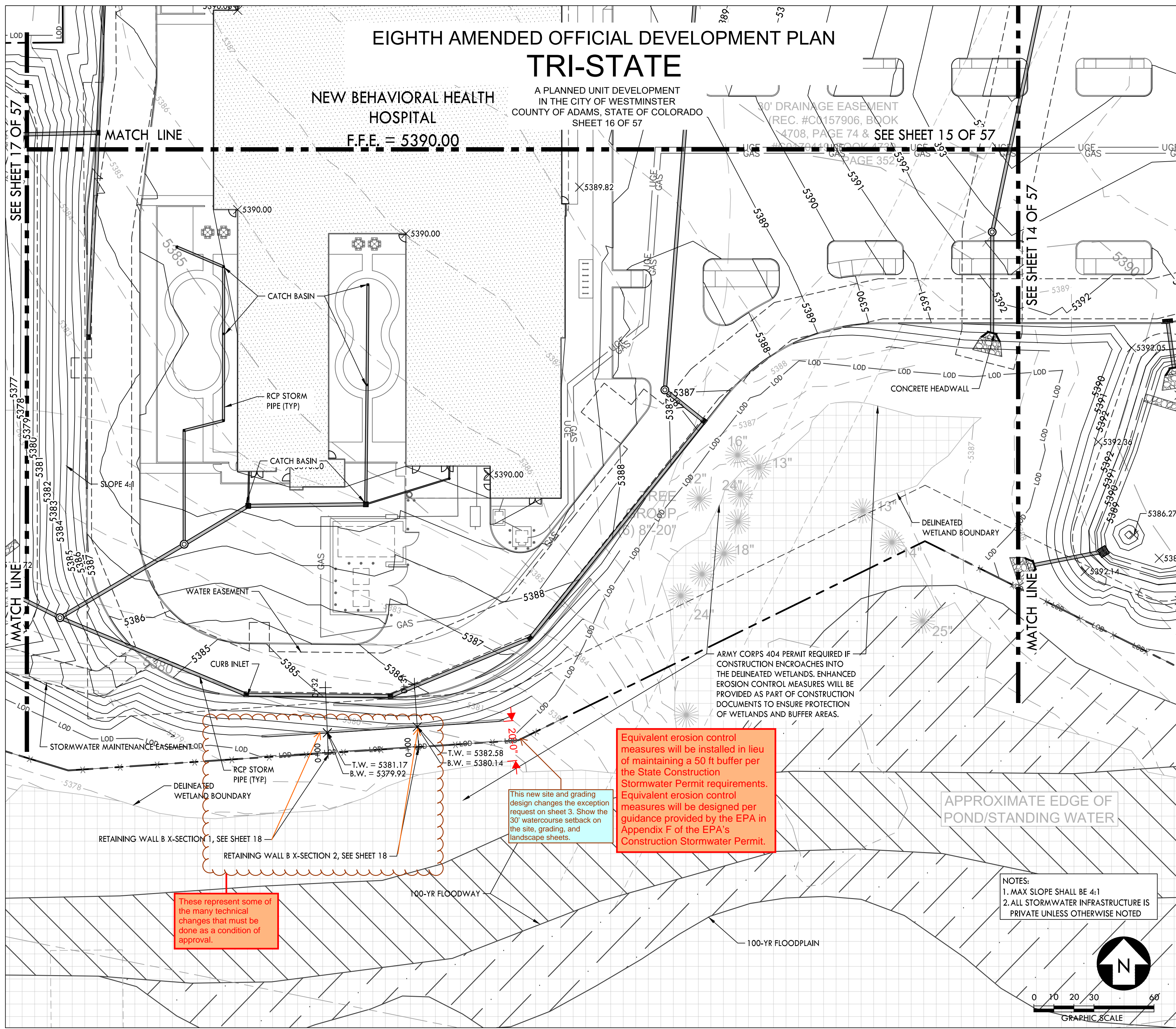


DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022



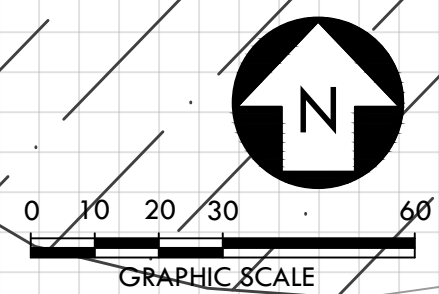
ARMY CORPS 404 PERMIT REQUIRED IF CONSTRUCTION ENCOACHES INTO THE DELINEATED WETLANDS. ENHANCED EROSION CONTROL MEASURES WILL BE PROVIDED AS PART OF CONSTRUCTION DOCUMENTS TO ENSURE PROTECTION OF WETLANDS AND BUFFER AREAS.

Equivalent erosion control measures will be installed in lieu of maintaining a 50 ft buffer per the State Construction Stormwater Permit requirements. Equivalent erosion control measures will be designed per guidance provided by the EPA in Appendix F of the EPA's Construction Stormwater Permit.

This new site and grading design changes the exception request on sheet 3. Show the 30' watercourse setback on the site, grading, and landscape sheets.

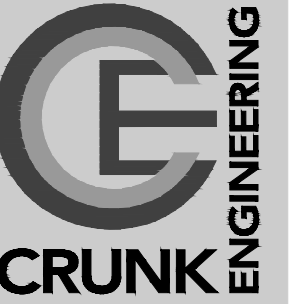
These represent some of the many technical changes that must be done as a condition of approval.

NOTES:
1. MAX SLOPE SHALL BE 4:1
2. ALL STORMWATER INFRASTRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 17 OF 57



DATE: 06/15/2022

DATE:

NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

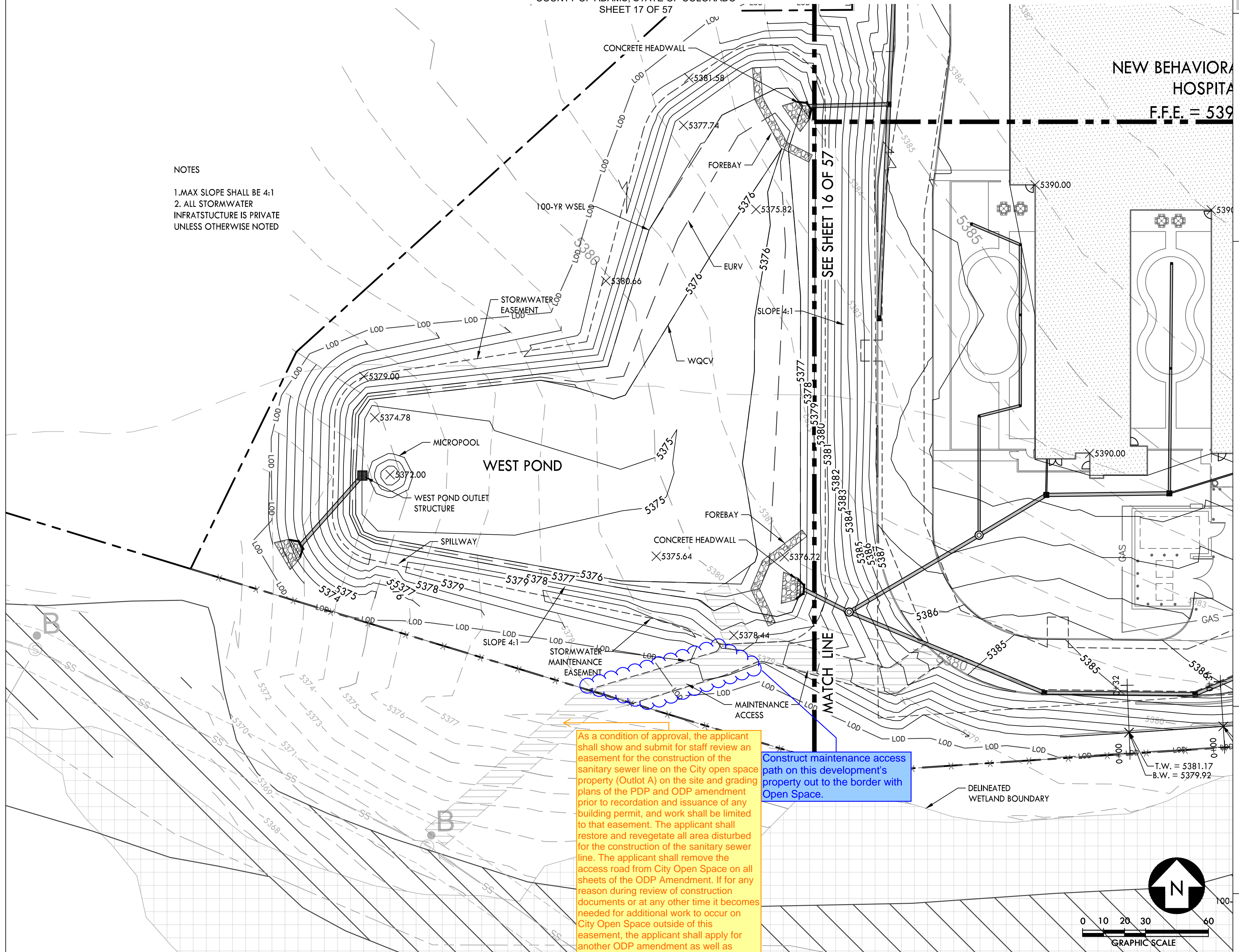
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

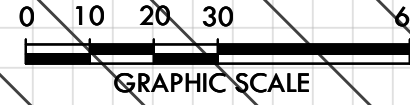
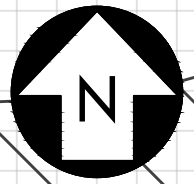
17 OF 57
GRADING PLAN

- NOTES
1. MAX SLOPE SHALL BE 4:1
 2. ALL STORMWATER INFRASTRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED



As a condition of approval, the applicant shall show and submit for staff review an easement for the construction of the sanitary sewer line on the City open space property (Outlet A) on the site and grading plans of the PDP and ODP amendment prior to recordation and issuance of any building permit, and work shall be limited to that easement. The applicant shall restore and revegetate all area disturbed for the construction of the sanitary sewer line. The applicant shall remove the access road from City Open Space on all sheets of the ODP Amendment. If for any reason during review of construction documents or at any other time it becomes needed for additional work to occur on City Open Space outside of this easement, the applicant shall apply for another ODP amendment as well as submit a Formal Request for Private Use of City Open Space. Approval of this Formal Request would not be guaranteed.

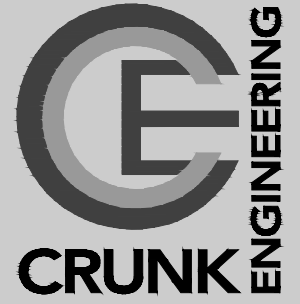
Construct maintenance access path on this development's property out to the border with Open Space.



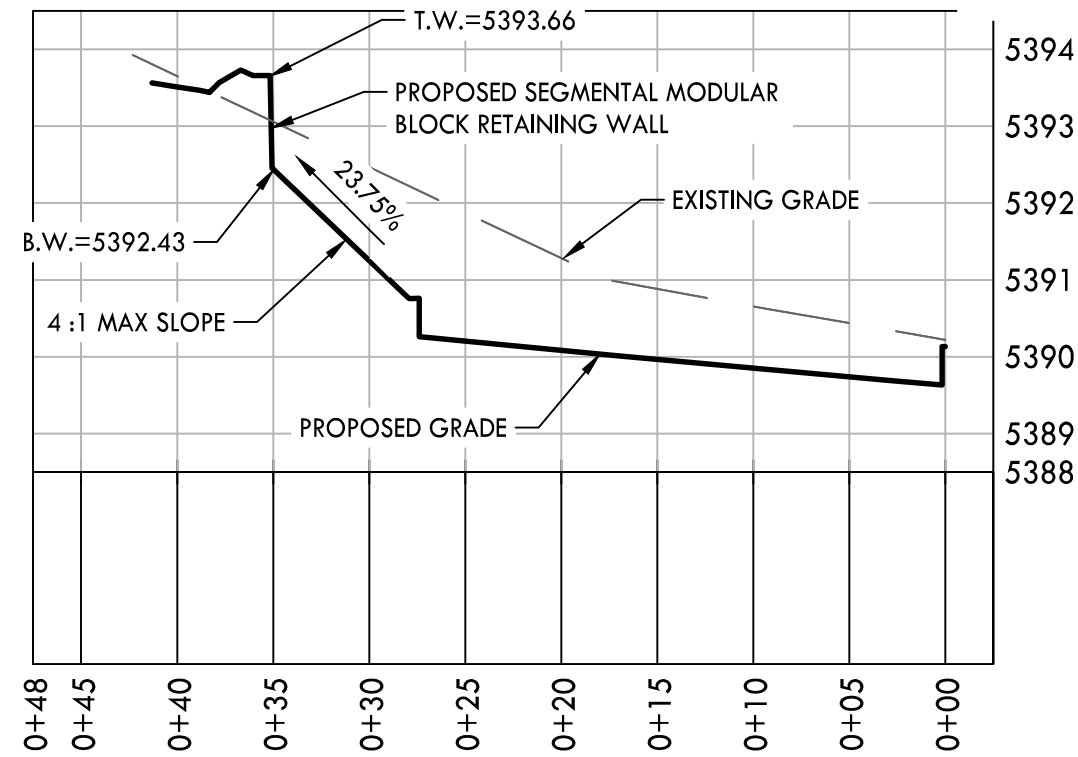
EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN

TRI-STATE

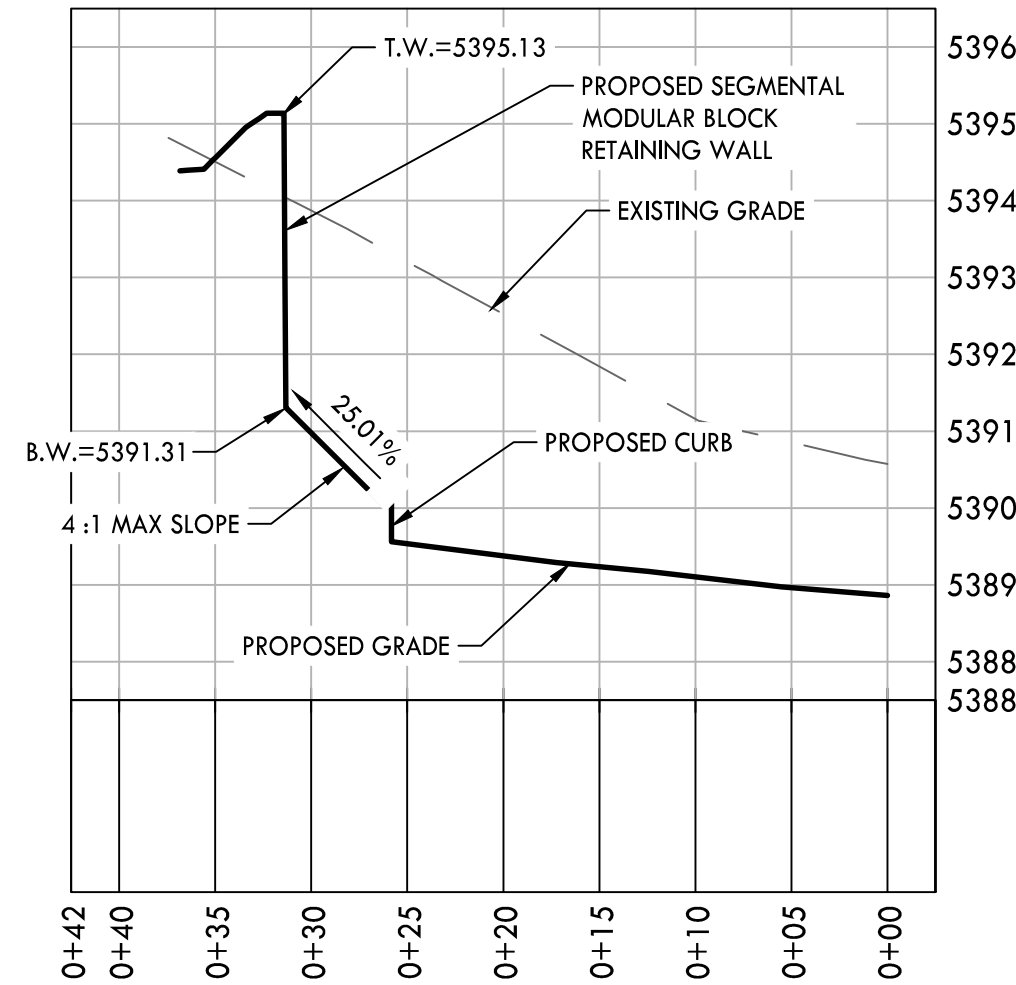
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 18 OF 57



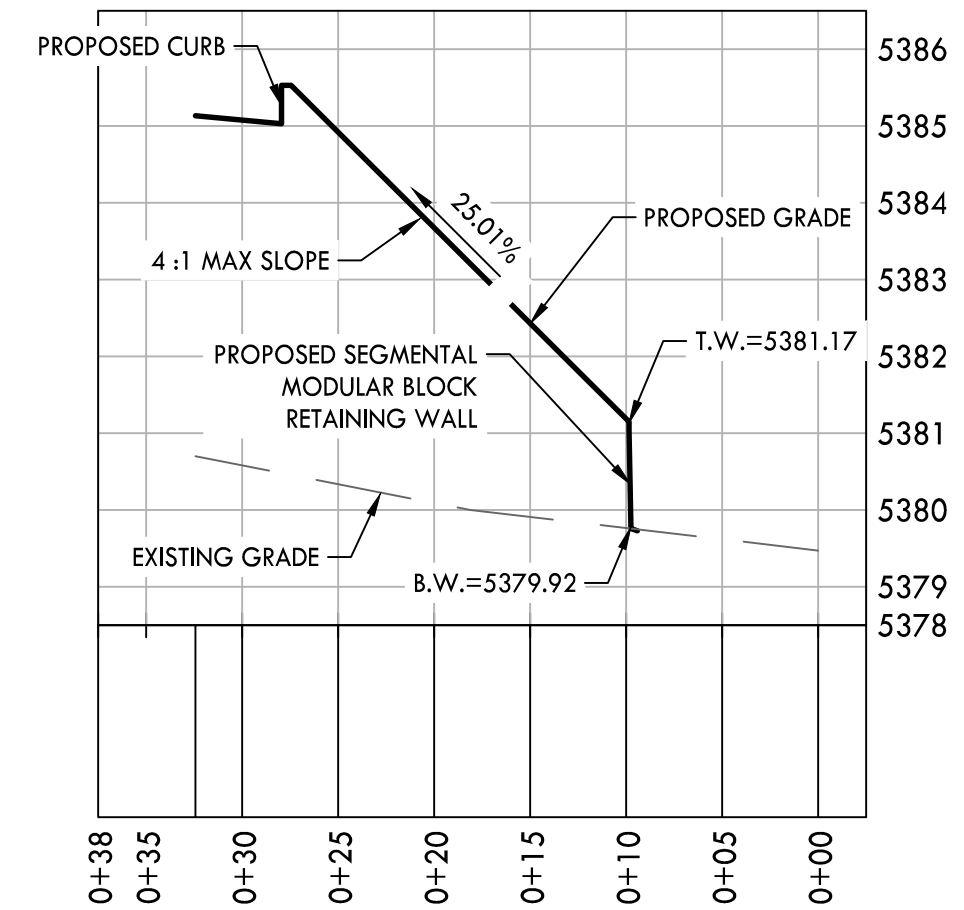
Retaining Wall A X-Section 1



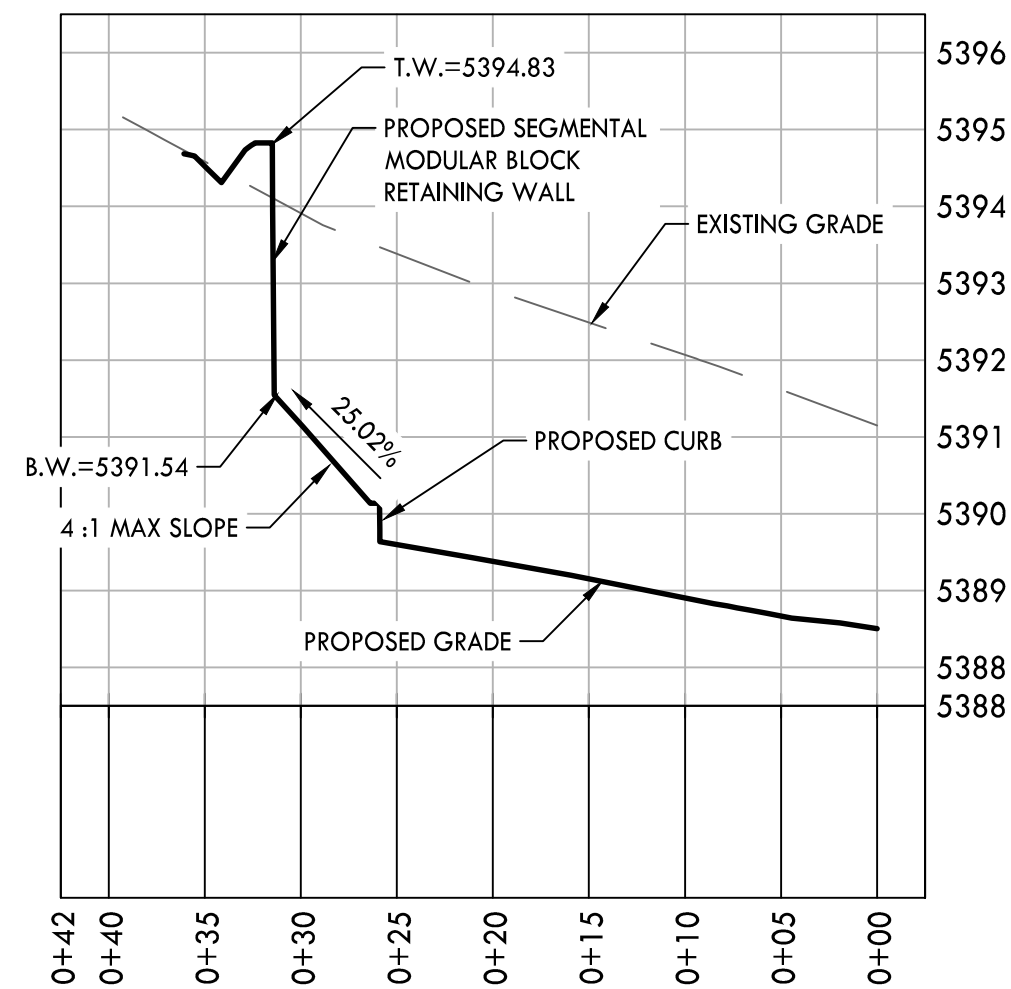
Retaining Wall A X-Section 2



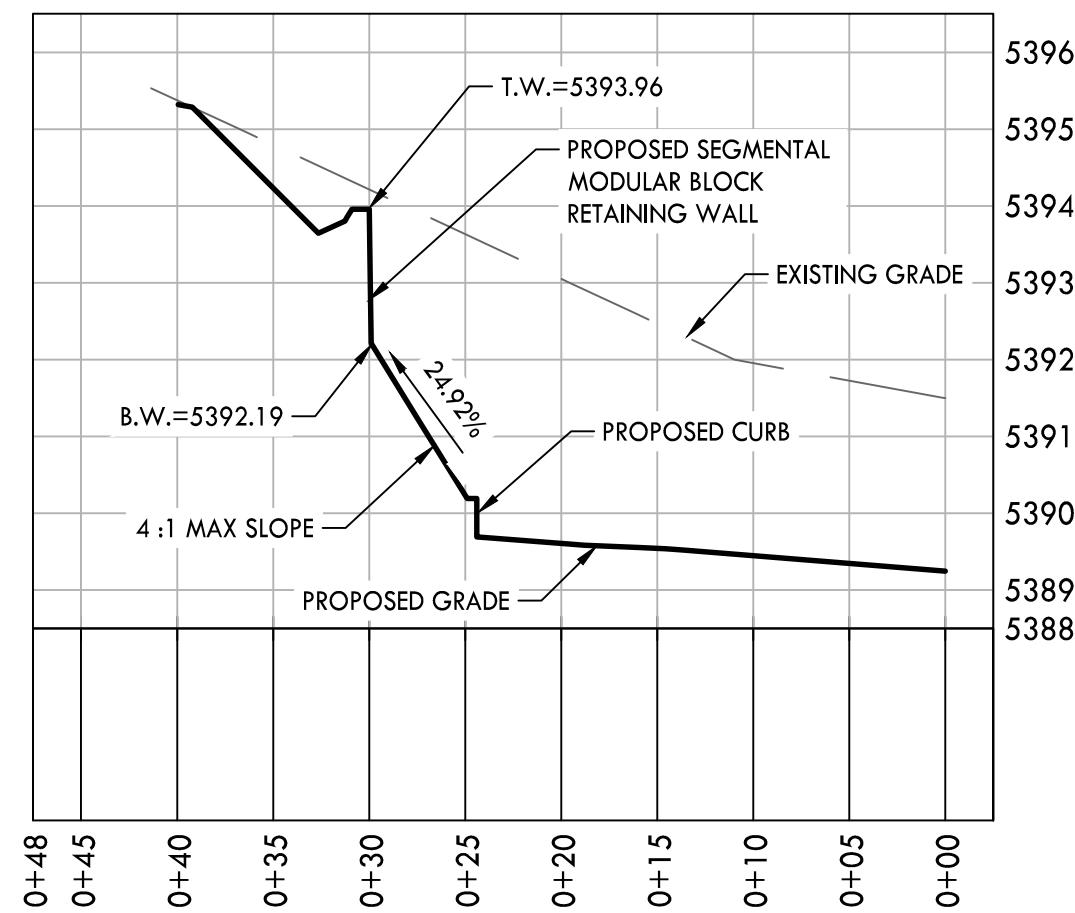
Retaining Wall B X-Section 1



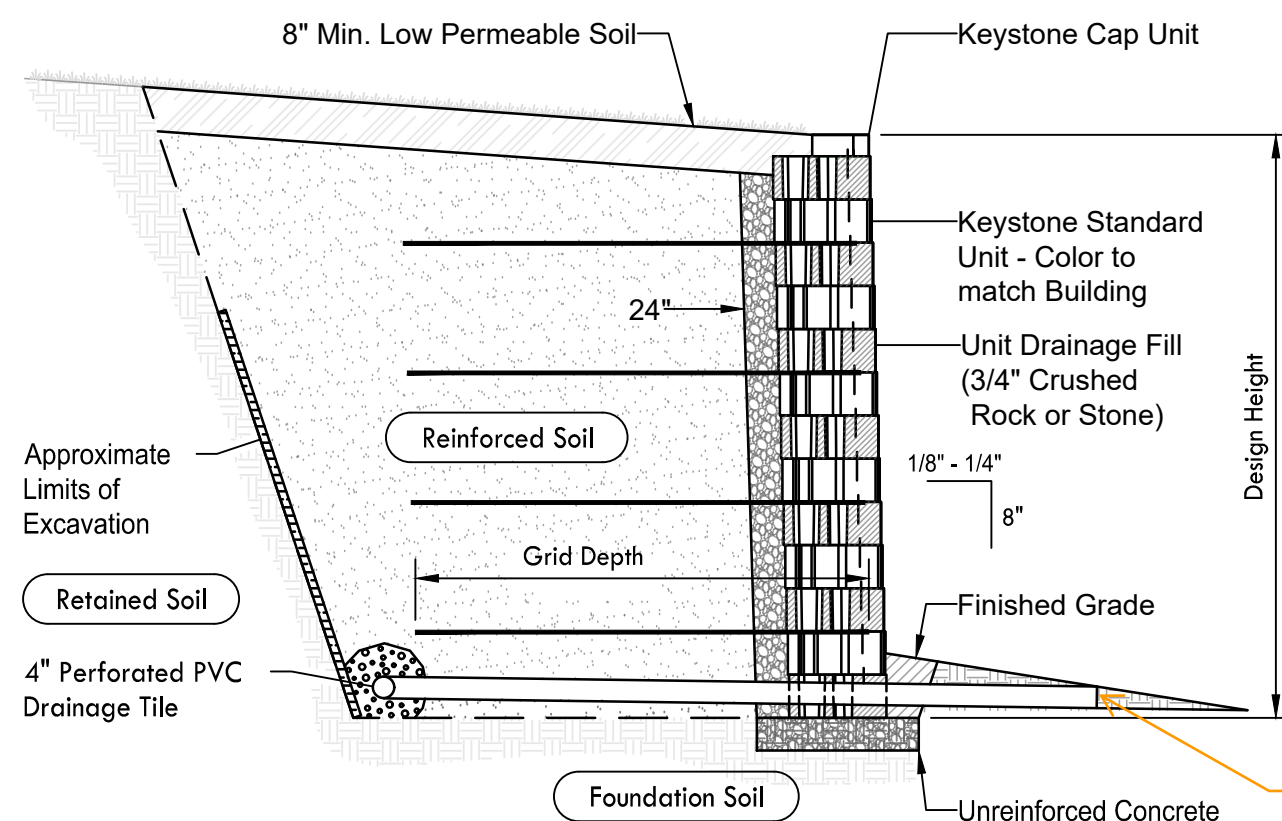
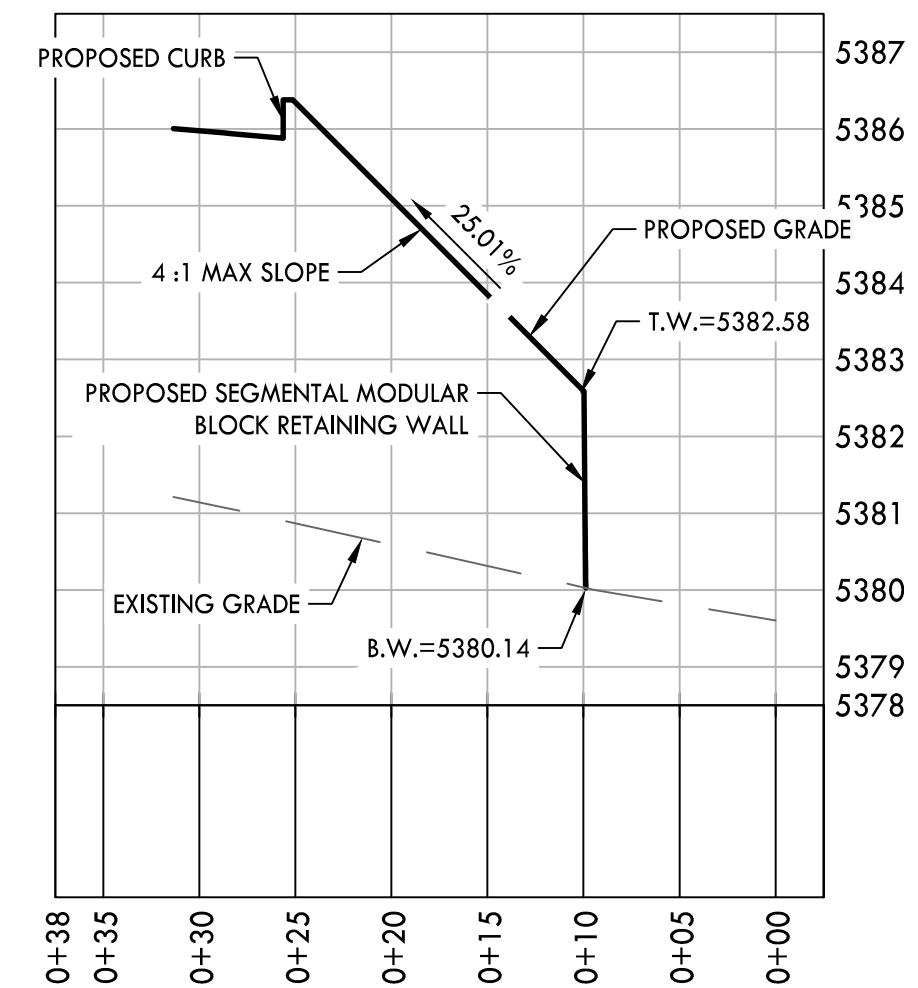
Retaining Wall A X-Section 3



Retaining Wall A X-Section 4



Retaining Wall B X-Section 2



SEGMENTAL RETAINING WALL

NOT TO SCALE

Show pipes on the site and grading plans. They may not extend into City Open Space.

DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL

ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

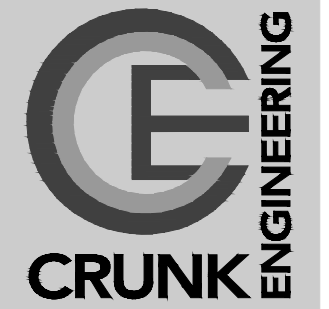
PLAN PREPARED:
06/15/2022

REV 1 09/21/2022
REV 2 11/08/2022
REV 3 12/12/2022
REV 4 01/18/2022

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 19 OF 57

W 115TH AVE



DATE: 06/15/2022

DATE:

NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

19 OF 57
OVERALL UTILITY PLAN

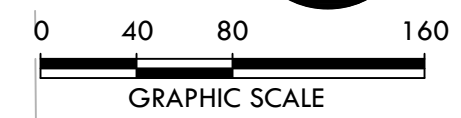
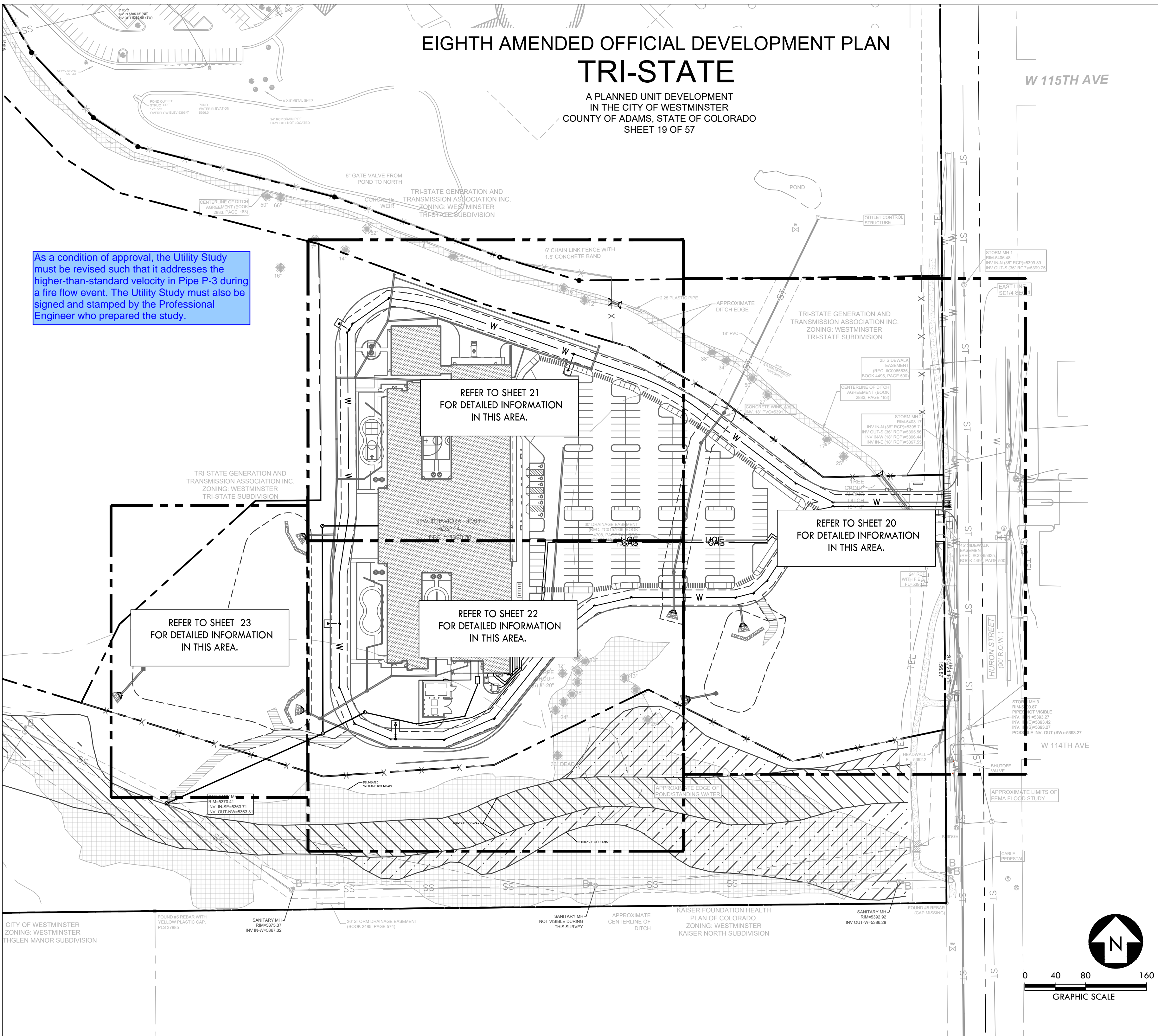
As a condition of approval, the Utility Study must be revised such that it addresses the higher-than-standard velocity in Pipe P-3 during a fire flow event. The Utility Study must also be signed and stamped by the Professional Engineer who prepared the study.

REFER TO SHEET 21
FOR DETAILED INFORMATION
IN THIS AREA.

REFER TO SHEET 20
FOR DETAILED INFORMATION
IN THIS AREA.

REFER TO SHEET 23
FOR DETAILED INFORMATION
IN THIS AREA.

REFER TO SHEET 22
FOR DETAILED INFORMATION
IN THIS AREA.



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 20 OF 57



DATE: 06/15/2022

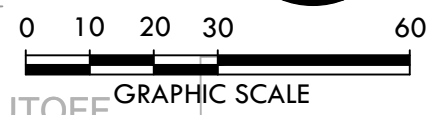
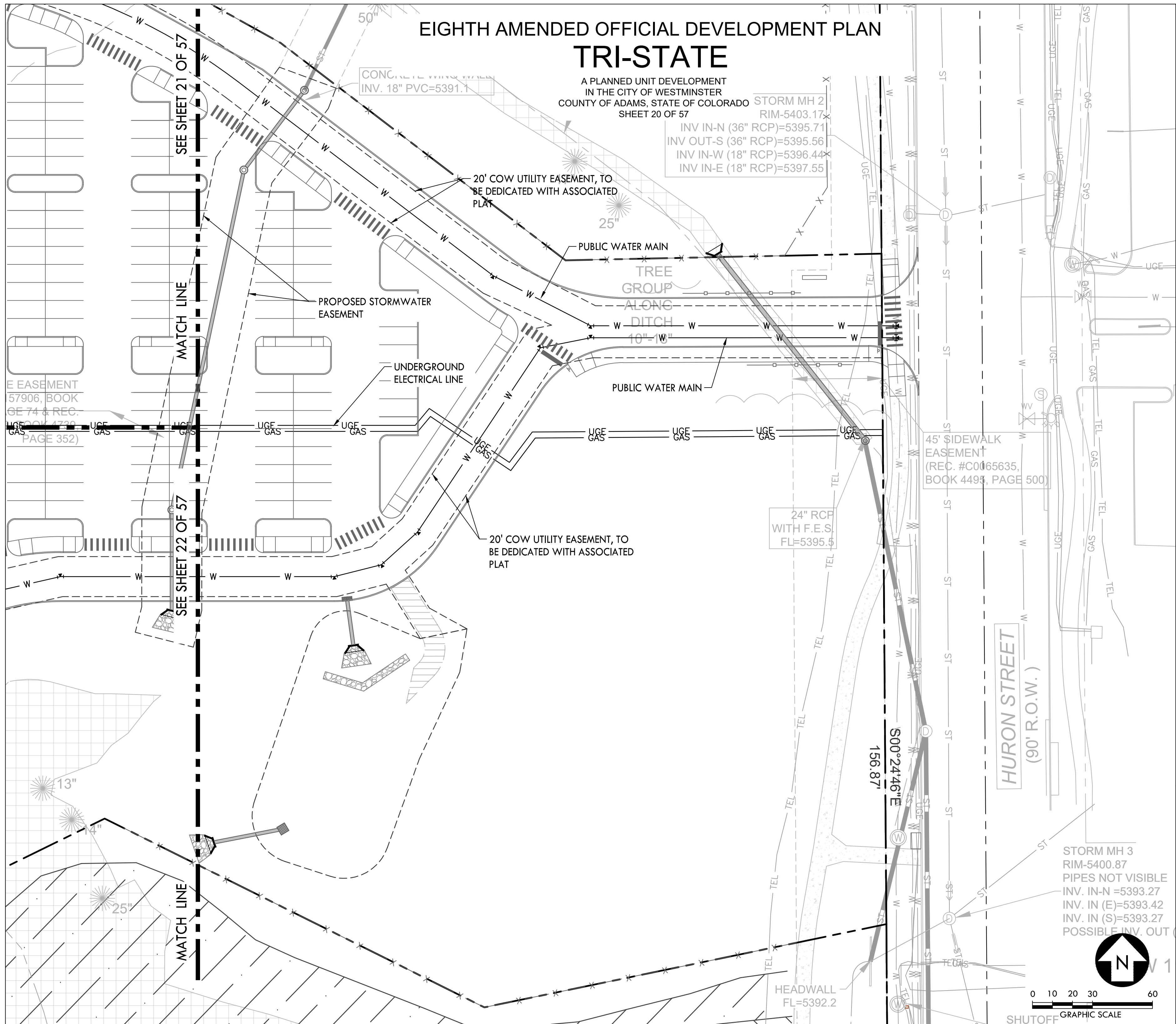
NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

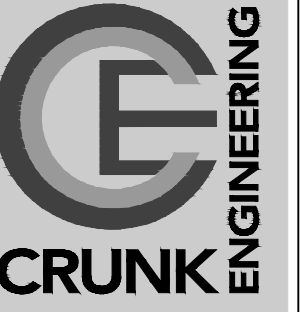
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

20 OF 57
UTILITY PLAN



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 21 OF 57



DATE: 06/15/2022

DATE:

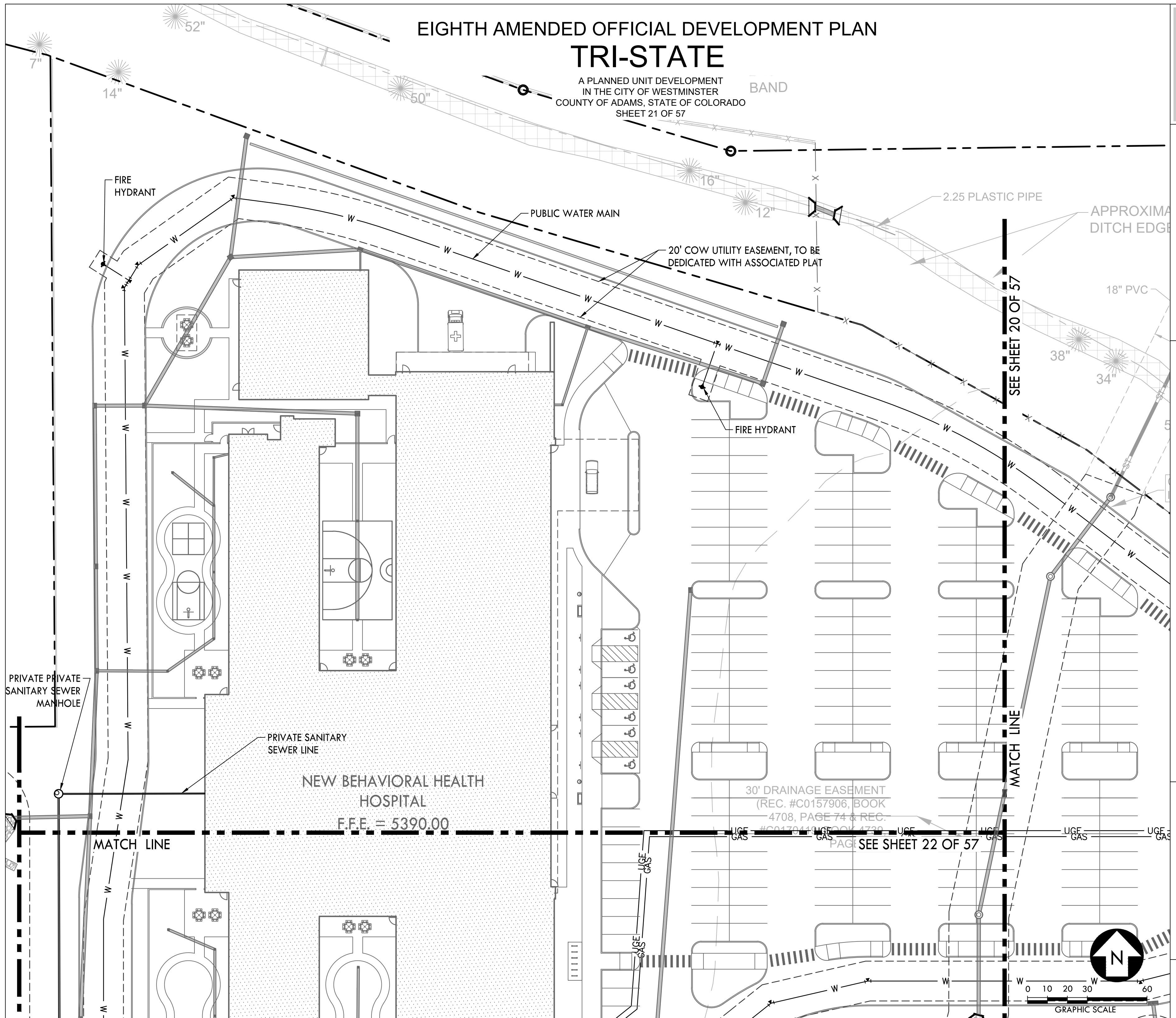
NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

21 OF 57
UTILITY PLAN



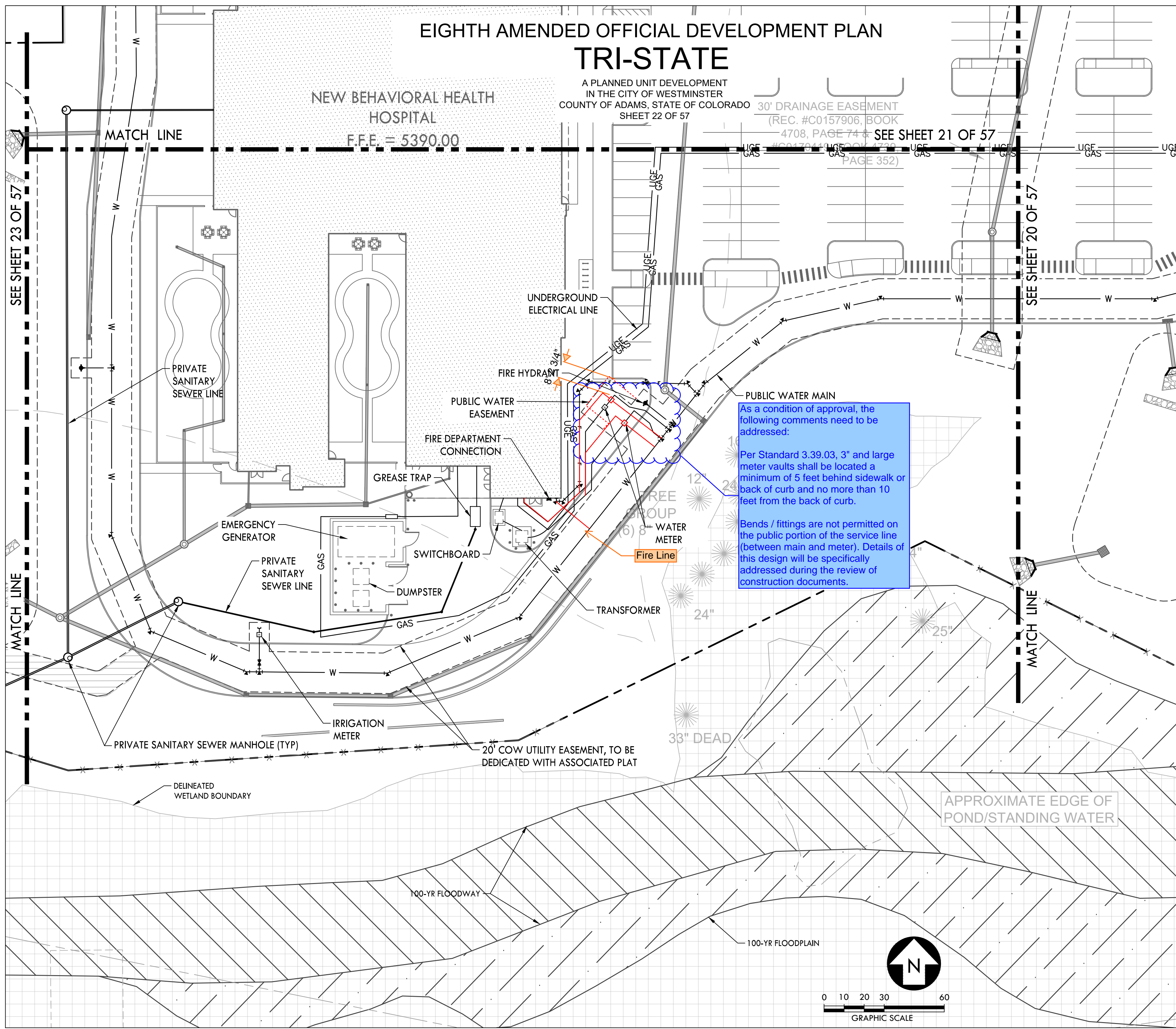
EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 22 OF 57



NEW BEHAVIORAL HEALTH
HOSPITAL
F.F.E. = 5390.00

30' DRAINAGE EASEMENT
(REC. #C0157906, BOOK
4708, PAGE 74 & SEE SHEET 21 OF 57
#C0179419 UGE DOU 4739
PAGE 352)



As a condition of approval, the following comments need to be addressed:

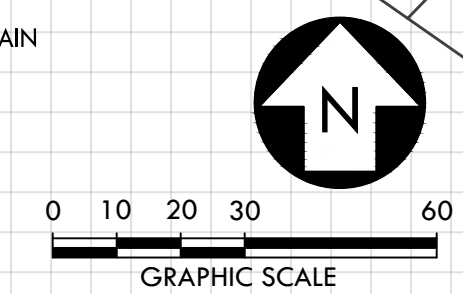
Per Standard 3.39.03, 3" and large meter vaults shall be located a minimum of 5 feet behind sidewalk or back of curb and no more than 10 feet from the back of curb.

Bends / fittings are not permitted on the public portion of the service line (between main and meter). Details of this design will be specifically addressed during the review of construction documents.

DATE: 06/15/2022

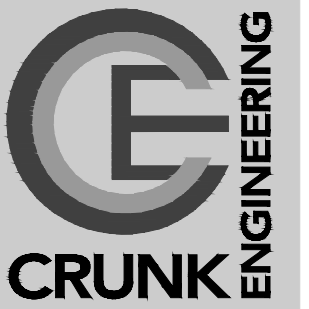
**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 23 OF 57



DATE: 06/15/2022

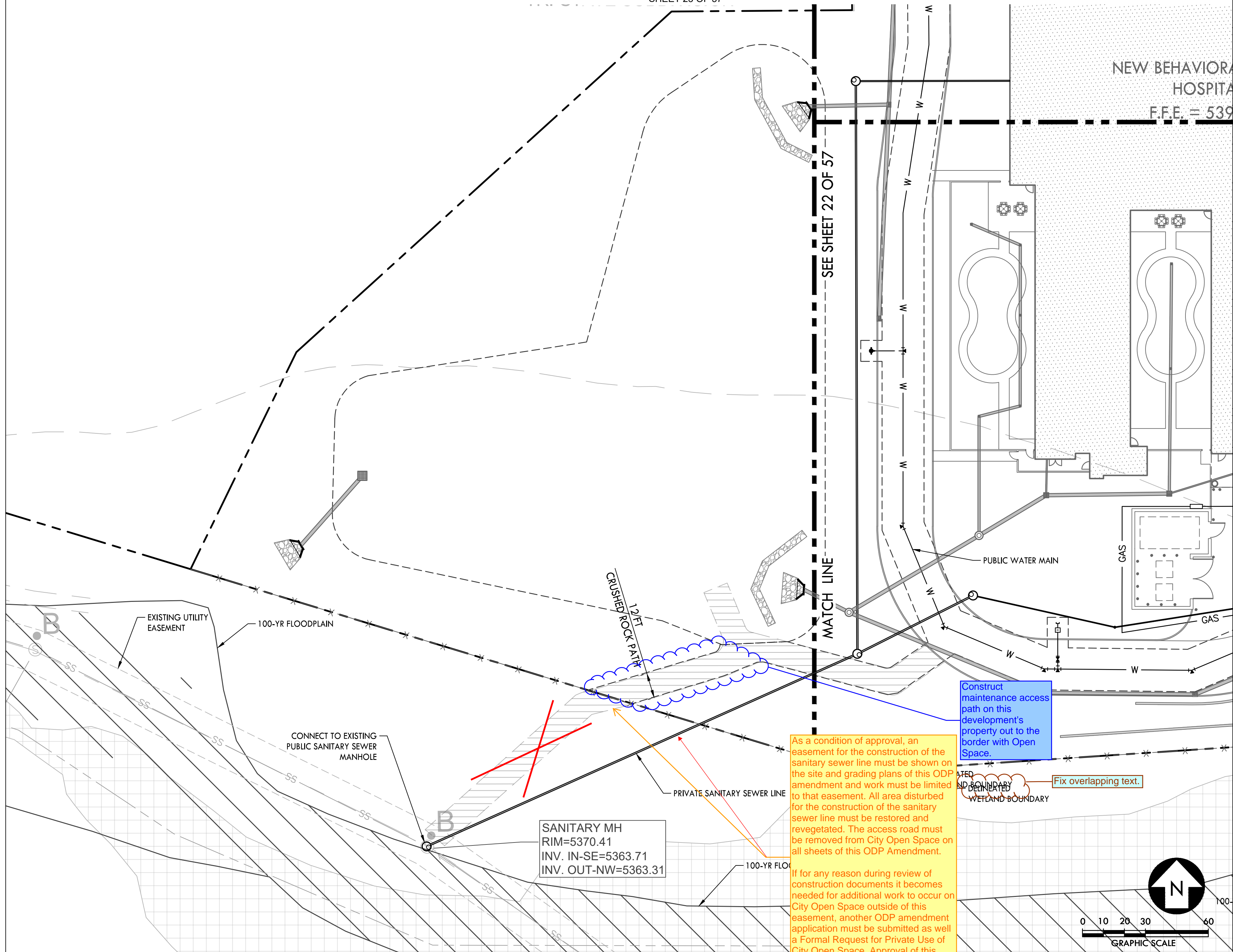
NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

23 OF 57
UTILITY PLAN



Construct maintenance access path on this development's property out to the border with Open Space.

Fix overlapping text.

As a condition of approval, an easement for the construction of the sanitary sewer line must be shown on the site and grading plans of this ODP amendment and work must be limited to that easement. All area disturbed for the construction of the sanitary sewer line must be restored and revegetated. The access road must be removed from City Open Space on all sheets of this ODP Amendment.

If for any reason during review of construction documents it becomes needed for additional work to occur on City Open Space outside of this easement, another ODP amendment application must be submitted as well as a Formal Request for Private Use of City Open Space. Approval of this Formal Request would not be guaranteed.

TREE PRESERVATION NOTES:

TREE PRESERVATION PLAN

- AN EXISTING CONDITIONS PLAN MUST BE SUBMITTED TO AND APPROVED BY THE CITY OF WESTMINSTER PRIOR TO ANY SITE ACTIVITY OR DISTURBANCE. THE PLAN SHALL IDENTIFY ALL EXISTING TREES 4" CALIPER AND LARGER ON THE SITE AND WITHIN 50' OF THE SITE BOUNDARIES. THE PLAN SHALL INCLUDE A CHART SPECIFYING SIZE, SPECIES, CONDITION AND DISPOSITION FOR EACH EXISTING TREE. THE PLAN SHALL ALSO IDENTIFY ALL PLANT PROTECTION ZONES. NO DEVELOPMENT OR BUILDING PERMIT SHALL BE ISSUED UNTIL THE TREE PRESERVATION PLAN IS REVIEWED AND APPROVED BY THE CITY OF WESTMINSTER'S PLANNING DIVISION.
- ADDITIONAL PROTECTION MAY BE REQUIRED FOR AREAS WARRANTED BY THE CITY OF WESTMINSTER OR COLORADO PARKS AND WILDLIFE TO ADD AESTHETIC VALUE, PROTECT WILDLIFE, OR PRESENT DESIRABLE QUALITIES OR NATURAL FEATURES.

PLANT PROTECTION ZONE

- PRIOR TO AND DURING ALL PHASES OF CONSTRUCTION, ALL TREES AND PLANT MATERIAL TO BE PRESERVED SHALL BE CONTAINED IN A PLANT PROTECTION ZONE. THE PLANT PROTECTION ZONE SHALL BE ENCLOSED WITH A CONTINUOUS PROTECTIVE BARRIER CONSISTING OF CHAIN LINK TYPE FENCING 4' IN HEIGHT. THE FENCING SHALL EXTEND FROM DRIP LINE TO DRIP LINE OR 1' FOR EVERY CALIPER INCH IN DIAMETER OF THE TREE, WHICHEVER IS GREATER. FOR GROUPINGS OF TREES, THE FENCING SHALL ENCLOSE THE CRITICAL ROOT ZONE OF THE ENTIRE STAND OF TREES. FENCING MAY BE REQUIRED TO EXTEND OUTSIDE OF THE CRITICAL ROOT ZONE IN ORDER TO PRESERVE NATURAL VEGETATION THAT MIGHT SUPPORT OR PROTECT THE HEALTH OF AN EXISTING TREE.
- ACCESS WITHIN THE PROTECTION ZONE SHALL BE RESTRICTED. ANY TRESPASS MUST HAVE PRIOR APPROVAL FROM THE CITY OF WESTMINSTER FORESTER.
- GRADING OR DISTURBANCE OF ANY OF THE NATURAL GROUND COVER AND UNDERSTORY VEGETATION IS PROHIBITED WITHIN THE PROTECTION ZONE.
- SUPPLEMENTAL IRRIGATION IS REQUIRED FOR ALL TREES AND VEGETATION WITHIN THE PROTECTION ZONE AND SHALL BE USED TO SUSTAIN TYPICAL PRE-DISTURBANCE SOIL MOISTURE CONDITIONS.
- ALL POSSIBLE EROSION INTO THE PROTECTION ZONE MUST BE PREVENTED WITH SILT FENCING INSTALLED OUTSIDE OF THE PROTECTION ZONE.
- NO STORAGE OR GATHERING OF MATERIALS SHALL BE PERMITTED IN THE PROTECTION ZONE. NO EQUIPMENT OR VEHICLE TRESPASS IS ALLOWED IN THE PROTECTIVE ZONE.
- NO GRADING, TRESPASS, PRUNING, EROSION OR STORAGE OF ANY MATERIAL IS ALLOWED IN PROTECTION ZONES BEING PRESERVED AS PUBLIC LAND.

WORK WITHIN THE PLANT PROTECTION ZONE

- ACCESS WITHIN THE PROTECTION ZONE IS RESTRICTED AND ANY TRESPASS INTO THE ZONE MUST HAVE PRIOR APPROVAL FROM THE CITY OF WESTMINSTER PLANNING DIVISION.
- CUT OR FILL IN THE DRIP LINE OF PROTECTED TREES IS LIMITED TO 3" AND SHALL BE PERFORMED BY HANDWORK ONLY.
- IN THE EVENT THAT ANY WORK MUST BE PERFORMED WITHIN THE PROTECTION ZONE, ALL TREE TRUNKS IN THE ZONE SHALL BE PROTECTED WITH WOOD SLATS. THE TREES SHALL BE WRAPPED IN BURLAP AND THEN THE SLATS SHALL BE HORIZONTALLY ATTACHED WITHOUT DAMAGE TO THE TREE AND WITH GAPS BETWEEN THE SLATS NO LARGER THAN 2". PROTECTIVE SLATS SHALL BE NO SMALLER THAN 2" X 4".
- IF MACHINERY OR HEAVY TRAFFIC IS PERMITTED IN THE PROTECTION ZONE, THE CONTRACTOR SHALL PROVIDE A 12" LAYER OF WOOD MULCH OVER THE ROOT ZONE DURING THE ACCESS PERIOD. SUPPLEMENTAL RE-SEEDING MAY ALSO BE REQUIRED. ALL LOW HANGING LIMBS MUST BE PROTECTED, AND OVERHEAD CLEARANCE FOR ALL MACHINERY MUST BE MAINTAINED DURING THE ACCESS PERIOD. ALL LIMB TYING AND PRUNING MUST BE APPROVED BY THE CITY OF WESTMINSTER FORESTER.
- ALL TREE CARE AND PRUNING MUST FOLLOW CURRENT ISA AND ANSI STANDARDS.

ROOT PROTECTION

- AVOID CUTTING ANY ROOTS.
- IF ROOTS ARE ENCOUNTERED AND EXCEED 3" IN DIAMETER, THEY SHALL BE TUNNELED UNDER WITH MINIMUM DAMAGE TO THE SURROUNDING ROOTS, OR IF ABSOLUTELY NECESSARY, PROPERLY PRUNED BY A CERTIFIED OR LICENSED ARBORIST ONLY.
- NO SUBSTANCE THAT MIGHT CAUSE DAMAGE TO EXISTING OR FUTURE VEGETATION SHALL BE ALLOWED IN THE PROTECTIVE ZONE. ANY INTRODUCTION OF HARMFUL FOREIGN SUBSTANCES INTO THE PROTECTION ZONE SHALL BE REPORTED TO THE CITY LANDSCAPE ARCHITECT AND IMMEDIATELY REMOVED AND DISPOSED.

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 24 OF 57

STANDARD STATEMENTS:

- A. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- B. THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- C. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- D. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- E. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS.
- F. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- G. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- H. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. 4"-DEPTH ORGANIC SHREDDED HARDWOOD MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- I. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAT.
- J. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- K. TWENTY PERCENT OF THE TOTAL NUMBER OF REQUIRED DECIDUOUS TREES MUST BE INCREASED IN SIZE TO A MINIMUM OF 3 INCHES IN CALIPER. TWENTY PERCENT OF THE TOTAL NUMBER OF REQUIRED EVERGREEN TREES MUST BE INCREASED IN SIZE TO 8 FEET IN HEIGHT.

PRIVATE LANDSCAPE AREA (SF)			
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
TREES	1/550 SF	174	174
SHRUBS	3/550 SF	523	630

RIGHT-OF-WAY LANDSCAPE AREA (SF)			
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED*
TREES	1/550 SF	11	11
SHRUBS	3/550 SF	33	53

* EXISTING UTILITIES IN R.O.W. PREVENT NEW PLANTINGS, PLANTINGS ARE INSTEAD PROVIDED AT ENTRY AND ADJACENT TO EXISTING WALK OUTSIDE OF ROW.

These counts must match the counts on the plant list and do not in this plan set.

DETENTION POND AREA (SF)			
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED*
TREES	1/550 SF	46	46
SHRUBS	3/550 SF	138	138

These should be included in the total for the site only and not separately.

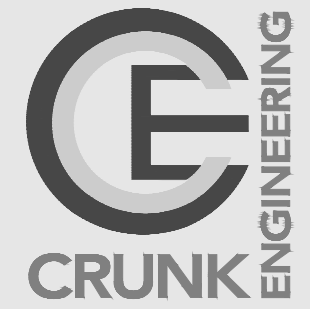
* COUNTS INCLUDED IN TOTAL PRIVATE LANDSCAPE AREA PLANT COUNTS LISTED ABOVE.

USE	SURFACE TYPE	AREA (SF)	% OF SITE
COMMERCIAL	BUILDING COVERAGE	58,110	12.11%
	PAVING AND DRIVES	153,265	31.94%
	LANDSCAPE OPEN AREA	263,278	54.85%
	ROW AREA	5,261	1.10%
TOTALS:		479,914	100.00%

LANDSCAPE REGULATIONS SECTION X.A:
 20% OF SITE SHALL BE LANDSCAPED, EXCLUDING ROW AREA
 20% OF 479,914 IS 95,982 SF
 95,914 / 550 = 174 TREES AND 523 SHRUBS REQUIRED

LANDSCAPE WATER BUDGET				
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL USE (GAL)	
HIGH	0.00%	0	x 18 GAL =	0
MEDIUM	2.41%	5,309.54	x 10 GAL =	53,095.4
LOW	97.59%	215,282.32	x 3 GAL =	645,846.9
TOTAL ALL HYDROZONES	100	220,591.86	TOTAL GAL:	698,942.4
TOTAL GAL / LANDSCAPE AREA =			3.17	GAL / SF

SOIL AMENDMENT REQUIRED				
AREA (SF)				
PRIVATE AREA (SF)	224,870	x 5 YDS/1000 SF =	1124.35	CU. YDS.
R.O.W. AREA (SF)	5,261	x 5 YDS/1000 SF =	26.3	CU. YDS.
TOTAL:			1150.65	CU. YDS.



DATE: 06/15/2022

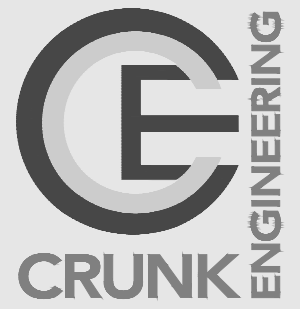
NEW BEHAVIORAL HEALTH HOSPITAL
 ACADIA HEALTHCARE
 11455 HURON ST
 WESTMINSTER, CO 80234

PLAN PREPARED:
 06/15/2022
 REV 1 09/21/2022
 REV 2 11/08/2022
 REV 3 12/12/2022
 REV 4 01/18/2022

24 OF 57
 LANDSCAPE
 DATA

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 25 OF 57



PLANTING SCHEDULE:

	HYDRO-ZONE	ABR.	COMMON NAME	BOTANICAL NAME	QTY	SIZE	NOTES	MATURE HEIGHT	MATURE WIDTH
SHADE TREES	M	CK	AMERICAN YELLOWWOOD	CLADRASTIS KENTUKEA	1	2" CALIPER	B&B	40'	40'
	M	PE	EXCLAMATION! PLANETREE	PLATANUS X ACERFOLIA 'EXCLAMATION!'	2	3" CALIPER	B&B	50'	25'
	M	PX	LANCELEAF COTTONWOOD	POPULUS X ACUMINATA	6	3" CALIPER	B&B	40'	30'
	M	SJ	JAPANESE PAGODATREE	STYPHNOLOBIUM JAPONICA	3	3" CALIPER	B&B	50'	50'
	M	UP	ALLEE LACEBARK ELM	ULMUS PARVIFOLIA ALLEE	9	2" CALIPER	B&B	60'	35'
	L	AM	HIGHLAND PARK MAPLE	ACER X GRANDIDENTATUM HIGHLAND PARK	18	2" CALIPER	B&B	25'	20'
	L	CS	WESTERN CATALPA	CATALPA SPECIOSA	17	2" CALIPER	B&B	50'	30'
	L	GD	KENTUCKY COFFEE TREE	GYNOCLADUS DIOICA	7	3" CALIPER	B&B	60'	50'
	L	KP	GOLDENRAIN TREE	KOELREUTERIA PANICULATA	2	2" CALIPER	B&B	30'	25'
	L	QM	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	8	2" CALIPER	B&B	40'	40'
ORNAMENTAL TREE	L	QR	REGAL PRINCE OAK	QUERCUS ROBUR X BICOLOR 'LONG'	3	2" CALIPER	B&B	45'	20'
	M	MP	PRAIRIEFIRE CRABAPPLE	MALUS 'PRAIRIEFIRE'	5	2" CALIPER	B&B	20'	20'
EVERGREEN TREES	M	CV	WINTER KING HAWTHORN	CRATAEGUS VIRIDIS 'WINTER KING'	5	2" CALIPER	B&B	30'	20'
	M	AC	WHITE FIR	ABIES CONCOLOR	10	6' HEIGHT	B&B	50'	20'
	M	PP	BABY BLUE COLORADO SPRUCE	PICEA PUNGENS BABY BLUE	20	6' HEIGHT	B&B	50'	20'
	L	JS	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	33	8' HEIGHT	B&B	15'	5'
	L	PA	BRISTLECONE PINE	PINUS ARISTATA	11	6' HEIGHT	B&B	30'	15'
	L	PL	EMERALD ARROW BOSNIAN PINE	PINUS LEUCODERMIS 'EMERALD ARROW'	17	6' HEIGHT	B&B	15'	10'
	L	PS	SCOTCH PINE	PINUS SYLVESTRIS	14	6' HEIGHT	B&B	40'	20'
	TOTAL ALL NEW TREES:					192			
EXISTING TREES TO REMAIN			PLAINS COTTONWOOD	POPULUS DELTOIDES	13			80'	60'
			CRACK WILLOW	SALIX FRAGILIS	6			60'	40'
			SIBERIAN ELM	ULMUS PUMILA	1			60'	40'
DECIDUOUS SHRUBS	M	CHR	ROCK COTONEASTER	COTONEASTER HORIZONTALIS	39	5 GAL.	CONT.	2'	5'
	M	CSA	ARCTIC FIRE DOGWOOD	CORNUS SERICEA ARCTIC FIRE	51	5 GAL.	CONT.	3'	3'
	M	HSL	LUCY ROSE-OF-SHARON	HIBISCUS SYRIACUS 'LUCY'	3	5 GAL.	CONT.	8'	7'
	M	RRD	DOUBLE KNOCK OUT ROSE	ROSA 'RADTKO'	13	5 GAL.	CONT.	3'	3'
	M	SJL	LIMEMOUND SPIREA	SPIRAEA JAPONICA LIMEMOUND	52	5 GAL.	CONT.	2'	2'
	M	VDB	BLUE MUFFIN VIBURNUM	VIBURNUM DENTATUM BLUE MUFFIN	6	5 GAL.	CONT.	6'	3'
	L	CCD	DARK NIGHT SPIREA	CARYOPTERIS CLANDONENSIS 'DARK KNIGHT'	158	5 GAL.	CONT.	3'	2'
	L	CAT	TOM THUMB COTONEASTER	COTONEASTER ADPRESSUS 'TOM THUMB'	185	5 GAL.	CONT.	1'	5'
	L	CLP	PEKING COTONEASTER	COTONEASTER LUCIDUS	6	5 GAL.	CONT.	9'	7'
	L	CPP	PYGMY PEASHRUB	CARAGANA PYGMAEA	5	5 GAL.	CONT.	3'	4'
	L	CND	DWARF RABBITBRUSH	CHRYSOTHAMNUS VAR. SPECIOSA	24	5 GAL.	CONT.	2'	2'
	L	PAR	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5	5 GAL.	CONT.	3'	3'
	L	POL	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS LITTLE DEVIL	26	5 GAL.	CONT.	6'	6'
	L	PSS	SNOWBELLE MOCKORANGE	PHILADELPHUS X 'SNOWBELLE'	16	5 GAL.	CONT.	3'	3'
	L	RAA	ALPINE CURRANT	RIBES ALPINUM	17	5 GAL.	CONT.	5'	5'
	L	SPM	MISS KIM DWARF LILAC	SYRINGA PATULA 'MISS KIM'	22	5 GAL.	CONT.	4'	4'
	EVERGREEN SGRUBS	L	SVP	PUPRLE LILAC	SYRINGA VULGARIS	10	5 GAL.	CONT.	12'
M		PAP	DWARF NORWAY SPRUCE	PICEA ABIES 'PUMILA'	12	5 GAL.	CONT.	3'	5'
L		JHB	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	11	5 GAL.	CONT.	1'	7'
L		PMS	SLOWMOUND MUGO PINE	PINUS MUGO 'SLOWMOUND'	1	5 GAL.	CONT.	4'	6'
L		PMW	WHITE BUD MUGO PINE	PINUS MUGO 'WHITE BUD'	18	5 GAL.	CONT.	2'	4'
TOTAL ALL SHRUBS:					680				
GRASSES	L	BGB	BLONDE AMBITION GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	58	1 GAL.	CONT.	2'	1'
	L	CAV	VARIEGATED FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'AVALANCHE'	19	1 GAL.	CONT.	3'	2'
	L	PVH	HOT ROD RED SWITCHGRASS	PANICUM VIRGATUM 'HOT ROD'	33	1 GAL.	CONT.	3'	1'
	L	SHP	PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPIS	15	1 GAL.	CONT.	2'	2'
	L	SSB	THE BLUES LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	86	1 GAL.	CONT.	3'	2'
	PERENNIALS	L	ACS	SONORAN SUNSET HYSSOP	AGASTACHE CANA SONORAN SUNSET	30	1 GAL.	CONT.	2'
L		SAJ	AUTUMN JOY STONECROP	SEDUM 'AUTUMN JOY'	17	1 GAL.	CONT.	2'	1'
L		RFB	GOLDSTRUM BLACK-EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	22	1 GAL.	CONT.	2'	2'
TOTAL ALL PERENNIALS & GRASSES					818				
TURF	L		CANADIAN BLUE FESCUE™	FROM TURFMASTER SOD LLC.	119,456 SF	ROLLS	SOD		
TOTAL ALL TURF (SF):					119,456 SF				

DATE: 06/15/2022

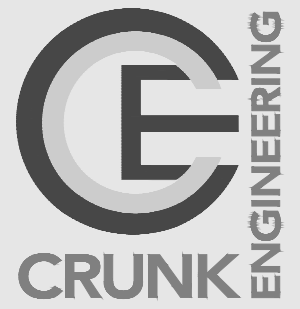
NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
 11455 HURON ST
 WESTMINSTER, CO 80234

PLAN PREPARED:
 06/15/2022
 REV 1 09/21/2022
 REV 2 11/08/2022
 REV 3 12/12/2022
 REV 4 01/18/2022

25 OF 57
 PLANTING
 SCHEDULE

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 26 OF 57



DATE: 06/15/2022

WESTMINSTER LOW HYDROZONE "LOWLAND" SEED MIX 1 FOR STORMWATER TREATMENT FACILITIES <i>BELOW</i> THE WQCV				
COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS* LBS PER 1000 SF	PERCENT OF MIX
SLOUGHGRASS	BECKMANNIA SYZIGACHNE		0.36	9
CANADA WILDRYE	ELYMUS CANADENSIS	MANADAN	0.64	16
ARIZONA FESCUE	FESTUCA ARIZONICA	REDONDO	0.72	18
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	ARIBA	0.64	16
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA		0.64	16
ALKALI SACATON	SPOROBOLUS AIROUDES		0.64	16
FRINGED SAGE	ARTEMISIA FRIGIDA		0.04	1
PRAIRIE ASTER	ASTER TANACETIFOLIUS		0.08	2
WILD LUPINE**	LUPINUS ARGENTEUS		0.08	2
BLACK-EYED SUSAN	RUDBECKIA HIRTA		0.08	2
MILKWEED	ASCLEPIAS INCARNATA		0.08	2
TOTALS:			4.00	100
*PLS = PURE LIVE SEED				
**MAY SUBSTITUTE PURPLE CONEFLOWER AS NEEDED FOR AVAILABILITY				
WESTMINSTER LOW HYDROZONE SEED MIX 2 FOR THE SIDES OF STORMWATER DETENTION BASINS <i>ABOVE</i> THE WQCV				
COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS* LBS PER 1000 SF	PERCENT OF MIX
ROCKY MOUNTAIN	FESTUCA SAXIMONTANA		0.560	14
BLUE GRAMA	BOUTELOUA GRACILIS	LOVINGTON	0.520	13
SQUIRRELTAIL	ELYMUS ELYMOIDES	PEUBLO	0.400	10
SWITCHGRASS	PANICUM VIRGATUM	NEBRASKA	0.400	10
BUNCH WHEATGRASS	PSEUDOROEGNERIA SPICATA	ANATONE	0.800	20
YELLOW INDIANGRASS	SORGHASTRUM NUTANS	LLANA	0.800	20
FRINGED SAGE	ARTEMISIA FRIGADA		0.040	1
PRAIRIE ASTER	ASTER TANACETIFOLIUS		0.040	1
BLANKET FLOWER	GAILLARDIA ARISTATA		0.160	4
WESTERN BLUE IRIS**	IRIS MISSOURIENSIS		0.160	4
BUTTERFLY WEED	ASCLEPIAS TUBEROSA		0.120	3
TOTALS:			4.000	100
*PLS = PURE LIVE SEED				
**MAY SUBSTITUTE SHELL-LEAF PENSTEMON				
COULD SUBSTITUTE INLAND SALTGRASS FOR A WARM SEASON GRASS IF AREA IS EXPOSED TO SALTS.				
WESTMINSTER OPEN SPACE MIX				
COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS* LBS PER 1000 SF	PERCENT OF MIX
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA		0.312	13.88
BLUE GRAMA	BOUTELOUA GRACILIS	ALMA / NATIVE	0.569	25.31
BUFFALOGRASS	BUCHLOE DACTYLOIDES	NATIVE	0.826	36.73
PRAIRIE SANDREED	CALAMOVILFA LONGIFOLIA		0.285	12.65
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM		0.220	9.80
ALKALI SACATON	SPOROBOLUS AIROIDES	NATIVE	0.037	1.63
TOTALS:			2.250	100
*PLS = PURE LIVE SEED				

NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

EIGHTH AMENDED OFFICIAL
DEVELOPMENT PLAN
TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 27 OF 57



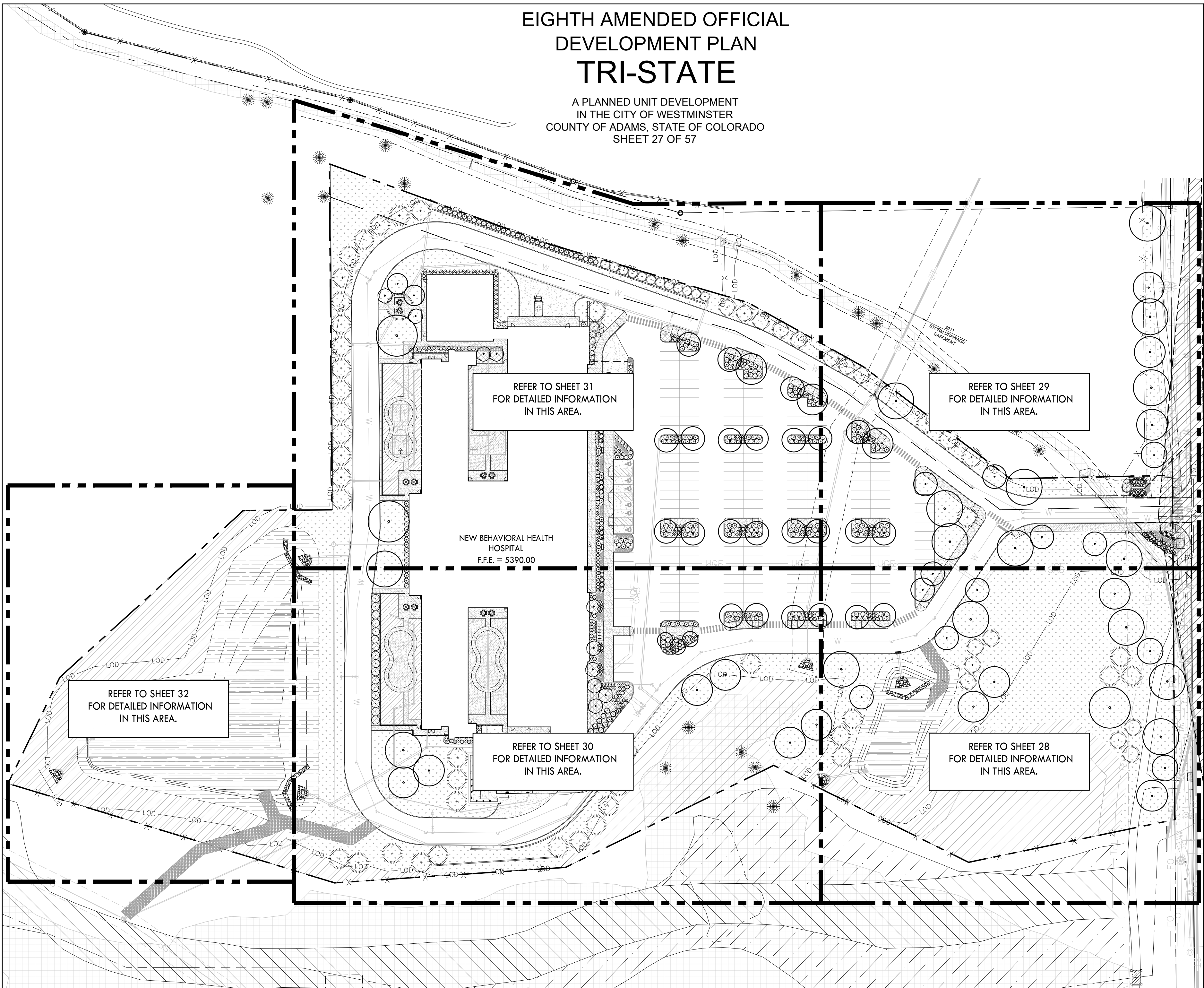
DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**

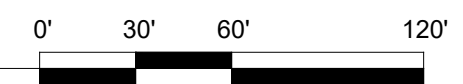
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

27 OF 57
OVERALL
LANDSCAPE

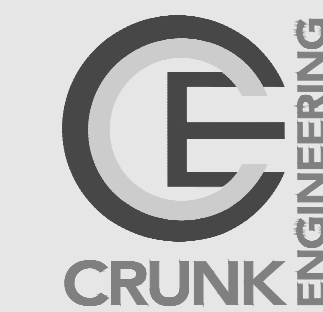


1 OVERALL LANDSCAPE PLAN
SCALE: 1" = 60'-0"



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 28 OF 57



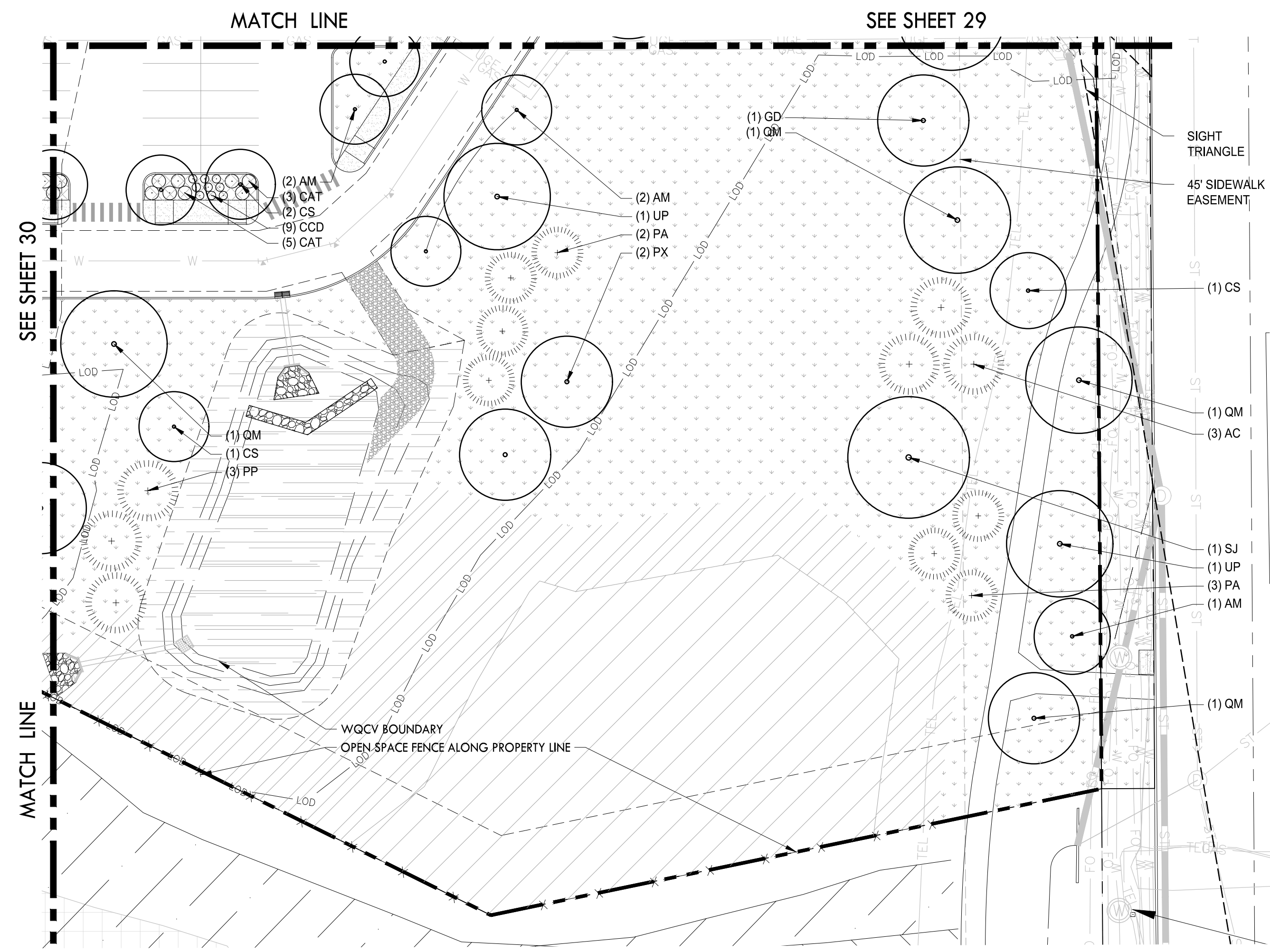
DATE: 06/15/2022

DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
 11455 HURON ST
 WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

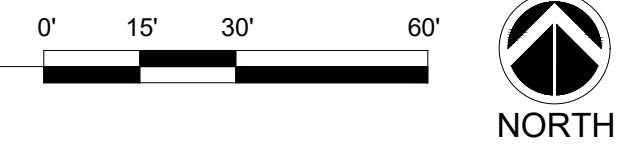
28 OF 57
ENLARGED
PLAN



- ODP LEGEND**
- ZONE LOT LINE
 - ORGANIC MULCH TYPE 1
 - CANADIAN BLUE FESCUE FROM TURFMASTER LLC, IRRIGATED, XERIC TURFGRASS
 - LOWLAND SEED MIX BELOW WQCV
 - BASIN** SEED MIX ABOVE WQCV
 - WESTMINSTER OPEN SPACE SEED MIX
 - EXISTING CONDITION TO REMAIN
 - EXISTING WETLAND AREA
 - FEMA FLOODZONE BOUNDARY
 - DECIDUOUS TREES
 - ORNAMENTAL TREES
 - EVERGREEN TREES
 - DECIDUOUS SHRUBS
 - EVERGREEN SHRUBS
 - ORNAMENTAL GRASSES
 - PERENNIALS
 - EXISTING TREE TO REMAIN

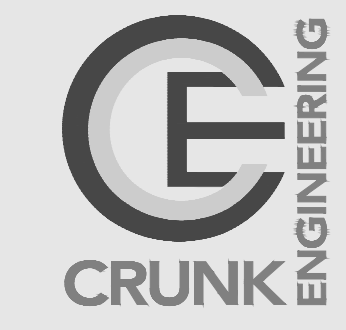
Change the name of this hatch, all sheets.

1 ENLARGED LANDSCAPE PLAN
SCALE: 1" = 30' - 0"



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 29 OF 57



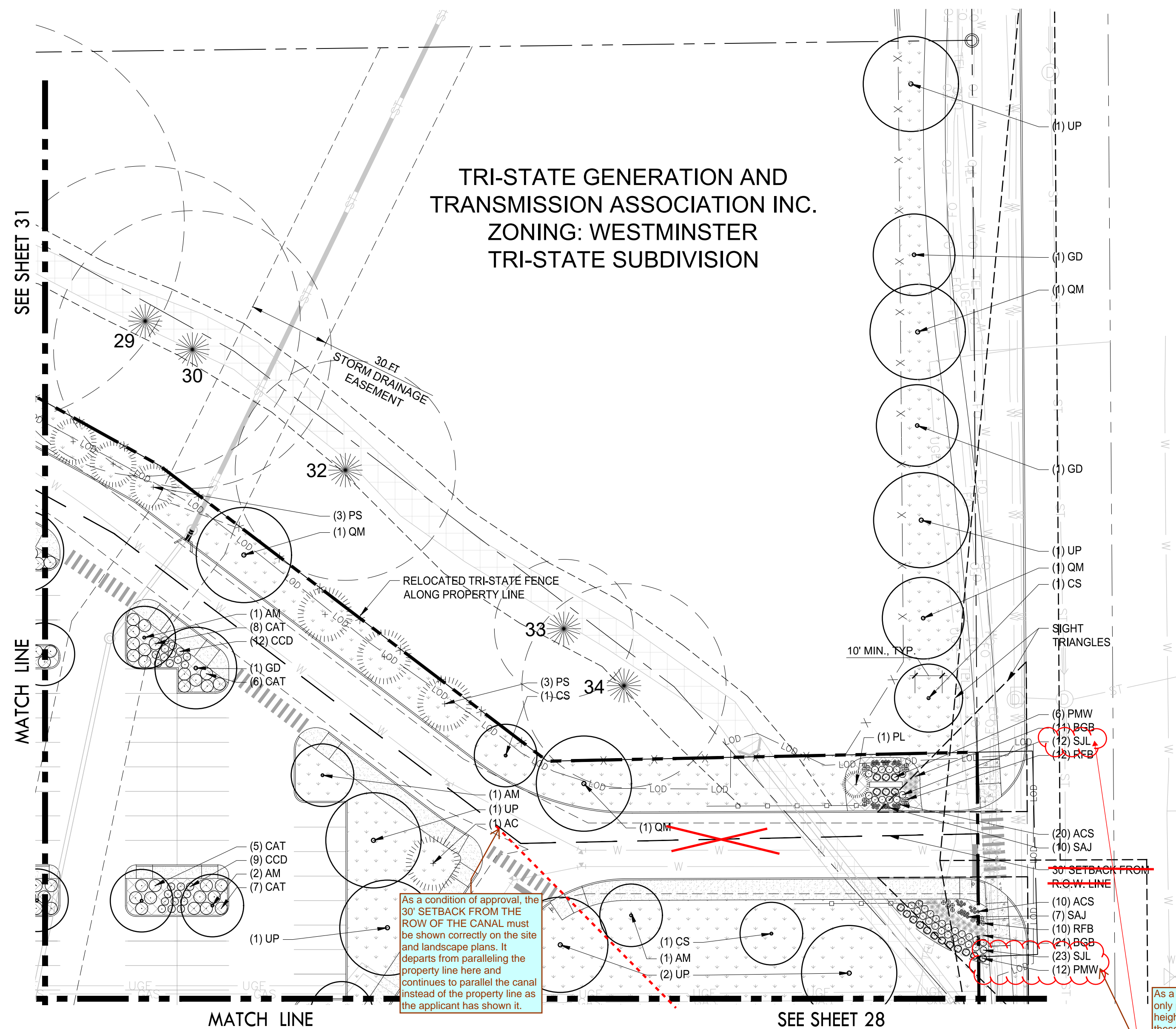
DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

29 OF 57
ENLARGED
PLAN



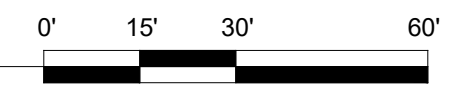
- ODP LEGEND**
- ZONE LOT LINE
 - ORGANIC MULCH TYPE 1
 - CANADIAN BLUE FESCUE FROM TURFMASTER LLC, IRRIGATED, XERIC TURFGRASS
 - LOWLAND SEED MIX BELOW WQCV
 - LOWLAND SEED MIX ABOVE WQCV
 - WESTMINSTER OPEN SPACE SEED MIX
 - EXISTING CONDITION TO REMAIN
 - EXISTING WETLAND AREA
 - FEMA FLOODZONE BOUNDARY
 - DECIDUOUS TREES
 - ORNAMENTAL TREES
 - EVERGREEN TREES
 - DECIDUOUS SHRUBS
 - EVERGREEN SHRUBS
 - ORNAMENTAL GRASSES
 - PERENNIALS
 - EXISTING TREE TO REMAIN

NOTE: TREES TO BE INSTALLED ON TRI-STATE PROPERTY SHALL BE IRRIGATED BY TYING INTO TRI-STATE'S EXISTING IRRIGATION SYSTEM.

As a condition of approval, the 30' SETBACK FROM THE ROW OF THE CANAL must be shown correctly on the site and landscape plans. It departs from paralleling the property line here and continues to parallel the canal instead of the property line as the applicant has shown it.

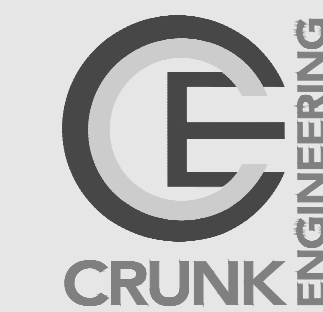
As a condition of approval, only plants with a maximum height of 30" may be placed in these sight triangles per City safety requirements. These plants do not have a short enough mature height range to be located within sight triangles - the mature height range must be less than 30".

1 ENLARGED LANDSCAPE PLAN
SCALE: 1" = 30' - 0"



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 30 OF 57

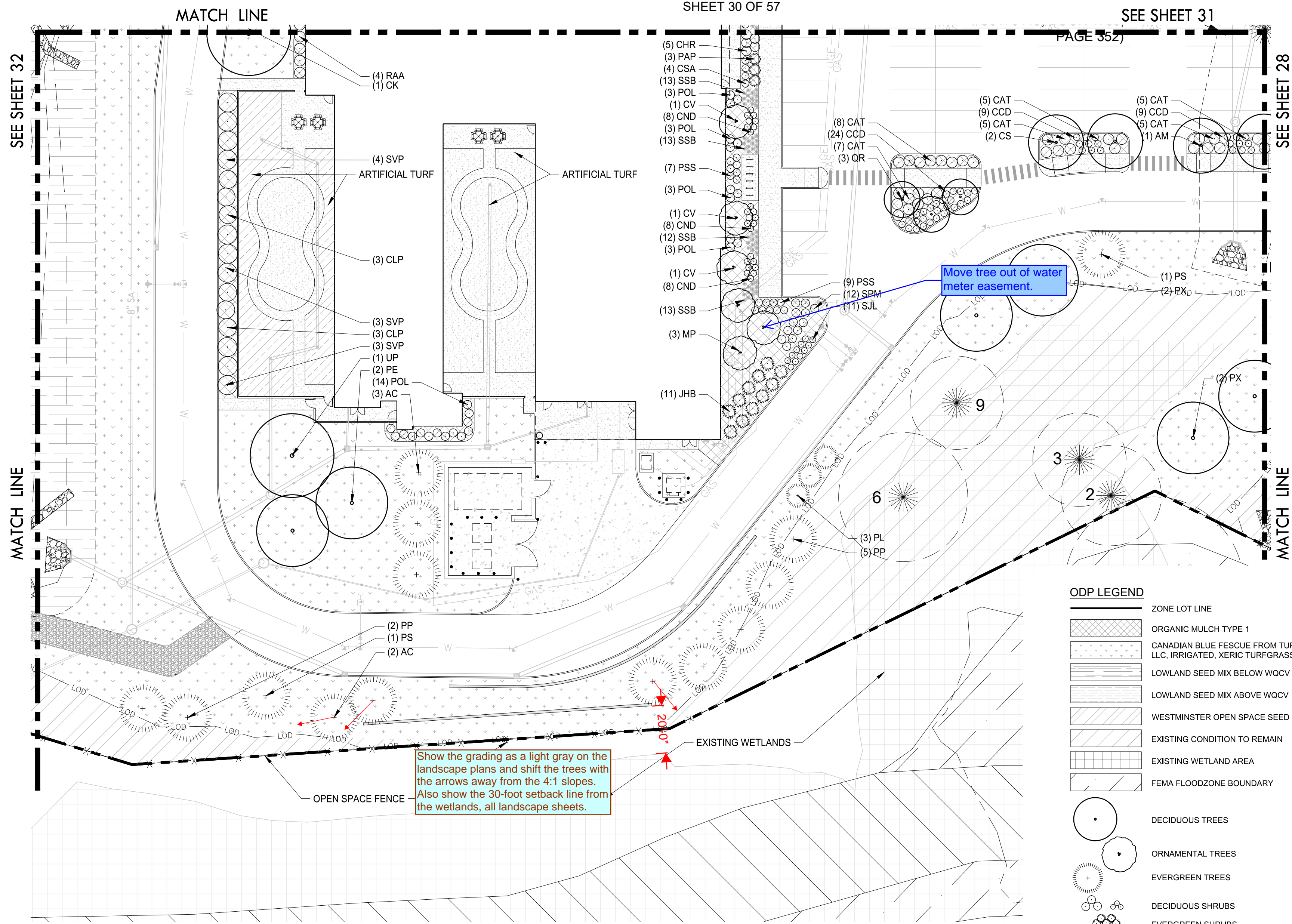


DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

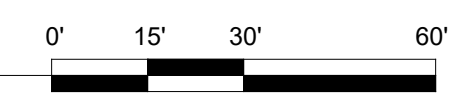
PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

30 OF 57
ENLARGED
PLAN



- ODP LEGEND**
- ZONE LOT LINE
 - ORGANIC MULCH TYPE 1
 - CANADIAN BLUE FESCUE FROM TURFMASTER LLC, IRRIGATED, XERIC TURFGRASS
 - LOWLAND SEED MIX BELOW WQCV
 - LOWLAND SEED MIX ABOVE WQCV
 - WESTMINSTER OPEN SPACE SEED MIX
 - EXISTING CONDITION TO REMAIN
 - EXISTING WETLAND AREA
 - FEMA FLOODZONE BOUNDARY
 - DECIDUOUS TREES
 - ORNAMENTAL TREES
 - EVERGREEN TREES
 - DECIDUOUS SHRUBS
 - EVERGREEN SHRUBS
 - ORNAMENTAL GRASSES
 - PERENNIALS
 - EXISTING TREE TO REMAIN

1 ENLARGED LANDSCAPE PLAN
SCALE: 1" = 30' - 0"



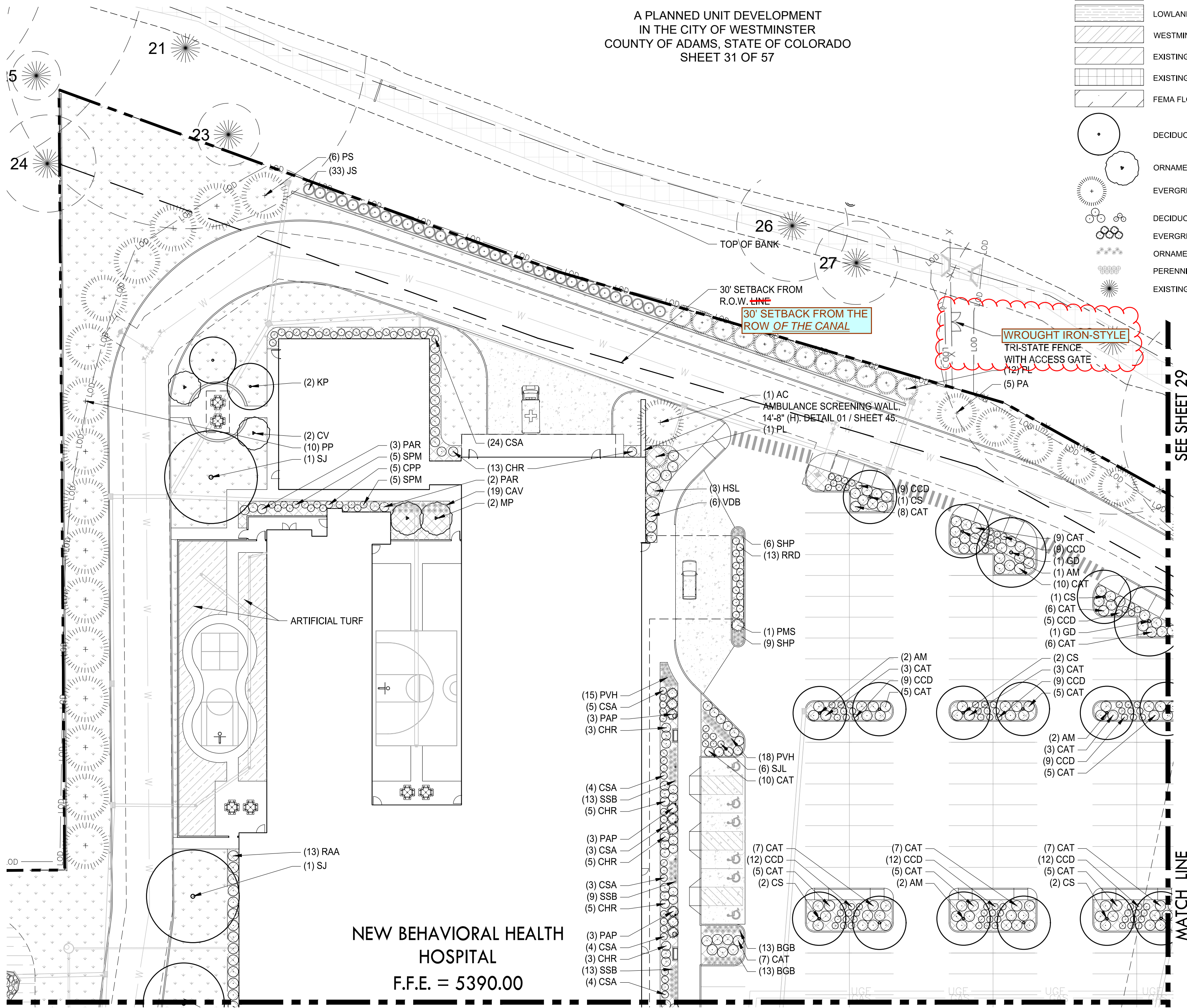
EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 31 OF 57

ODP LEGEND

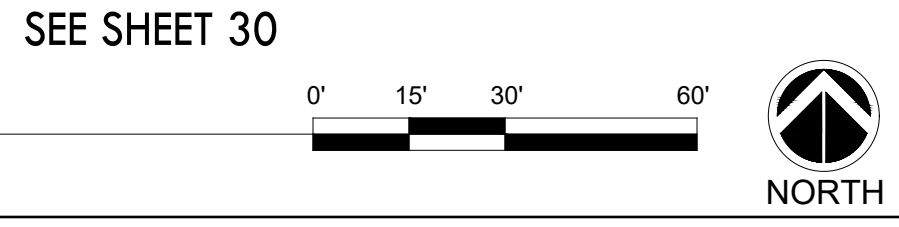
	ZONE LOT LINE
	ORGANIC MULCH TYPE 1
	CANADIAN BLUE FESCUE FROM TURFMASTER LLC, IRRIGATED, XERIC TURFGRASS
	LOWLAND SEED MIX BELOW WQCV
	LOWLAND SEED MIX ABOVE WQCV
	WESTMINSTER OPEN SPACE SEED MIX
	EXISTING CONDITION TO REMAIN
	EXISTING WETLAND AREA
	FEMA FLOODZONE BOUNDARY

	DECIDUOUS TREES
	ORNAMENTAL TREES
	EVERGREEN TREES
	DECIDUOUS SHRUBS
	EVERGREEN SHRUBS
	ORNAMENTAL GRASSES
	PERENNIALS
	EXISTING TREE TO REMAIN



**NEW BEHAVIORAL HEALTH
HOSPITAL**
F.F.E. = 5390.00

ENLARGED LANDSCAPE PLAN
SCALE: 1" = 30' - 0"



DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

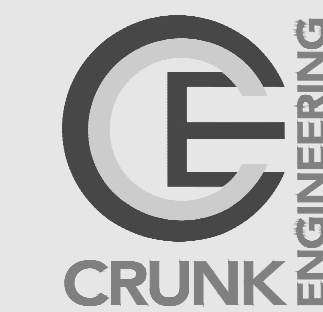
PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

31 OF 57
ENLARGED
PLAN

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 32 OF 57

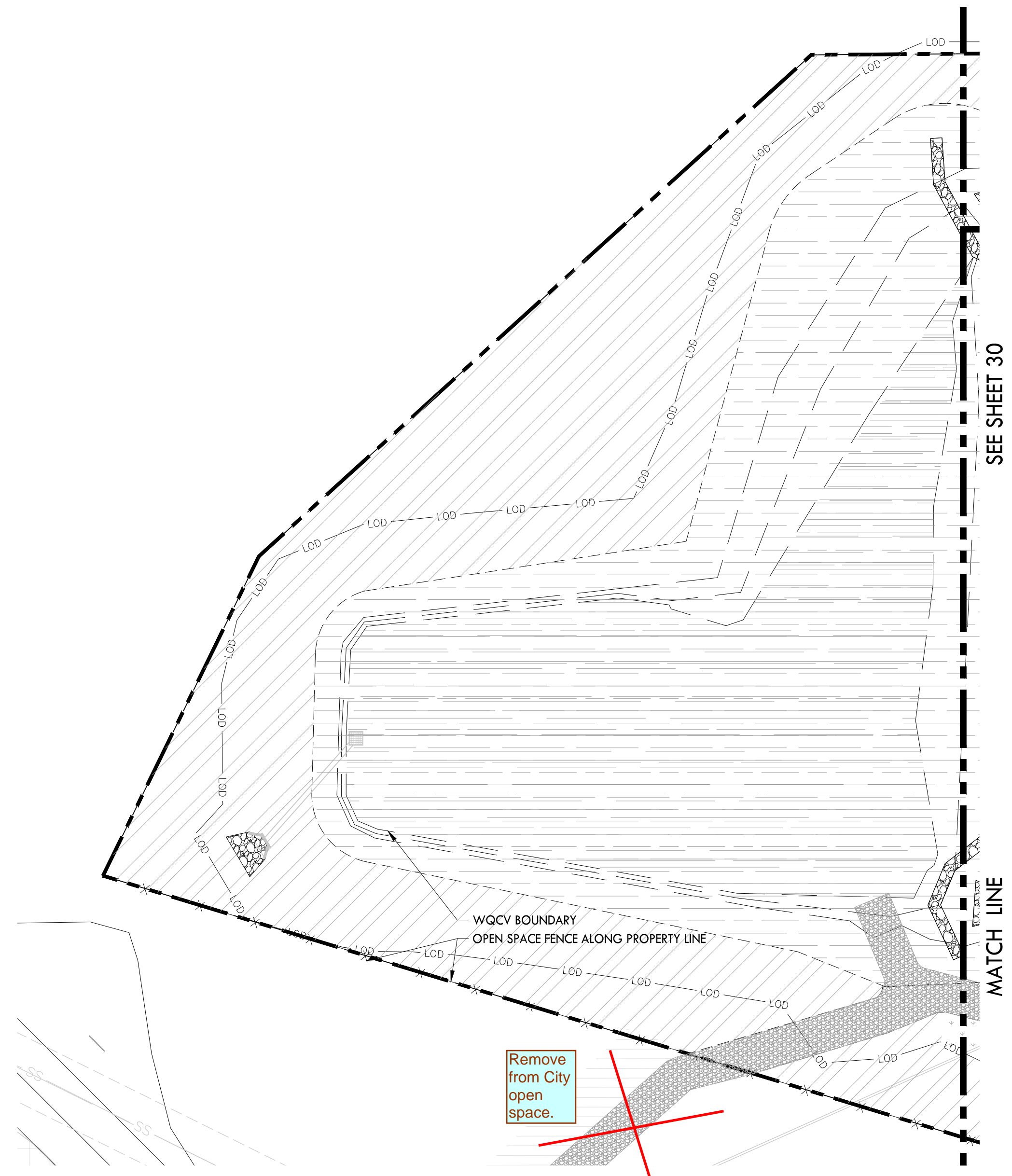


DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

32 OF 57
ENLARGED
PLAN



SEE SHEET 30

MATCH LINE

- ODP LEGEND**
- ZONE LOT LINE
 - ORGANIC MULCH TYPE 1
 - CANADIAN BLUE FESCUE FROM TURFMASTER LLC, IRRIGATED, XERIC TURFGRASS
 - LOWLAND SEED MIX BELOW WQCV
 - LOWLAND SEED MIX ABOVE WQCV
 - WESTMINSTER OPEN SPACE SEED MIX
 - EXISTING CONDITION TO REMAIN
 - EXISTING WETLAND AREA
 - FEMA FLOODZONE BOUNDARY
 - DECIDUOUS TREES
 - ORNAMENTAL TREES
 - EVERGREEN TREES
 - DECIDUOUS SHRUBS
 - EVERGREEN SHRUBS
 - ORNAMENTAL GRASSES
 - PERENNIALS
 - EXISTING TREE TO REMAIN

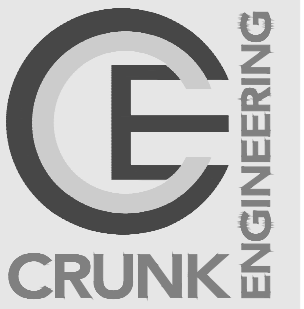
Remove from City open space.

1 ENLARGED LANDSCAPE PLAN
SCALE: 1" = 30' - 0"



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 33 OF 57



EXISTING TREES ON ACADIA PROPERTY:

TREE # (FROM SURVEY)	COMMON NAME	SPECIES*	DBH INCHES	CONDITION	COND. %	% CRZ IMPACT	% DRIP LINE IMPACT	SAVE / REMOVE	MITIGATION REQUIRED	PROTECTION MEASURES	NOTES:	
2	CRACK WILLOW	SALIX FRAGILIS	14	FAIR	50	0%	0%	SAVE	0"	FENCE, PRUNING BROKEN.	4-STEMS, 1 BROKEN WITH DECAY. 20% DIEBACK.	
3	CRACK WILLOW	SALIX FRAGILIS	13	FAIR	55	0%	0%	SAVE	0"	FENCE, PRUNING BROKEN.	5-STEMS, SOME BROKEN BRANCHES, 10% DIEBACK.	
5	CRACK WILLOW	SALIX FRAGILIS	15	FAIR	58	14.3%	4.2%	REMOVE	15"	N/A	2-STEMS, SOLID TRUNKS, SMALL TIPS DEAD. 10% DIEBACK.	
6	CRACK WILLOW	SALIX FRAGILIS	18	FAIR	55	0%	0%	SAVE	0"	FENCE, PRUNING BROKEN.	5-STEMS, BROKEN TOP WITH DECAY. DIEBACK TO 6" DIAMETER.	
7	CRACK WILLOW	SALIX FRAGILIS	12	FAIR	55	12.8%	3.2%	REMOVE	12"	N/A	2-STEMS, WEAK UNION. KINKED TRUNK, 20% DIEBACK	
8	CRACK WILLOW	SALIX FRAGILIS	24	FAIR	47	9.2%	0%	REMOVE	24"	N/A	2-STEMS, BROKEN TOP. DECAYING AND DECLINING.	
9	CRACK WILLOW	SALIX FRAGILIS	13	FAIR	47	0%	0%	SAVE	0"	FENCE, PRUNING BROKEN.	3-STEMS, DEAD AND BROKEN TO 4" D. 25% DIEBACK.	
10	CRACK WILLOW	SALIX FRAGILIS	16	POOR	37	7.3%	0%	REMOVE	16"	N/A	3-STEMS. 50% CROWN DEAD. BROKEN TRUNK WITH DECAY.	
11	PLAINS COTTONWOOD	POPULUS DELTOIDES	9	GOOD	66	100%	100%	REMOVE	18"	N/A	WET SITE. STRAIGHT TRUNK, CO-DOM TOP: GOOD VIGOR.	
12	PLAINS COTTONWOOD	POPULUS DELTOIDES	8	GOOD	63	100%	100%	REMOVE	16"	N/A	SLIGHT LEAN, SMALL DEAD BRANCHES. 5% CROWN DIEBACK.	
13	SIBERIAN ELM	ULMUS PUMILA	9	GOOD	63	100%	100%	REMOVE	9"	N/A	2-STEM WITH INCLUDED BARK. ELB, ELM, GOOD VIGOR & BUDS.	
14	PLAINS COTTONWOOD	POPULUS DELTOIDES	13	POOR	32	100%	100%	REMOVE	13"	N/A	STANDING IN DRAINAGE. BARK SLOUGHING. DYING FAST.	
15	PLAINS COTTONWOOD	POPULUS DELTOIDES	15	GOOD	66	100%	100%	REMOVE	30"	N/A	AT OUTLET. SLIGHT LEAN, SOLID TRUNK. GOOD VIGOR.	
16	PLAINS COTTONWOOD	POPULUS DELTOIDES	14	GOOD	63	100%	100%	REMOVE	28"	N/A	TRUNK DIVIDES AT 5', WEAK UNION. GOOD VIGOR. 5% DIEBACK.	
17	PLAINS COTTONWOOD	POPULUS DELTOIDES	16	GOOD	68	100%	100%	REMOVE	32"	N/A	SOLID TRUNK AND SCAFFOLDS. (1) 4"D. BROKEN BRANCH.	
36	PLAINS COTTONWOOD	POPULUS DELTOIDES	25	FAIR	55	100%	100%	REMOVE	25"	N/A	LEANING, ONE-SIDED. DEAD BRANCHES TO 4"D. 10% DIEBACK.	
37	PLAINS COTTONWOOD	POPULUS DELTOIDES	23	GOOD	61	100%	100%	REMOVE	46"	N/A	LEANING TRUNK W/TWIST. DEAD BRANCHES TO 4"D. 5% DIEBACK	
38	PLAINS COTTONWOOD	POPULUS DELTOIDES	20	FAIR	55	100%	100%	REMOVE	20"	N/A	LEANS, SUPPRESSED. WETWOOD, SMALL CROWN. DECLINING VIGOR.	
39	PLAINS COTTONWOOD	POPULUS DELTOIDES	40	FAIR	55	42.4%	29.6%	REMOVE	40"	N/A	LARGE BROKEN SCAFFOLD. DEAD BRANCHES TO 3"D. 10% DIEBACK.	
40	PLAINS COTTONWOOD	POPULUS DELTOIDES	26	FAIR	50	48.3%	20.10%	REMOVE	26"	N/A	LEANS, SUPPRESSED. SMALL BUDS, CROWDED CANOPY. IN DECLINE.	
41	PLAINS COTTONWOOD	POPULUS DELTOIDES	32	FAIR	45	32.1%	4.8%	REMOVE	32"	N/A	LTD. ROOTS. LEANS OVER DITCH, SUPPRESSED, 50% DEAD CROWN.	
42	PLAINS COTTONWOOD	POPULUS DELTOIDES	26	FAIR	53	39.8%	37.2%	REMOVE	26"	N/A	LTD. ROOTS, DITCH BANK. SUPPRESSED, 15% CROWN DIEBACK.	
43	PLAINS COTTONWOOD	POPULUS DELTOIDES	30	GOOD	61	11.8%	3.3%	REMOVE	60"	N/A	2-STEMS, CO-DOM. DEAD BRANCHES TO 3"D. GOOD BUDS.	
44	PLAINS COTTONWOOD	POPULUS DELTOIDES	56	GOOD	61	23.20%	15.7%	SAVE	112"	FENCE, PRUNING DEAD.	LARGE TRUNK WOUND, MINOR DECAY. SOME 4"D. DEAD BRANCH	
TOTAL ALL SURVEYED TREES ON ACADIA PROPERTY:			487"	TOTAL MITIGATION REQUIRED:			600"	MITIGATION REQUIRED BASED ON MINIMUM 2" CALIPER: 300 TREES				

EXISTING TREES ADJACENT TO ACADIA PROPERTY*:

TREE # (FROM SURVEY)	COMMON NAME	SPECIES*	DBH INCHES	CONDITION	COND. %	% CRZ IMPACT	% DRIP LINE IMPACT	SAVE / REMOVE	MITIGATION REQUIRED	PROTECTION MEASURES	NOTES:	
1	PLAINS COTTONWOOD	POPULUS DELTOIDES	25	GOOD	63	0%	0%	SAVE	0"	OUTSIDE L.O.D.	WETLAND EDGE. LOW BRANCHING, FAIR VIGOR. 10% DIEBACK	
4	PLAINS COTTONWOOD	POPULUS DELTOIDES	33	DEAD	5	N/A	N/A	REMOVE	0"	N/A	DEAD TREE. GREAT WILDLIFE HABITAT TREE.	
18	PLAINS COTTONWOOD	POPULUS DELTOIDES	16	GOOD	61	0%	0%	SAVE	0"	OUTSIDE L.O.D.	2-STEM AT BASE. MINOR DEADWOOD TO 3". 5% DIEBACK.	
19	PLAINS COTTONWOOD	POPULUS DELTOIDES	50	FAIR	53	0%	0%	SAVE	0"	OUTSIDE L.O.D.	DOWN FROM DITCH. SMALL BASAL CAVITY. DEADWOOD TO 5".	
20	PLAINS COTTONWOOD	POPULUS DELTOIDES	66	FAIR	55	0%	0%	SAVE	0"	OUTSIDE L.O.D.	3 TRUNKS DIVIDE AT 5'. DEADWOOD TO 5"D. 15% DIEBACK.	
21	PLAINS COTTONWOOD	POPULUS DELTOIDES	52	FAIR	50	3.7%	0%	SAVE	0"	FENCE, PRUNING DEAD	CO-DOM TRUNKS. 20"D BRANCH FAILURE, DECAY AND DECLINE.	
22	PLAINS COTTONWOOD	POPULUS DELTOIDES	50	FAIR	53	15.3%	0%	REMOVE	50"	N/A	DITCH BANK, LTD.ROOTS. 15% DIEBACK WITH DEAD TO 5"D.	
23	PLAINS COTTONWOOD	POPULUS DELTOIDES	9	FAIR	58	0%	0%	SAVE	0"	OUTSIDE L.O.D.	2-STEMS, SLIGHT LEAN. GOOD VIGOR AND CROWN BALANCE.	
24	PLAINS COTTONWOOD	POPULUS DELTOIDES	14	GOOD	61	0%	0%	SAVE	0"	OUTSIDE L.O.D.	LEANS, BROKEN TOP, 10% DIEBACK TO SOME 3"D BRANCHES.	
25	SIBERIAN ELM	ULMUS PUMILA	7	FAIR	55	0%	0%	SAVE	0"	OUTSIDE L.O.D.	2-STEM, TRUNK SCAR, ELB, SMALL BUDS, 15% DIEBACK.	
26	CRACK WILLOW	SALIX FRAGILIS	16	FAIR	45	0%	0%	SAVE	0"	OUTSIDE L.O.D.	7-STEMS, FALLING APART, 20% DIEBACK, DECAY AND DECLINE.	
27	CRACK WILLOW	SALIX FRAGILIS	12	FAIR	53	0%	0%	SAVE	0"	OUTSIDE L.O.D.	LEANING SINGLE TRUNK. 10% CROWN DIEBACK, FAIR VIGOR.	
28	PLAINS COTTONWOOD	POPULUS DELTOIDES	50	FAIR	53	10.7%	0%	REMOVE	50"	N/A	DITCH BANK, BIG CAVITY. DEADWOOD TO 6"D. GOOD VIGOR.	
29	PLAINS COTTONWOOD	POPULUS DELTOIDES	38	FAIR	58	2.3%	0%	SAVE	0"	FENCE	3-STEM, LTD.ROOTS. TRUNK SCARS, CAVITY IN SCAFFOLD.	
30	PLAINS COTTONWOOD	POPULUS DELTOIDES	34	FAIR	55	0.2%	0%	SAVE	0"	FENCE	LEANS OVER DITCH, LTD.ROOTS. CO-DOM TOP, 10% DIEBACK.	
31	PLAINS COTTONWOOD	POPULUS DELTOIDES	50	POOR	29	10.3%	0%	REMOVE	50"	N/A	2-STEMS, ONE DEAD. BARK SLOUGHING, DECLINING FAST.	
32	PLAINS COTTONWOOD	POPULUS DELTOIDES	27	FAIR	55	0%	0%	SAVE	0"	OUTSIDE L.O.D.	2-STEMS, LEANS, DEAD BRANCHES TO 6" D. 10% DIEBACK.	
33	PLAINS COTTONWOOD	POPULUS DELTOIDES	17	FAIR	58	0%	0%	SAVE	0"	OUTSIDE L.O.D.	KINKED TRUNK, LEANS. DEAD BRANCHES TO 4"D. GOOD VIGOR.	
34	PLAINS COTTONWOOD	POPULUS DELTOIDES	25	FAIR	53	0%	0%	SAVE	0"	OUTSIDE L.O.D.	2-STEMS, CO-DOM. 15"D BRANCH FAILURE. SOME DECAY.	
35	PLAINS COTTONWOOD	POPULUS DELTOIDES	26	GOOD	61	21.1%	0%	REMOVE	52"	N/A	TALL, STRAIGHT TRUNK, SLIGHT LEAN. SMALL CROWN, GOOD BUDS.	
TOTAL ALL SURVEYED TREES ON ADJACENT PROPERTY:			617"	TOTAL MITIGATION REQUIRED:			202"	MITIGATION REQUIRED BASED ON MINIMUM 2" CALIPER: 101 TREES				

* TREES WITHIN R.O.W. ADJACENT TO ACADIA PROPERTY MUST BE CONSIDERED ACADIA'S RESPONSIBILITY TO MAINTAIN.

TOTAL MITIGATION INCHES REQUIRED: 802

CASH OWED IN-LIEU OF MITIGATION: \$120,300

DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
 11455 HURON ST
 WESTMINSTER, CO 80234

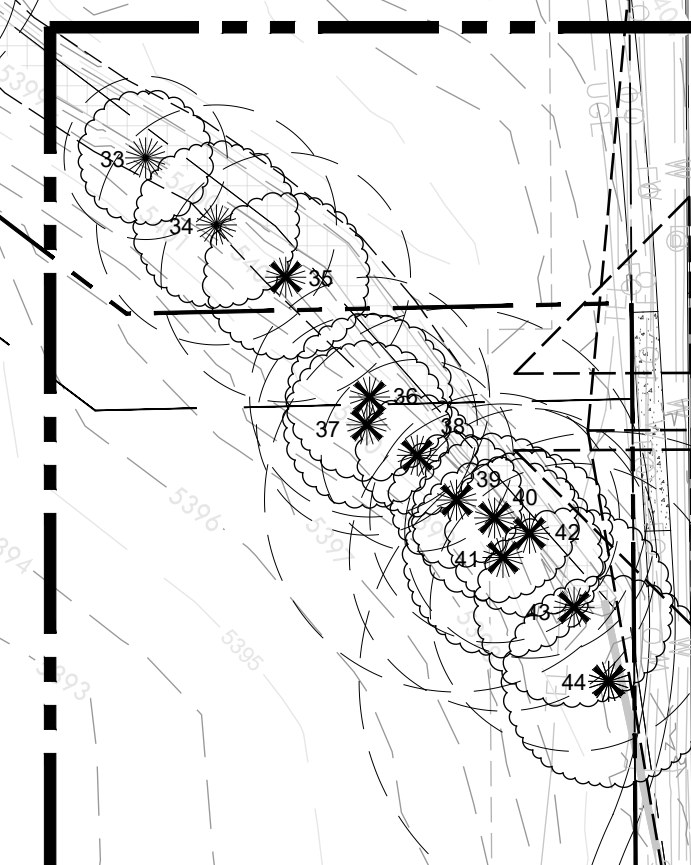
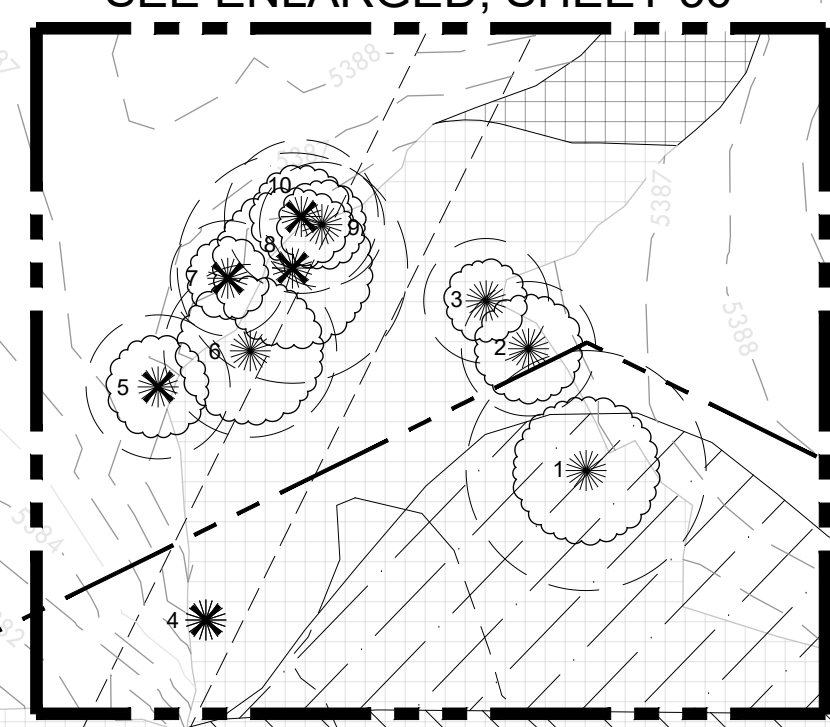
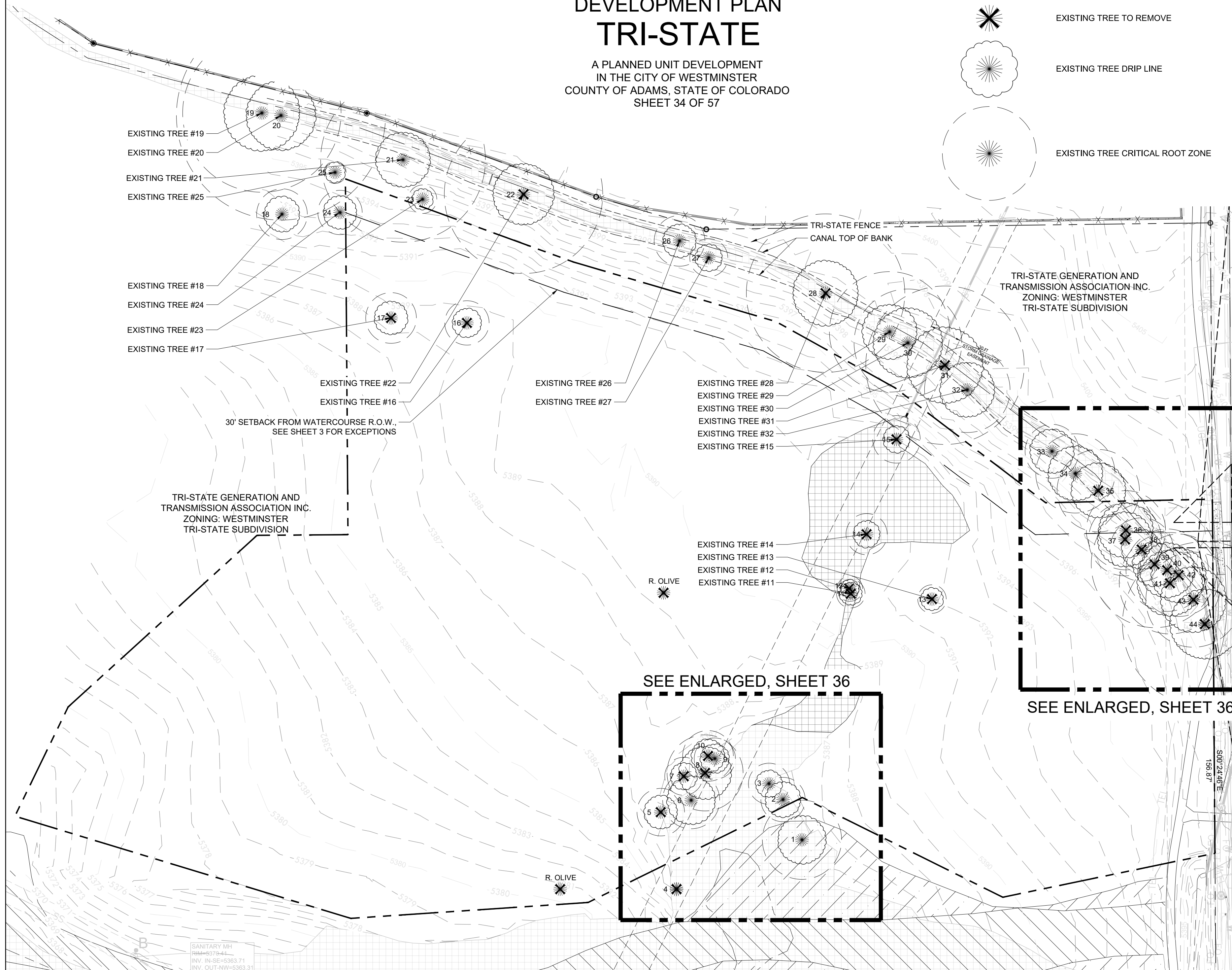
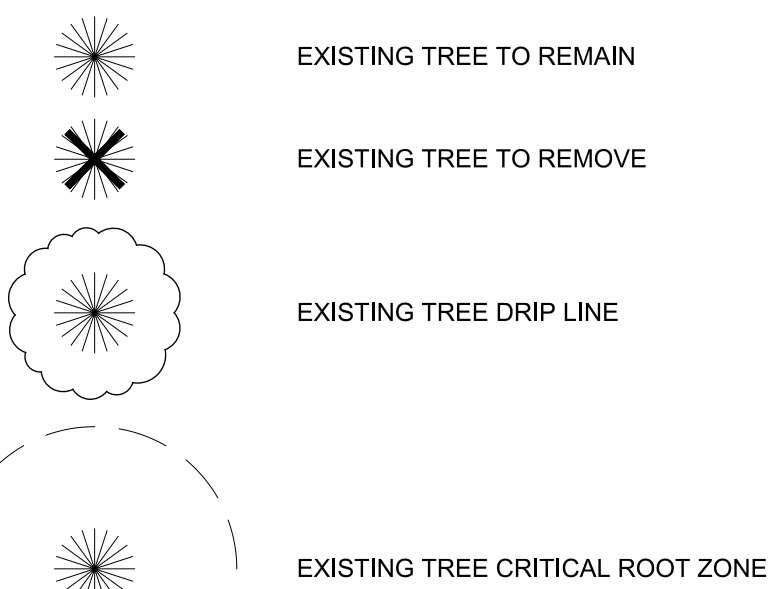
PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

33 OF 57
MITIGATION
DATA

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 34 OF 57

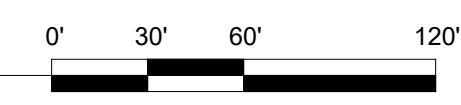


DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

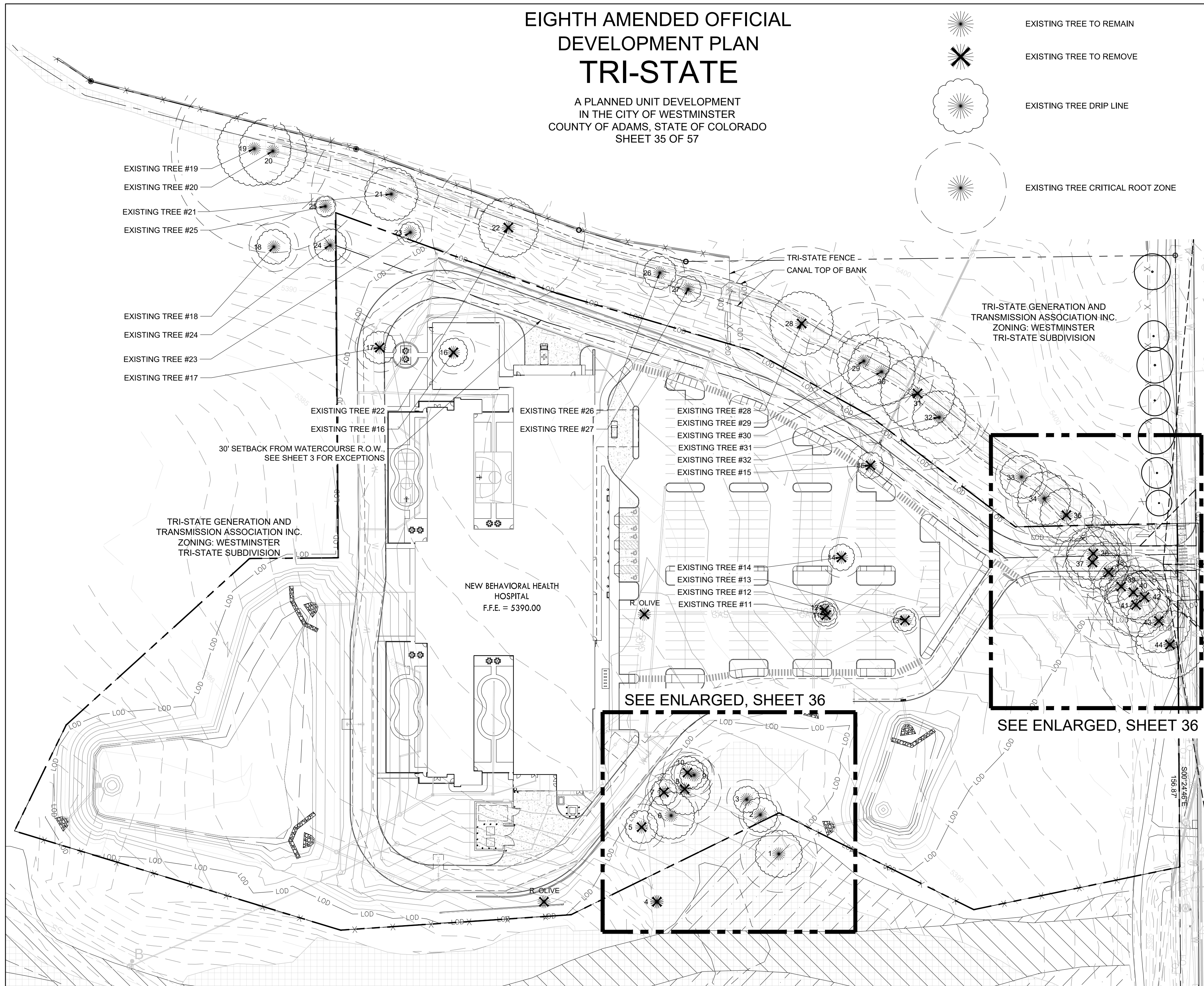
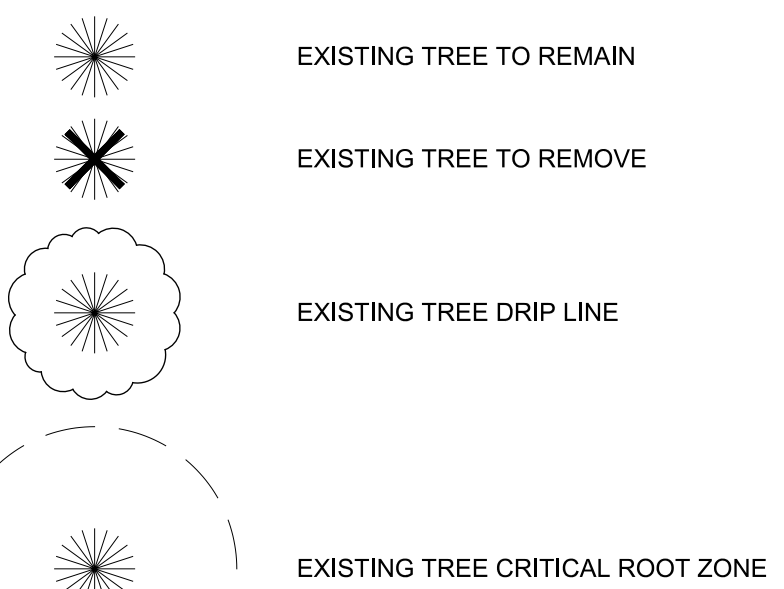
1 EXISTING TREE CONDITIONS
SCALE: 1" = 60' - 0"



34 OF 57
EXISTING
TREE PLAN

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 35 OF 57



1 EXISTING TREE CONDITIONS
SCALE: 1" = 60'-0"



DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

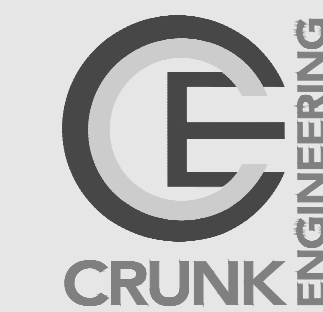
PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

35 OF 57
OVERALL
TREE IMPACT

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 36 OF 57



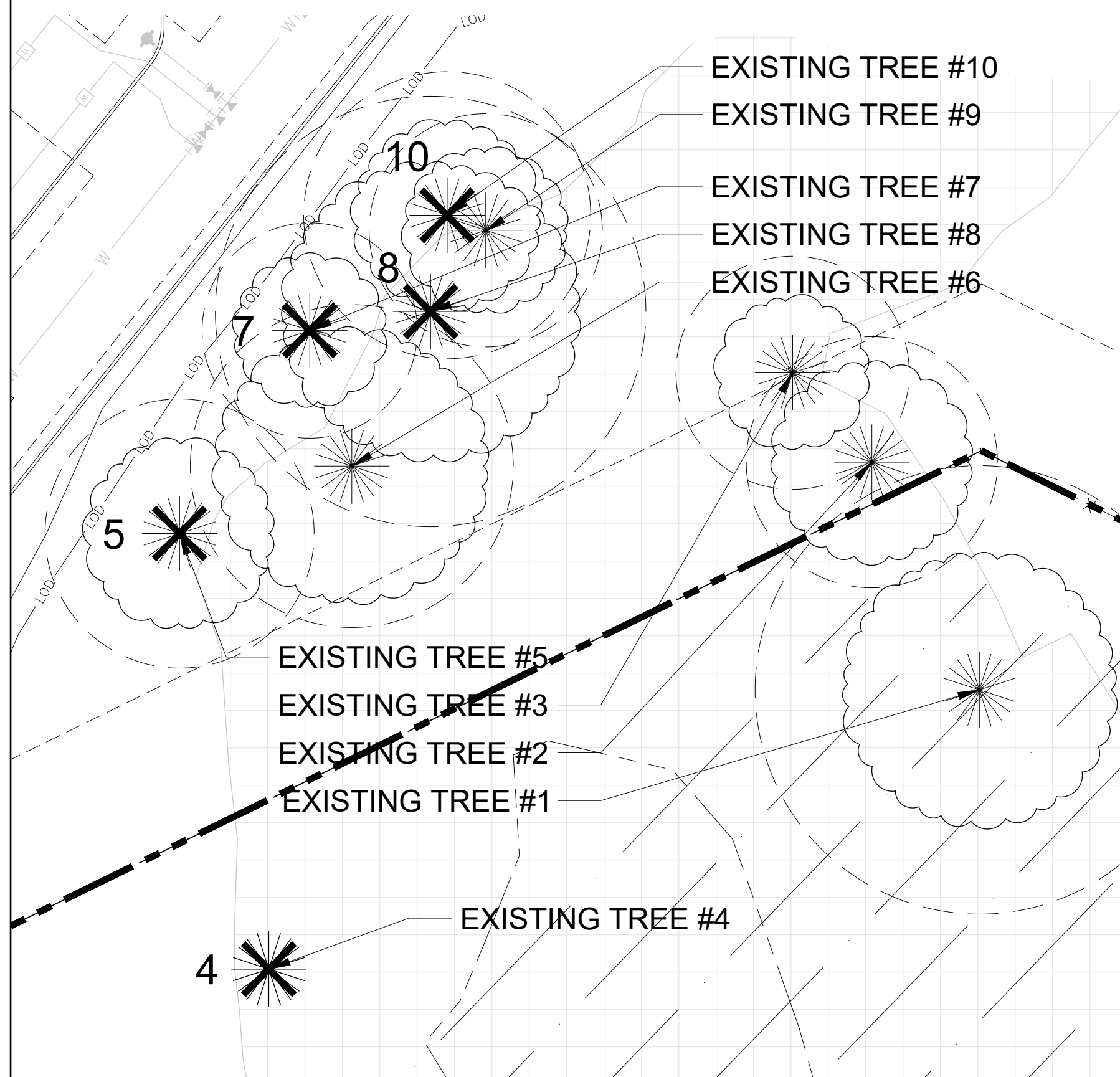
DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

36 OF 57
ENLARGED
IMPACTS

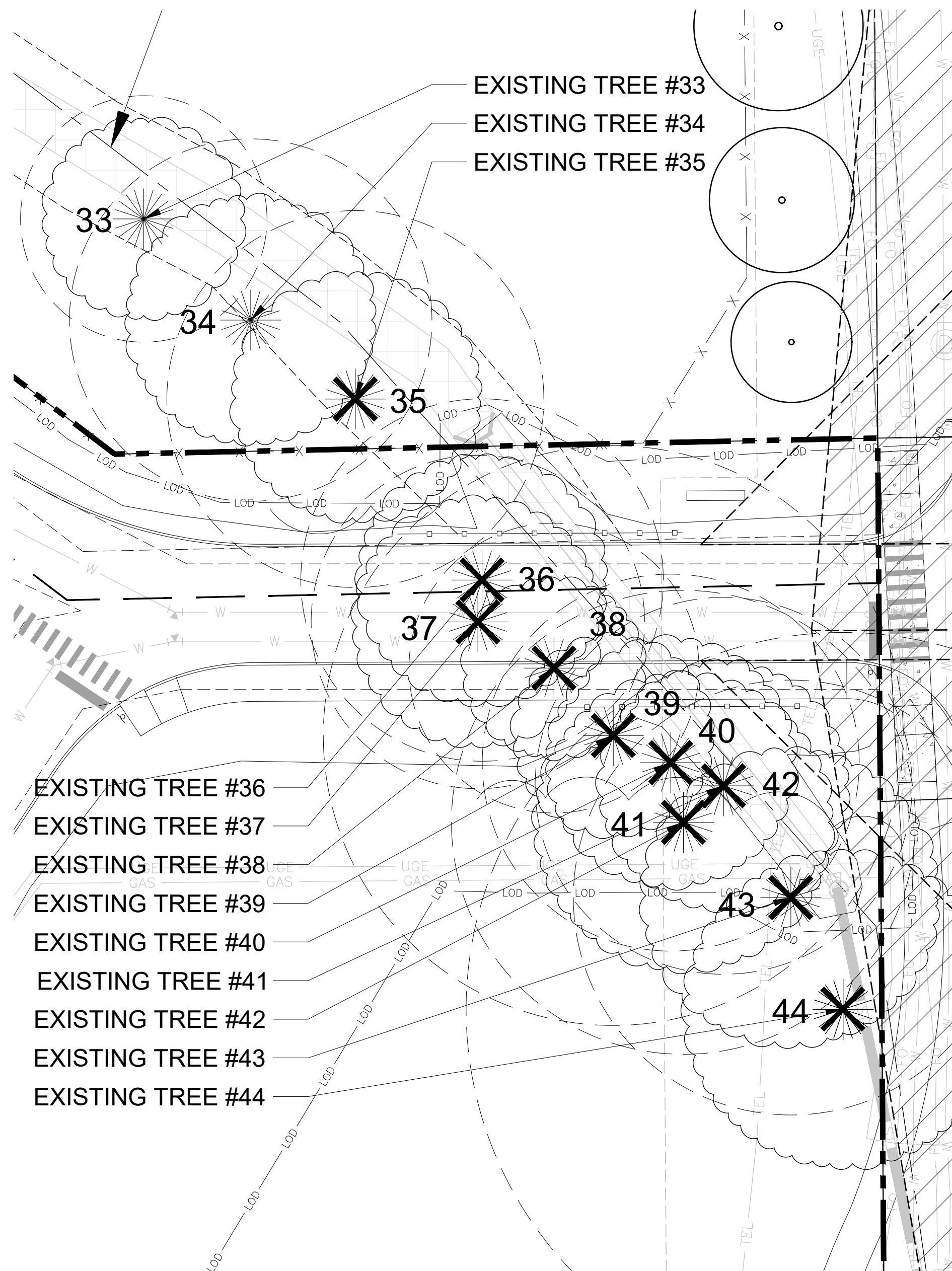
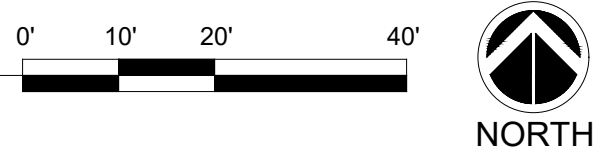


- EXISTING TREE #10
- EXISTING TREE #9
- EXISTING TREE #7
- EXISTING TREE #8
- EXISTING TREE #6

- EXISTING TREE #5
- EXISTING TREE #3
- EXISTING TREE #2
- EXISTING TREE #1

EXISTING TREE #4

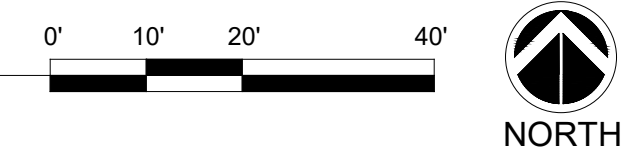
1 TREE IMPACT ENLARGEMENTS
SCALE: 1" = 20' - 0"



- EXISTING TREE #33
- EXISTING TREE #34
- EXISTING TREE #35

- EXISTING TREE #36
- EXISTING TREE #37
- EXISTING TREE #38
- EXISTING TREE #39
- EXISTING TREE #40
- EXISTING TREE #41
- EXISTING TREE #42
- EXISTING TREE #43
- EXISTING TREE #44

2 TREE IMPACT ENLARGEMENTS
SCALE: 1" = 20' - 0"

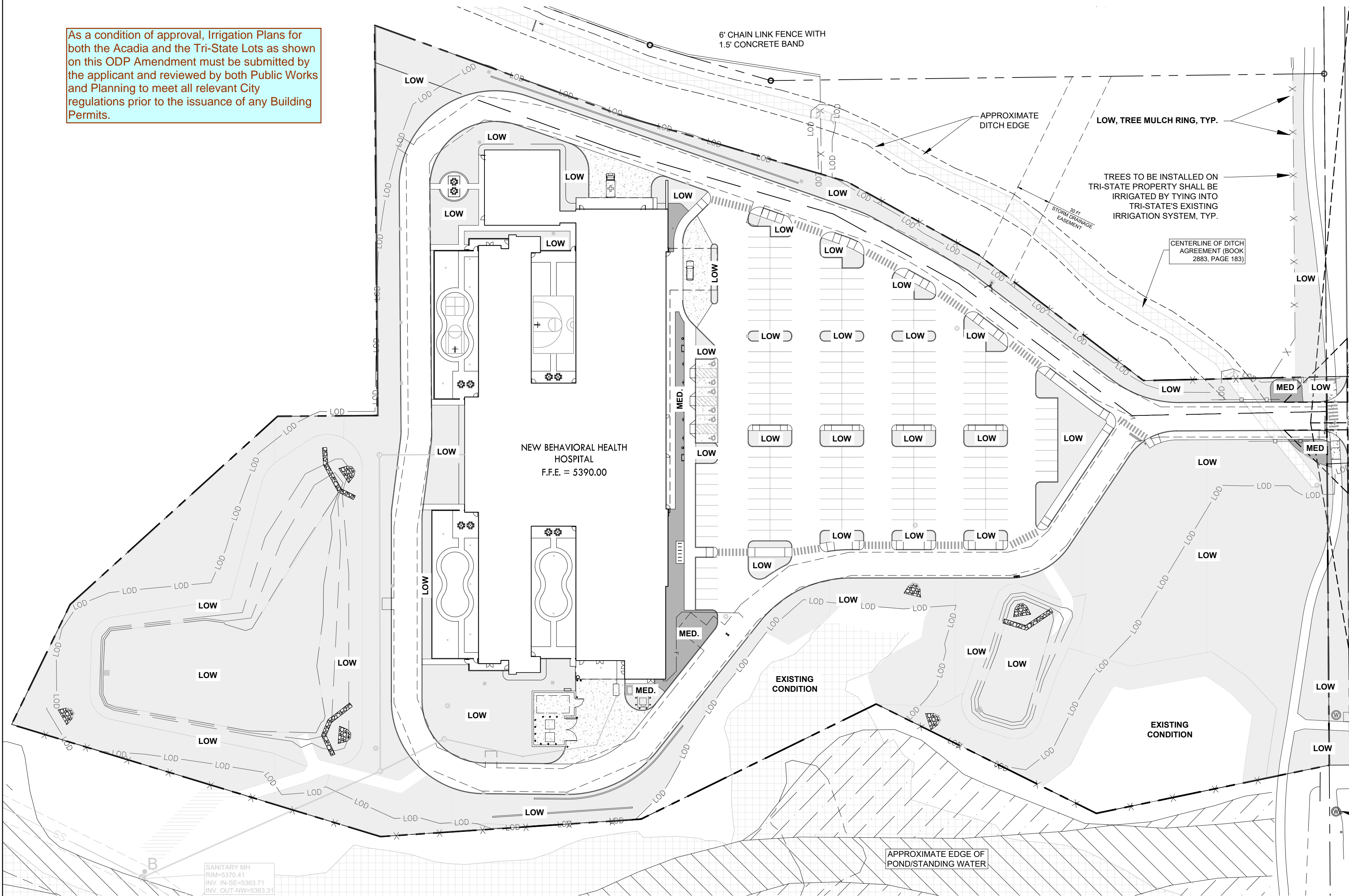


EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 37 OF 57

LANDSCAPE WATER BUDGET				
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL USE (GAL)	
HIGH	0.00%	0	x 18 GAL =	0
MEDIUM	2.41%	5,309.54	x 10 GAL =	53,095.4
LOW	97.59%	215,282.32	x 3 GAL =	645,846.9
TOTAL ALL HYDROZONES	100	220,591.86	TOTAL GAL:	698,942.4
TOTAL GAL / LANDSCAPE AREA =			3.17	GAL / SF

As a condition of approval, Irrigation Plans for both the Acadia and the Tri-State Lots as shown on this ODP Amendment must be submitted by the applicant and reviewed by both Public Works and Planning to meet all relevant City regulations prior to the issuance of any Building Permits.

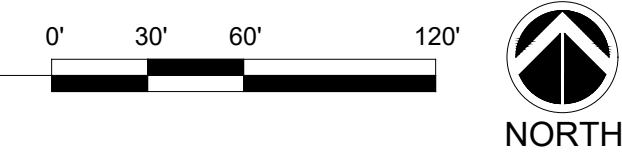


DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
11455 HURON ST
WESTMINSTER, CO 80234

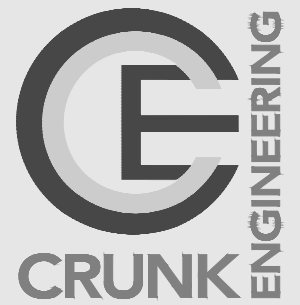
PLAN PREPARED:
06/15/2022
REV 1 09/21/2022
REV 2 11/08/2022
REV 3 12/12/2022
REV 4 01/18/2022

1 HYDROZONE PLAN
SCALE: 1" = 60' - 0"



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 38 OF 57



DATE: 06/15/2022

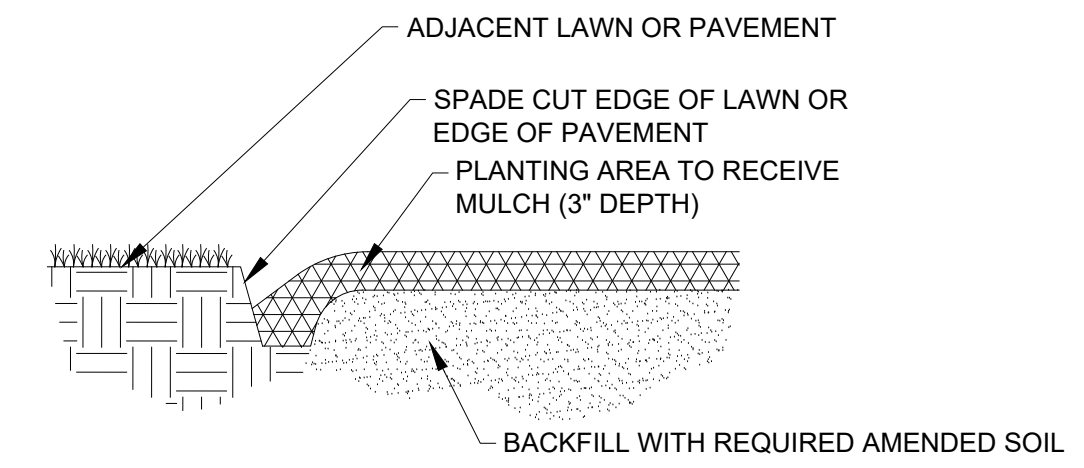
DATE:

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
11455 HURON ST
WESTMINSTER, CO 80234

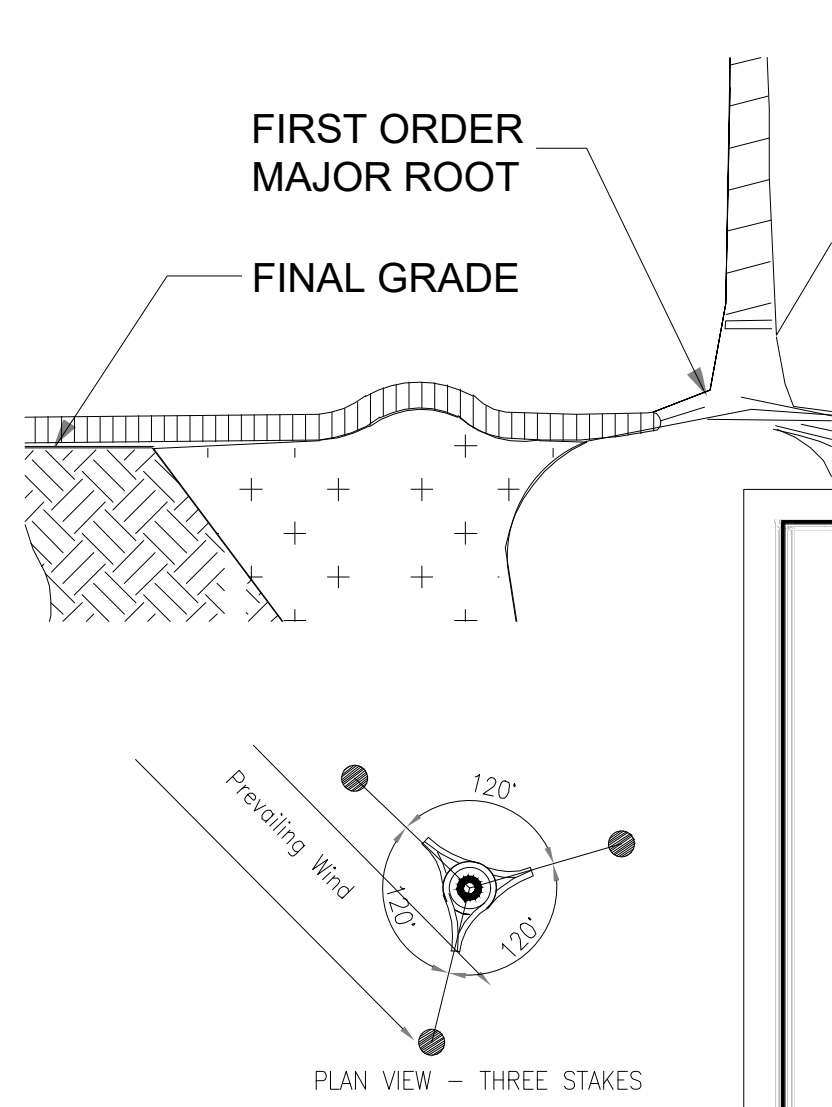
PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2022

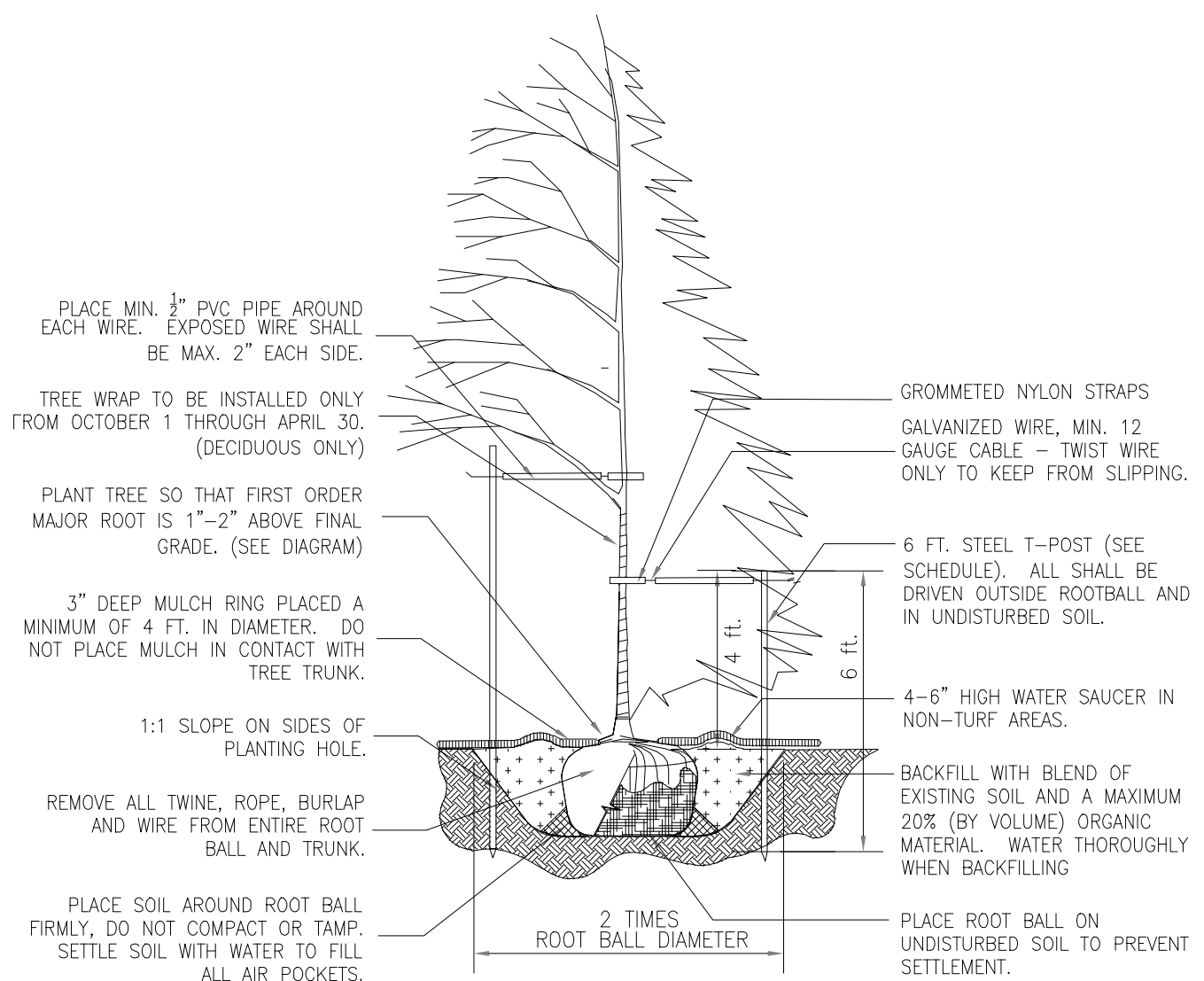
38 OF 57
LANDSCAPE
DETAILS



2 **SPADE BED EDGE**
NOT TO SCALE



FIRST ORDER
MAJOR ROOT
FINAL GRADE
PLAN VIEW - THREE STAKES



PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE.

TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)

PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE. (SEE DIAGRAM)

3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

1:1 SLOPE ON SIDES OF PLANTING HOLE.

REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK.

PLACE SOIL AROUND ROOT BALL FIRMLY. DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.

GROMMETED NYLON STRAPS
GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.

6 FT. STEEL T-POST (SEE SCHEDULE). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.

4-6" HIGH WATER SAUCER IN NON-TURF AREAS.

BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING.

PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

PRUNING NOTES:

ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWS:

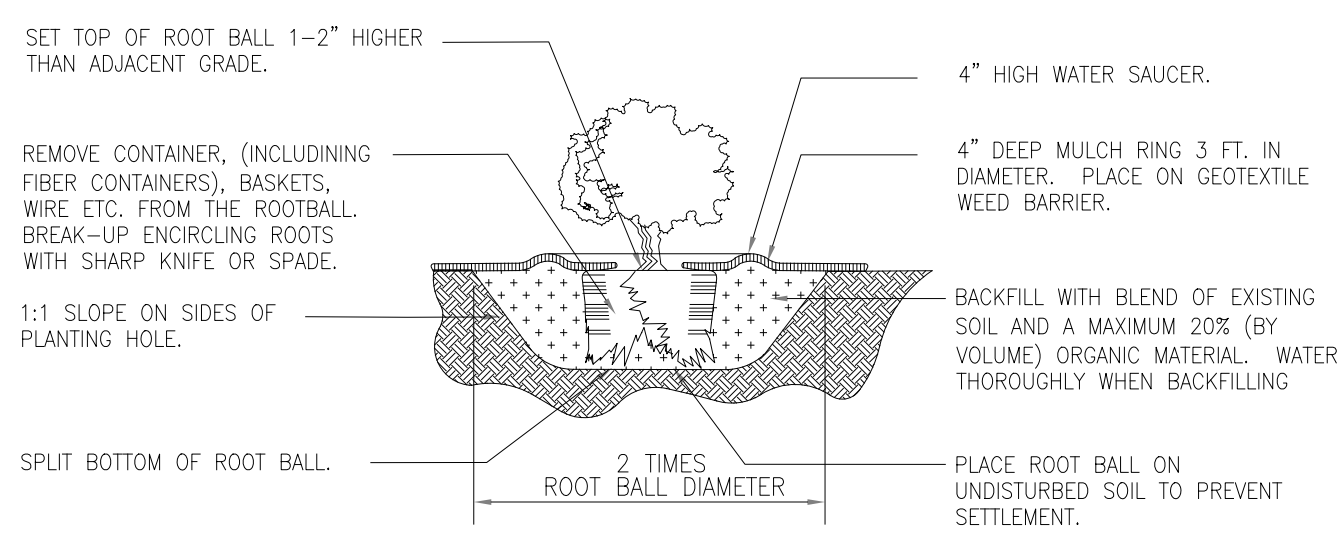
1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).

1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE.

3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM

WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

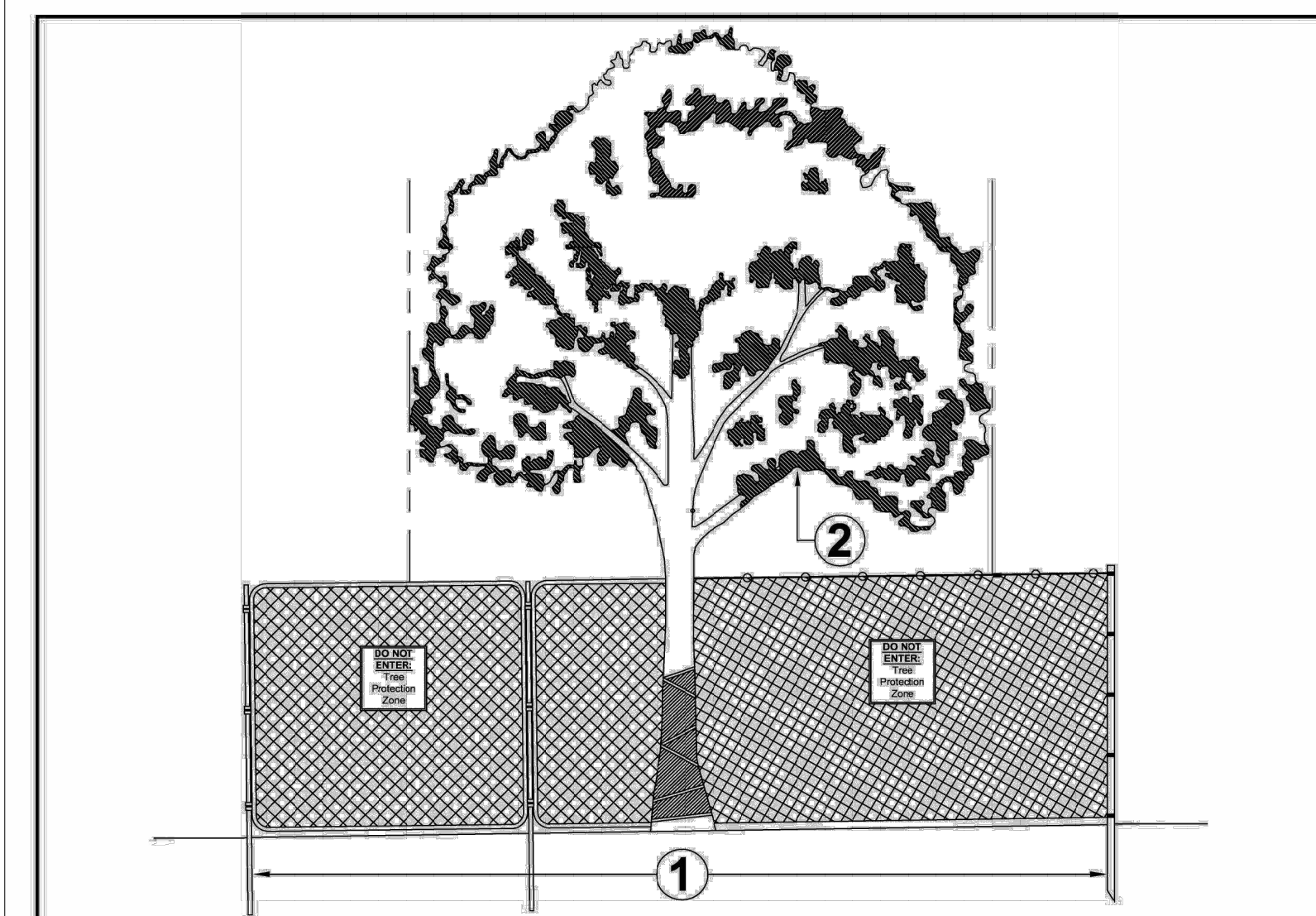
4 **TREE PLANTING DETAIL**
NOT TO SCALE



PLACEMENT NOTES:
SET SHRUB PLUMB. SPACE PLANTS, AND PLACE FOR BEST EFFECT.

PRUNING NOTES:
DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY DEAD OR BROKEN BRANCHES. IF FORM IS COMPROMISED BY PRUNING, REPLACE SHRUB.

1 **SHRUB PLANTING DETAIL**
NOT TO SCALE



TREE PRESERVATION FENCING MUST BE INSTALLED PER PLAN, AS APPROVED BY THE CITY FORESTER

GENERAL NOTES:

- All trees designated for preservation shall be deep root watered at a rate of 10 gallons per inch of DBH at least biweekly when temperatures exceed 40 degrees Fahrenheit. Example: 6" DBH tree receives 6 x 10 gallons, or 60 gallons of water each watering. Site conditions may dictate more frequent watering. Watering log must be maintained onsite during construction.
- No materials, debris, equipment, or site amenities shall be stored within the tree preservation fence.
- No changes to the location of the fence, temporary or permanent shall be made without prior approval by the City.
- Violation of these directives or damage to a protected tree is subject to penalty.

AREA 1: Tree Protection Fencing

- Tree protection fencing shall be installed at the edge of the Critical Root Zone unless otherwise approved by the City. If the tree is in an urban setting and existing pavement will not be disturbed, the tree protection fencing shall encompass the entire area that is not under pavement. Root pruning, if required shall be performed by an ISA certified arborist.
- Fencing shall be a minimum of six feet in height and made of steel chain link (roll or panels). When chain link rolls are installed, fence shall be fastened to heavy duty steel posts with safety caps at minimum five (5) attachment points with 12-gauge wire, including points at top and bottom. Weave wire through top of roll to eliminate sag. Posts shall be driven 2' to 3' below grade and spaced at maximum of 10' intervals. Fencing must be kept taut at all times.
- "Tree Protection Area" signs shall be spaced at 50' intervals and when the fence makes a turn.
- Tree protection fencing shall be maintained in the location and condition in which approved and remain until all work is complete and authorization for fence removal is obtained from the City.

AREA 2: Canopy Protection

- Tree protection fencing shall be installed so canopy falls within the vertical planes of the fence.
- Limbs shall be pruned only with consent of the City Forester and be conducted by an ISA Certified Arborist.

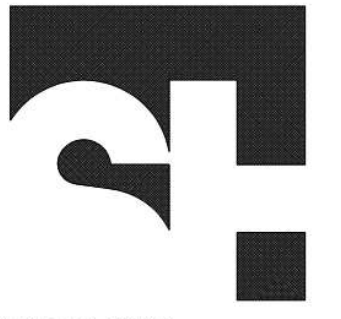
Do not use color graphics on plans.

WESTMINSTER	TREE PROTECTION FENCE DETAIL	NTS
		Revised 09/2022

2 **TREE PROTECTION DETAIL**
NOT TO SCALE

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 39 OF 56



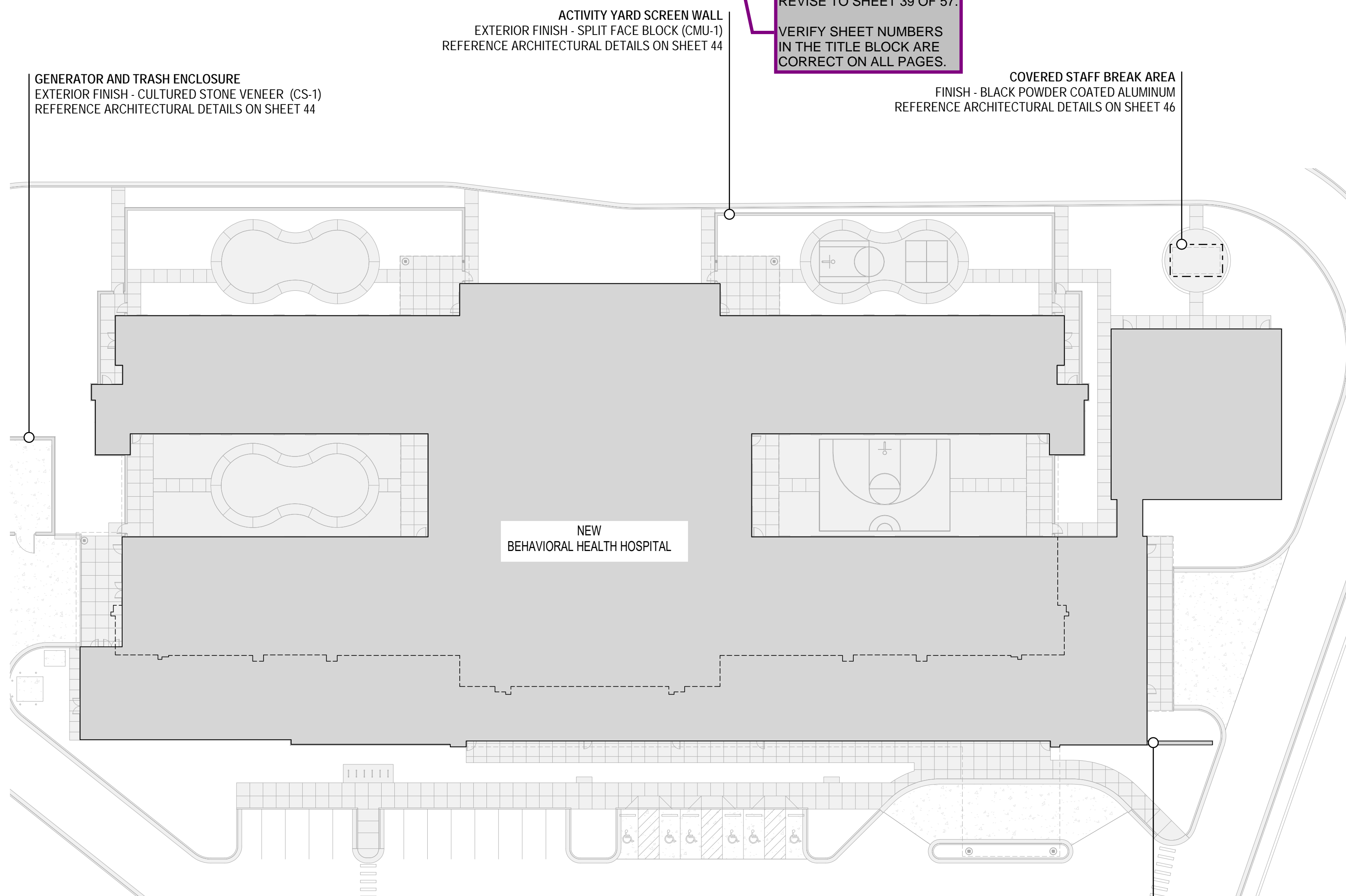
STENDEL-HILL ARCHITECTURE
413 WEST WASHINGTON | COVINGTON, COLORADO 80521 | 970.963.1474 | STENDEL-HILL.COM

DATE: 06/15/2022

DATE:

NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234



GENERATOR AND TRASH ENCLOSURE
EXTERIOR FINISH - CULTURED STONE VENEER (CS-1)
REFERENCE ARCHITECTURAL DETAILS ON SHEET 44

ACTIVITY YARD SCREEN WALL
EXTERIOR FINISH - SPLIT FACE BLOCK (CMU-1)
REFERENCE ARCHITECTURAL DETAILS ON SHEET 44

REVISE TO SHEET 39 OF 57.
VERIFY SHEET NUMBERS
IN THE TITLE BLOCK ARE
CORRECT ON ALL PAGES.

COVERED STAFF BREAK AREA
FINISH - BLACK POWDER COATED ALUMINUM
REFERENCE ARCHITECTURAL DETAILS ON SHEET 46

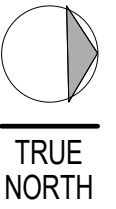
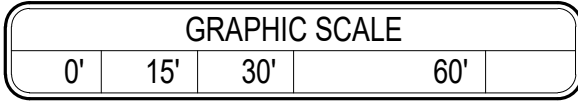
AMBULANCE ENTRY SCREEN WALL
EXTERIOR FINISH - CULTURED STONE VENEER (CS-1)
REFERENCE ARCHITECTURAL DETAILS ON SHEET 44

NEW
BEHAVIORAL HEALTH HOSPITAL

Remove these rows from
all calcs, all sheets.

EXTERIOR FINISH MATERIAL AREA CALCULATIONS - TOTAL				
MATERIAL	AREA	% TOTAL AREA	NOTES	
BRICK & CAST/CULTURED STONE MASONRY	21294 sf	51.0%		2
CONCRETE MASONRY SCREEN WALL	5029 sf			
EXTERIOR INSULATION AND FINISH SYSTEM	22254 sf	43.1%		
COMPOSITE METAL PANEL	2704 sf	5.2%		
HOLLOW METAL DOOR	362 sf	0.7%		
TOTAL AREA	51643 sf	100.0%		

¹ Total building frontage at parking lot: 404'. Total Glazed frontage: 257'. Percentage of frontage comprised of glazing: 63.6%.
² Precast Activity Yard Screen Walls shall be textured to provide appearance of masonry as required by City of Westminster and noted in submission 1 comments; area is carried under "masonry" heading. Activity Yard Screen Walls are opaque and conceal view of real courtyards completely. Exterior face of activity yard walls have been accounted for in these calculations, and not the concealed finishes within activity yards.



PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023

39 OF 57
COMPOSITE FLOOR
PLAN

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 40 OF 56

MATERIAL LEGEND

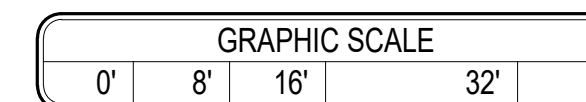
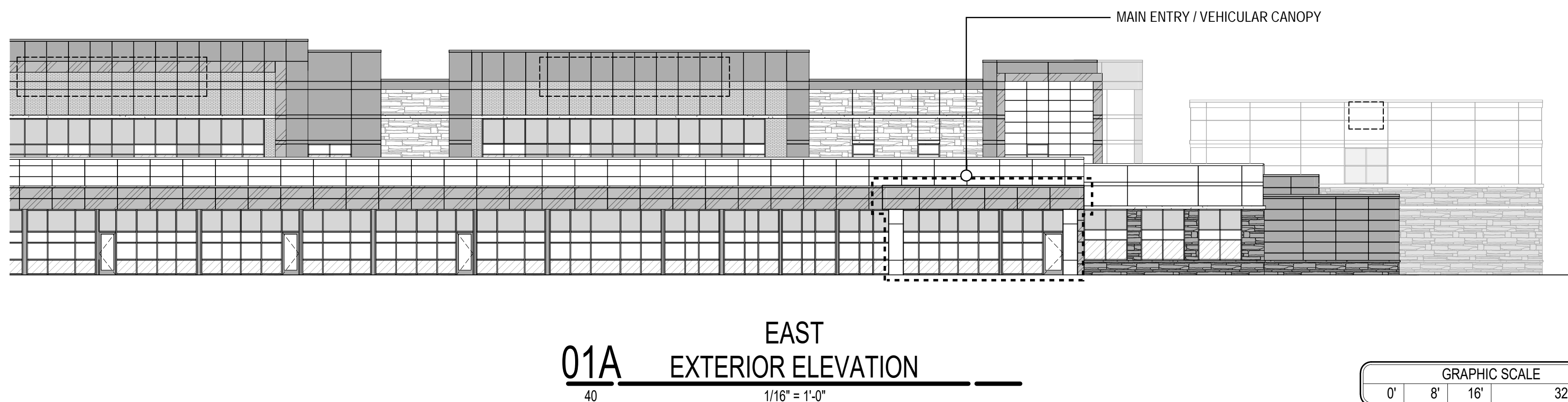
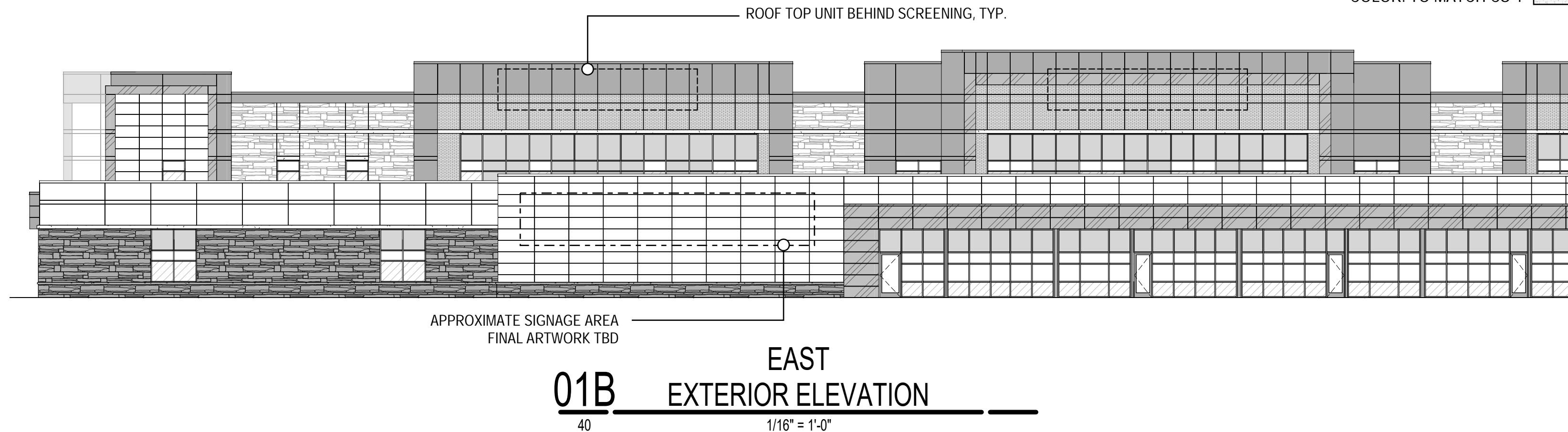
SEE ARCHITECTURAL COLOR ELEVATIONS FOR MORE INFORMATION

- EIFS
COLOR: PEWTER
- ALUMINUM COMPOSITE METAL PANEL
COLOR: BRUSHED ANTIQUE COPPER
- GLAZING
COLOR: CLEAR VISION / BLACK ANODIZED
- EIFS
COLOR: STEEL
- THIN BRICK
COLOR: DAKOTA
- CULTURED THIN-VENEER STONE
COLOR: PINOS CREEK
- CULTURED THIN-VENEER STONE
COLOR: CAPE COD
- SPLIT-FACE CONCRETE MASONRY UNIT
COLOR: TO MATCH CS-1

EXTERIOR FINISH MATERIAL AREA CALCULATIONS - EAST ELEVATION			
MATERIAL	AREA	% TOTAL AREA	NOTES
BRICK & CAST/CULTURED STONE MASONRY	5276 sf	33.0%	2
CONCRETE MASONRY SCREEN WALL	0 sf		
EXTERIOR INSULATION AND FINISH SYSTEM	8606 sf	54.0%	
COMPOSITE METAL PANEL	1976 sf	12.0%	
HOLLOW METAL DOOR	0 sf	0.0%	
TOTAL AREA	15858 sf	100.0%	

¹ Total building frontage at parking lot: 404'. Total Glazed frontage: 257'. Percentage of frontage comprised of glazing: 63.6%.

² Precast Activity Yard Screen Walls shall be textured to provide appearance of masonry as required by City of Westminster and noted in submission 1 comments; area is carried under "masonry" heading. Activity Yard Screen Walls are opaque and conceal view of real courtyards completely. Exterior face of activity yard walls have been accounted for in these calculations, and not the concealed finishes within activity yards.



STENGENL-HILL ARCHITECTURE
413 WEST WASHINGTON STREET, COLOMBIA, MISSOURI 65201-1014

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

DATE: 06/15/2022

PLAN PREPARED:	06/15/2022	REV 1	09/21/2022	REV 2	11/08/2022	REV 3	12/12/2022	REV 4	01/18/2023
----------------	------------	-------	------------	-------	------------	-------	------------	-------	------------

40 OF 57
EXTERIOR
ELEVATIONS

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN

TRI-STATE

A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 41 OF 56

MATERIAL LEGEND

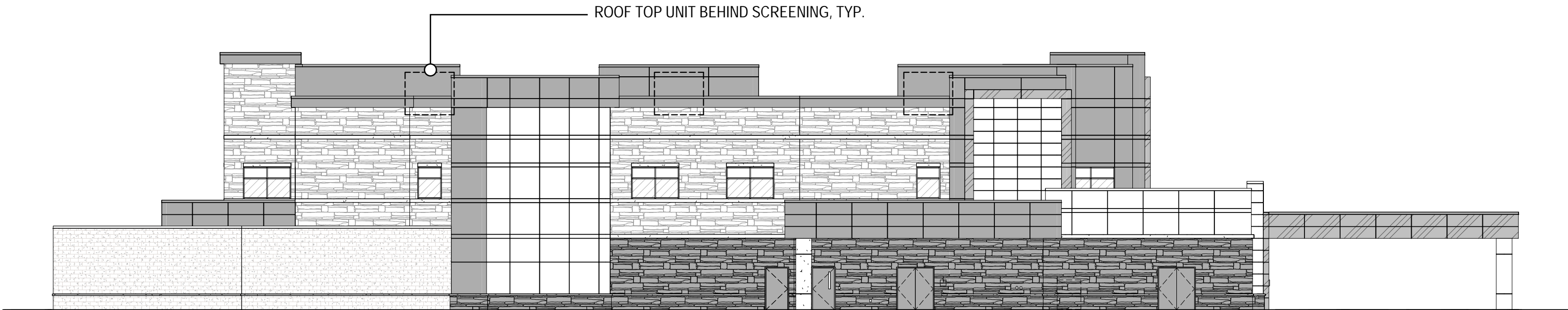
SEE ARCHITECTURAL COLOR ELEVATIONS FOR MORE INFORMATION

- EIFS
COLOR: PEWTER
- ALUMINUM COMPOSITE METAL PANEL
COLOR: BRUSHED ANTIQUE COPPER
- GLAZING
COLOR: CLEAR VISION / BLACK ANODIZED
- EIFS
COLOR: STEEL
- THIN BRICK
COLOR: DAKOTA
- CULTURED THIN-VENEER STONE
COLOR: PINOS CREEK
- CULTURED THIN-VENEER STONE
COLOR: CAPE COD
- SPLIT-FACE CONCRETE MASONRY UNIT
COLOR: TO MATCH CS-1

EXTERIOR FINISH MATERIAL AREA CALCULATIONS - SOUTH ELEVATION			
MATERIAL	AREA	% TOTAL AREA	NOTES
BRICK & CAST/CULTURED STONE MASONRY	4502 sf	61.0%	2
CONCRETE MASONRY SCREEN WALL	1915 sf		
EXTERIOR INSULATION AND FINISH SYSTEM	3620 sf	34.4%	
COMPOSITE METAL PANEL	371 sf	3.5%	
HOLLOW METAL DOOR	104 sf	1.0%	
TOTAL AREA	10512 sf	100.0%	

¹ Total building frontage at parking lot: 404'. Total Glazed frontage: 257'. Percentage of frontage comprised of glazing: 63.6%.

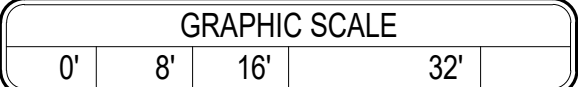
² Precast Activity Yard Screen Walls shall be textured to provide appearance of masonry as required by City of Westminster and noted in submission 1 comments; area is carried under "masonry" heading. Activity Yard Screen Walls are opaque and conceal view of real courtyards completely. Exterior face of activity yard walls have been accounted for in these calculations, and not the concealed finishes within activity yards.



01
41

SOUTH
EXTERIOR ELEVATION

1/16" = 1'-0"



STENGENL-HILL ARCHITECTURE
 413 WEST WASHINGTON STREET, COLOMBIA, MISSISSIPPI 39201-1015

NEW BEHAVIORAL HEALTH HOSPITAL
 ACADIA HEALTHCARE

11455 HURON ST
 WESTMINSTER, CO 80234

DATE: 06/15/2022

PLAN PREPARED:

06/15/2022	REV 1	09/21/2022
	REV 2	11/08/2022
	REV 3	12/12/2022
	REV 4	01/18/2023

41 OF 57
 EXTERIOR
 ELEVATIONS

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN

TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 42 OF 56

MATERIAL LEGEND

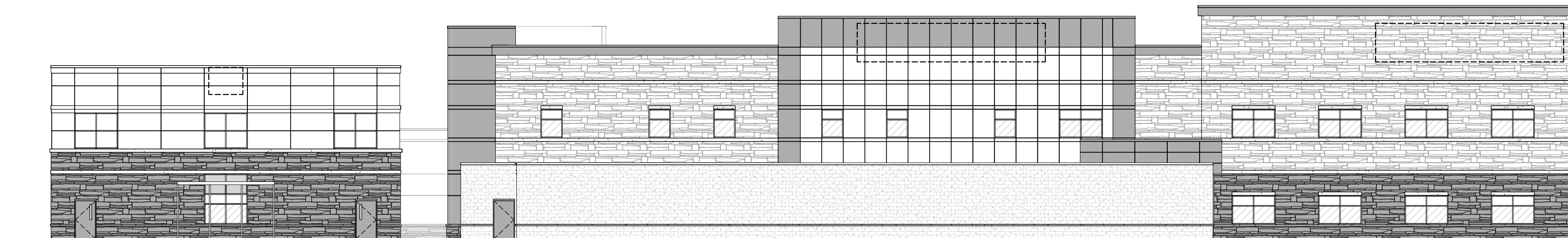
SEE ARCHITECTURAL COLOR ELEVATIONS FOR MORE INFORMATION

- EIFS
COLOR: PEWTER
- ALUMINUM COMPOSITE METAL PANEL
COLOR: BRUSHED ANTIQUE COPPER
- GLAZING
COLOR: CLEAR VISION / BLACK ANODIZED
- EIFS
COLOR: STEEL
- THIN BRICK
COLOR: DAKOTA
- CULTURED THIN-VENEER STONE
COLOR: PINOS CREEK
- CULTURED THIN-VENEER STONE
COLOR: CAPE COD
- SPLIT-FACE CONCRETE MASONRY UNIT
COLOR: TO MATCH CS-1

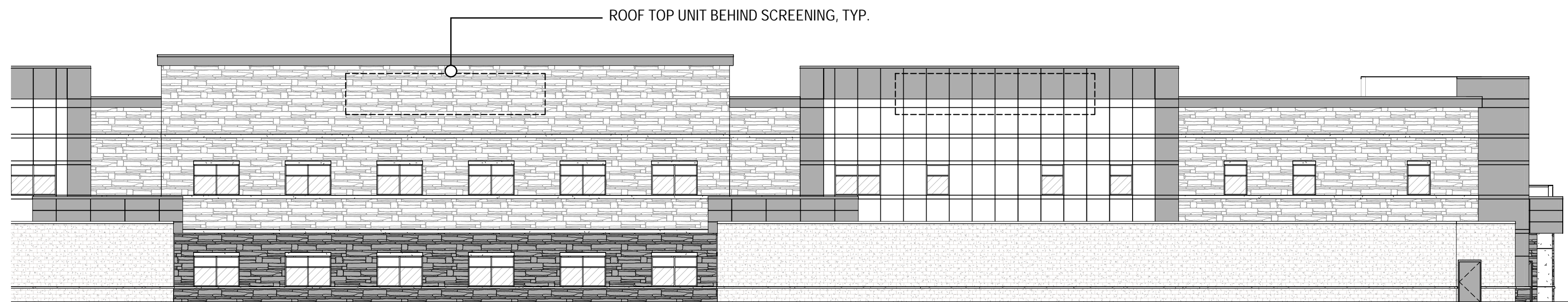
EXTERIOR FINISH MATERIAL AREA CALCULATIONS - WEST ELEVATION			
MATERIAL	AREA	% TOTAL AREA	NOTES
BRICK & CAST/CULTURED STONE MASONRY	7285 sf	51.3%	2
CONCRETE MASONRY SCREEN WALL	1199 sf		
EXTERIOR INSULATION AND FINISH SYSTEM	6004 sf	36.3%	
COMPOSITE METAL PANEL	1926 sf	11.6%	
HOLLOW METAL DOOR	140 sf	0.8%	
TOTAL AREA	16554 sf	100.0%	

¹ Total building frontage at parking lot: 404'. Total Glazed frontage: 257'. Percentage of frontage comprised of glazing: 63.6%.

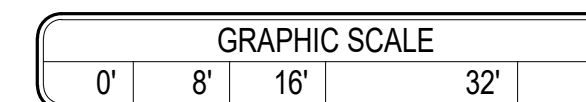
² Precast Activity Yard Screen Walls shall be textured to provide appearance of masonry as required by City of Westminster and noted in submission 1 comments; area is carried under "masonry" heading. Activity Yard Screen Walls are opaque and conceal view of real courtyards completely. Exterior face of activity yard walls have been accounted for in these calculations, and not the concealed finishes within activity yards.



03B WEST EXTERIOR ELEVATION
42 1/16" = 1'-0"



03A WEST EXTERIOR ELEVATION
42 1/16" = 1'-0"



STENGENL-HILL ARCHITECTURE
413 WEST HURON STREET | COVINGTON, COLORADO 80022 | 303.435.1475 | STENGENL-HILL.COM

DATE: 06/15/2022

DATE:

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023

42 OF 57
EXTERIOR
ELEVATIONS

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 43 OF 56

MATERIAL LEGEND

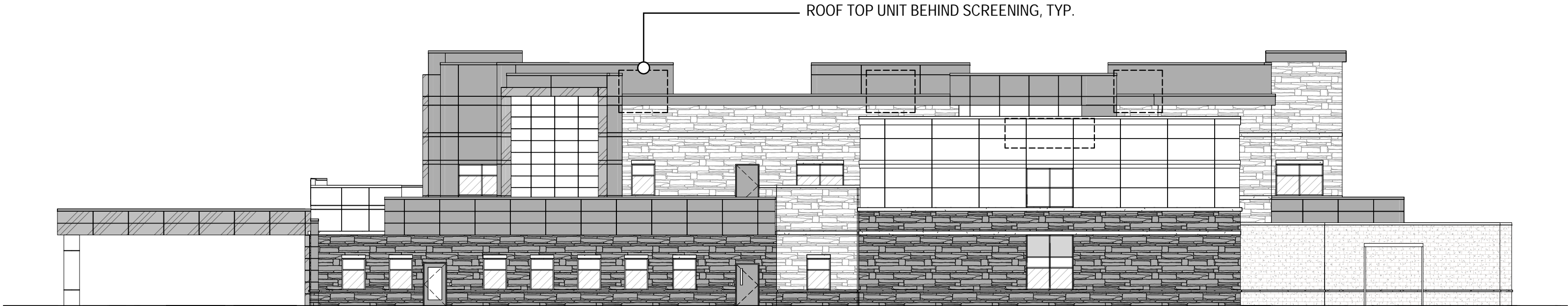
SEE ARCHITECTURAL COLOR ELEVATIONS FOR MORE INFORMATION

- EIFS
COLOR: PEWTER
- ALUMINUM COMPOSITE METAL PANEL
COLOR: BRUSHED ANTIQUE COPPER
- GLAZING
COLOR: CLEAR VISION / BLACK ANODIZED
- EIFS
COLOR: STEEL
- THIN BRICK
COLOR: DAKOTA
- CULTURED THIN-VENEER STONE
COLOR: PINOS CREEK
- CULTURED THIN-VENEER STONE
COLOR: CAPE COD
- SPLIT-FACE CONCRETE MASONRY UNIT
COLOR: TO MATCH CS-1

EXTERIOR FINISH MATERIAL AREA CALCULATIONS - NORTH ELEVATION			
MATERIAL	AREA	% TOTAL AREA	NOTES
BRICK & CAST/CULTURED STONE MASONRY	4231 sf	57.5%	2
CONCRETE MASONRY SCREEN WALL	1915 sf		
EXTERIOR INSULATION AND FINISH SYSTEM	4024 sf	37.6%	
COMPOSITE METAL PANEL	407 sf	3.8%	
HOLLOW METAL DOOR	118 sf	1.1%	
TOTAL AREA	10695 sf	100.0%	

¹ Total building frontage at parking lot: 404'. Total Glazed frontage: 257'. Percentage of frontage comprised of glazing: 63.6%.

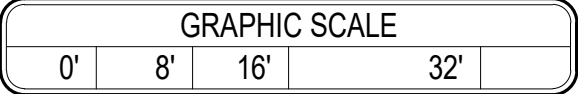
² Precast Activity Yard Screen Walls shall be textured to provide appearance of masonry as required by City of Westminster and noted in submission 1 comments; area is carried under "masonry" heading. Activity Yard Screen Walls are opaque and conceal view of real courtyards completely. Exterior face of activity yard walls have been accounted for in these calculations, and not the concealed finishes within activity yards.



01

NORTH
EXTERIOR ELEVATION

1/16" = 1'-0"



STENGENL-HILL ARCHITECTURE
413 WEST WASHINGTON STREET, COLOMBIA, MISSOURI 65201-1014

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

DATE: 06/15/2022

PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023

43 OF 57
EXTERIOR
ELEVATIONS

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN

TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 44 OF 56



STENGEN-HILL ARCHITECTURE
413 WEST WASHINGTON | COLOMBIA, COLORADO 80501 | 303.440.1515

DATE: 06/15/2022

DATE:

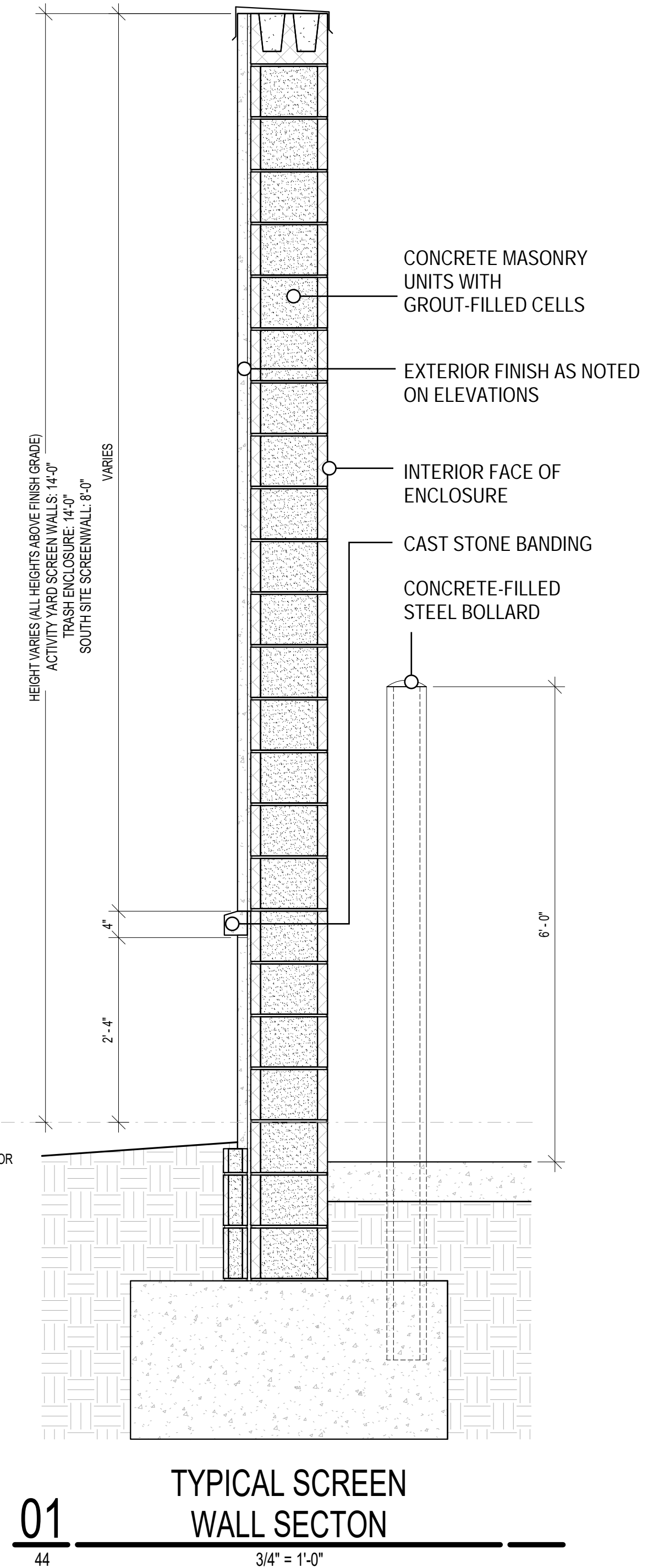
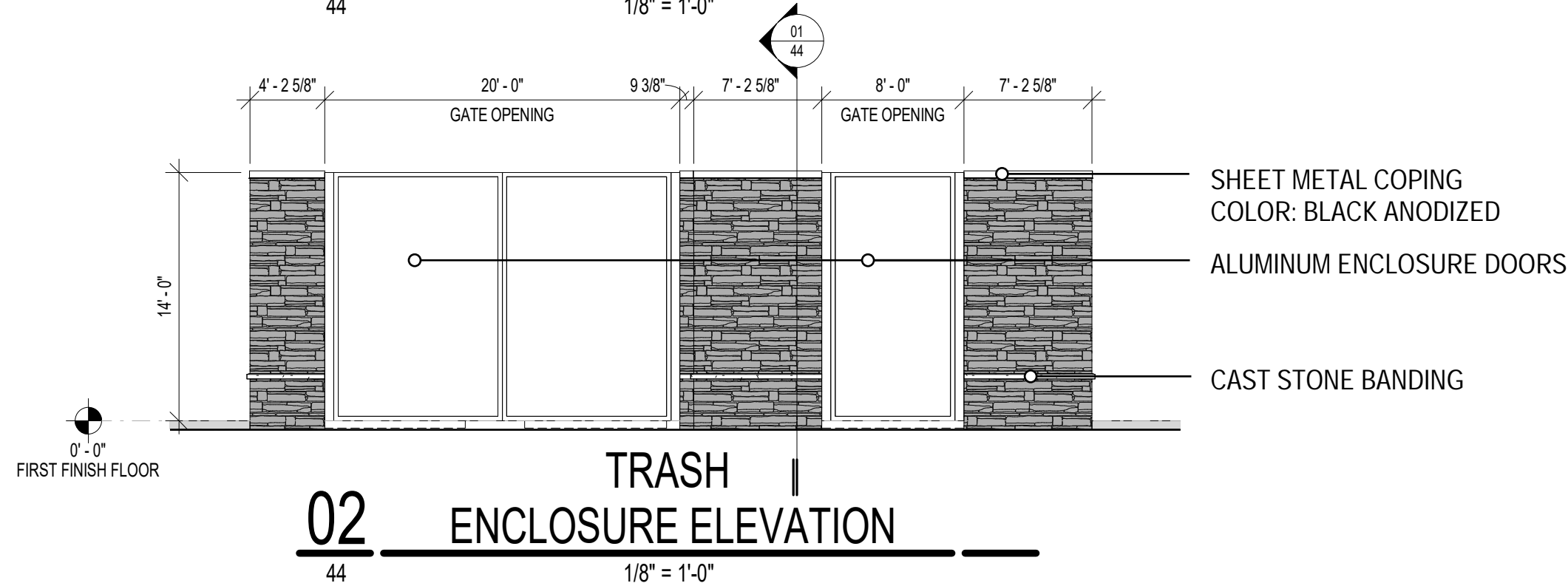
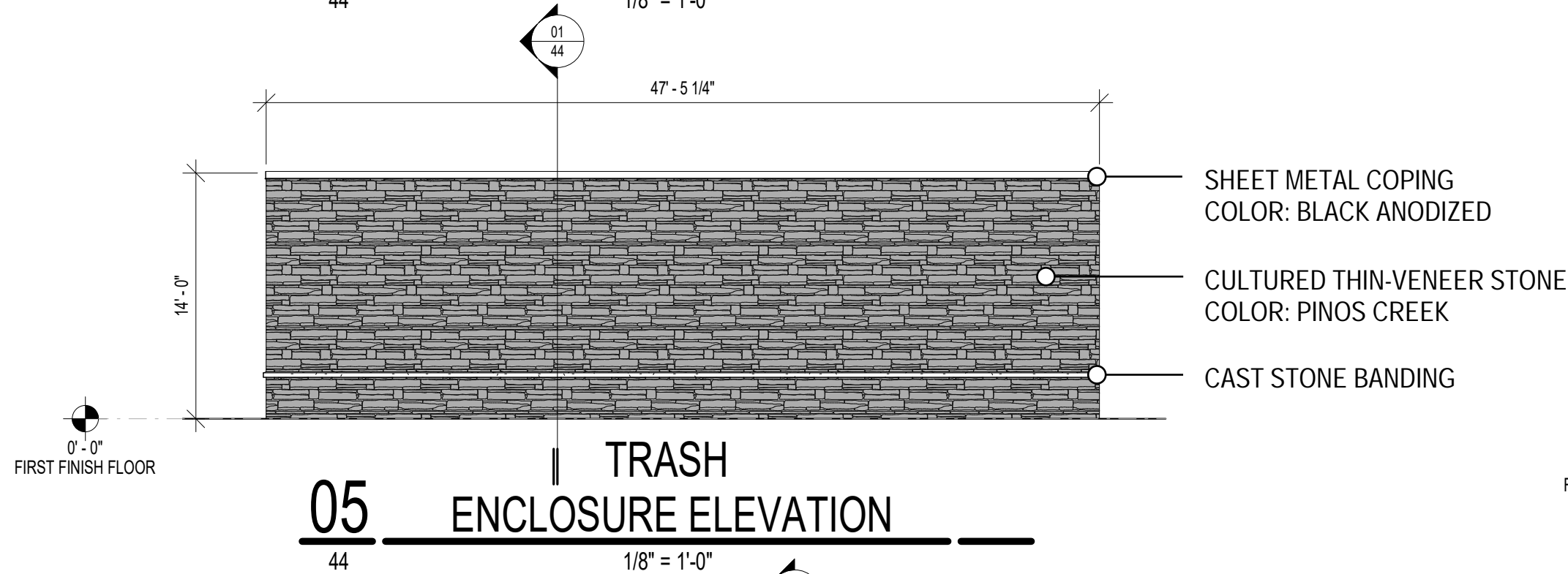
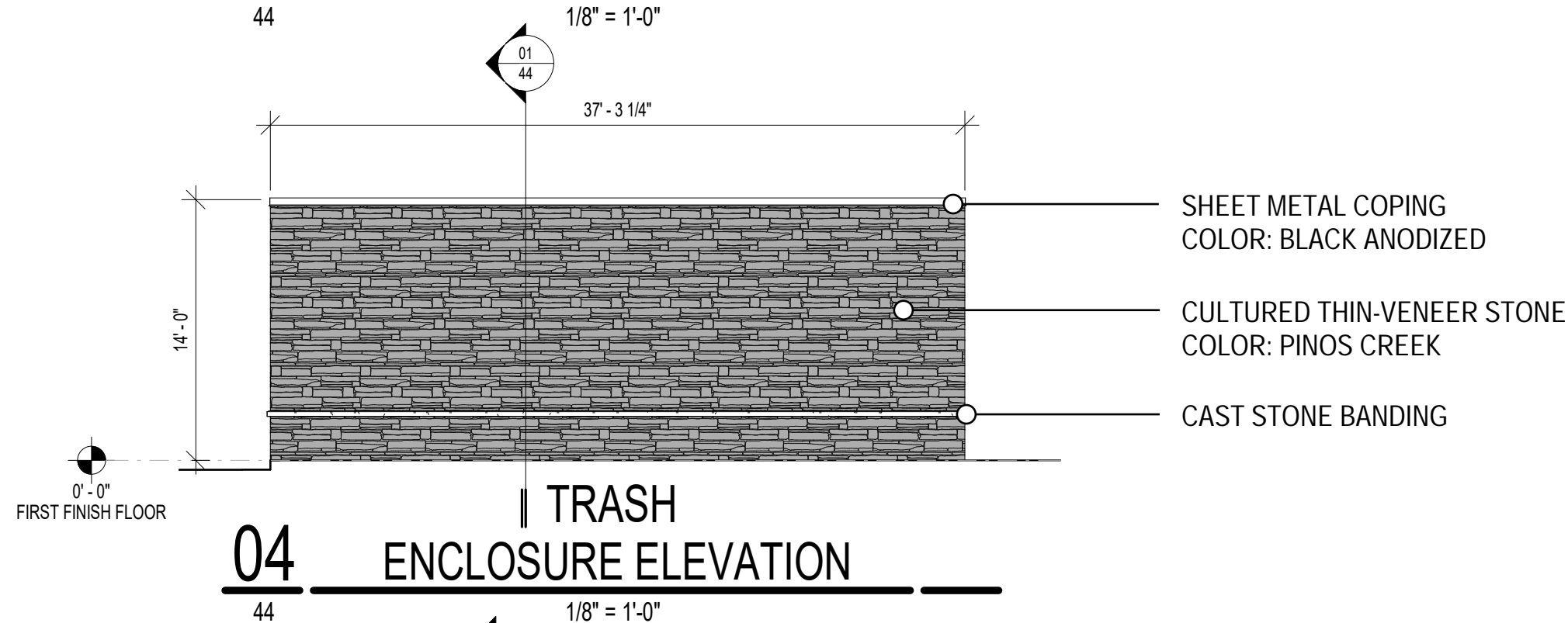
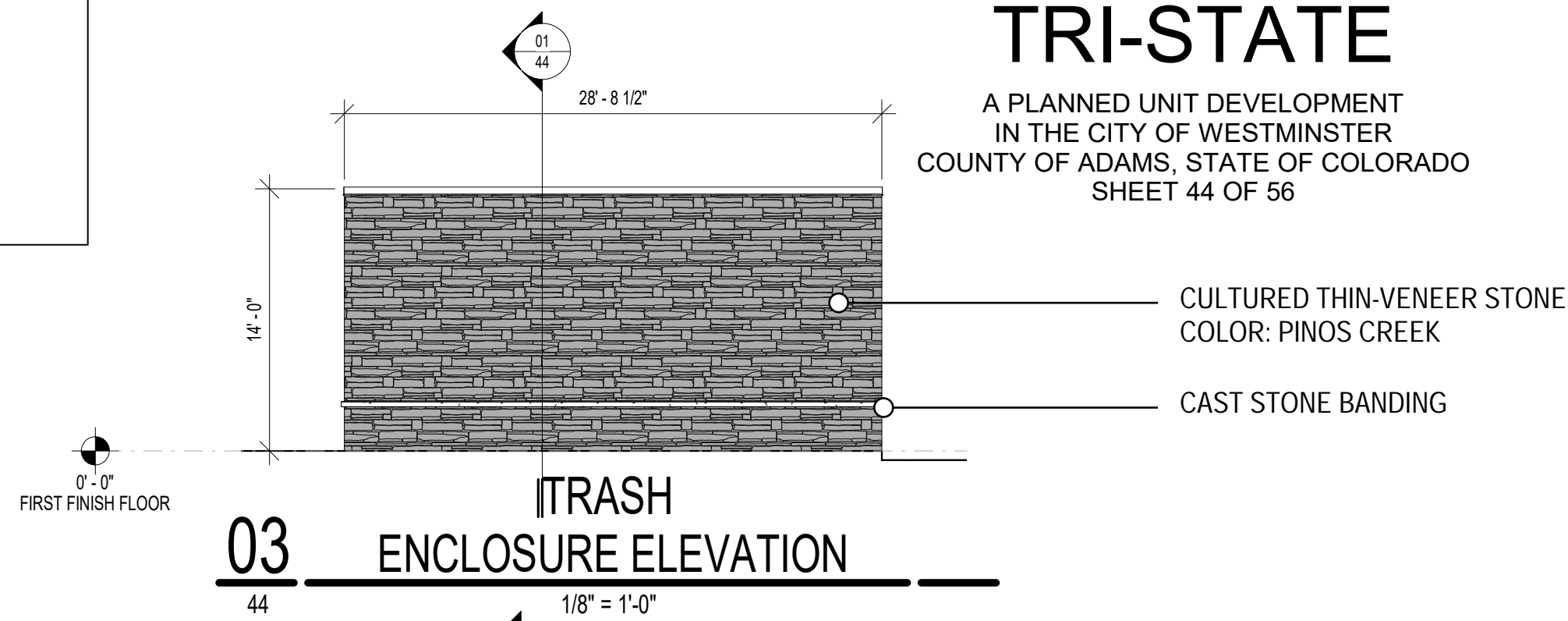
NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023

44 OF 57
TRASH ENCLOSURE
DETAILS



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 45 OF 56



STENGENL-HILL ARCHITECTURE
413 WEST WASHINGTON STREET, COLOMBIA, MISSOURI 65201-1010

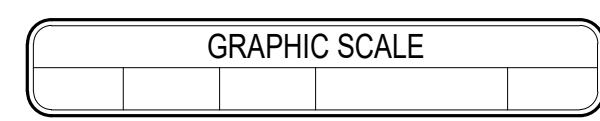
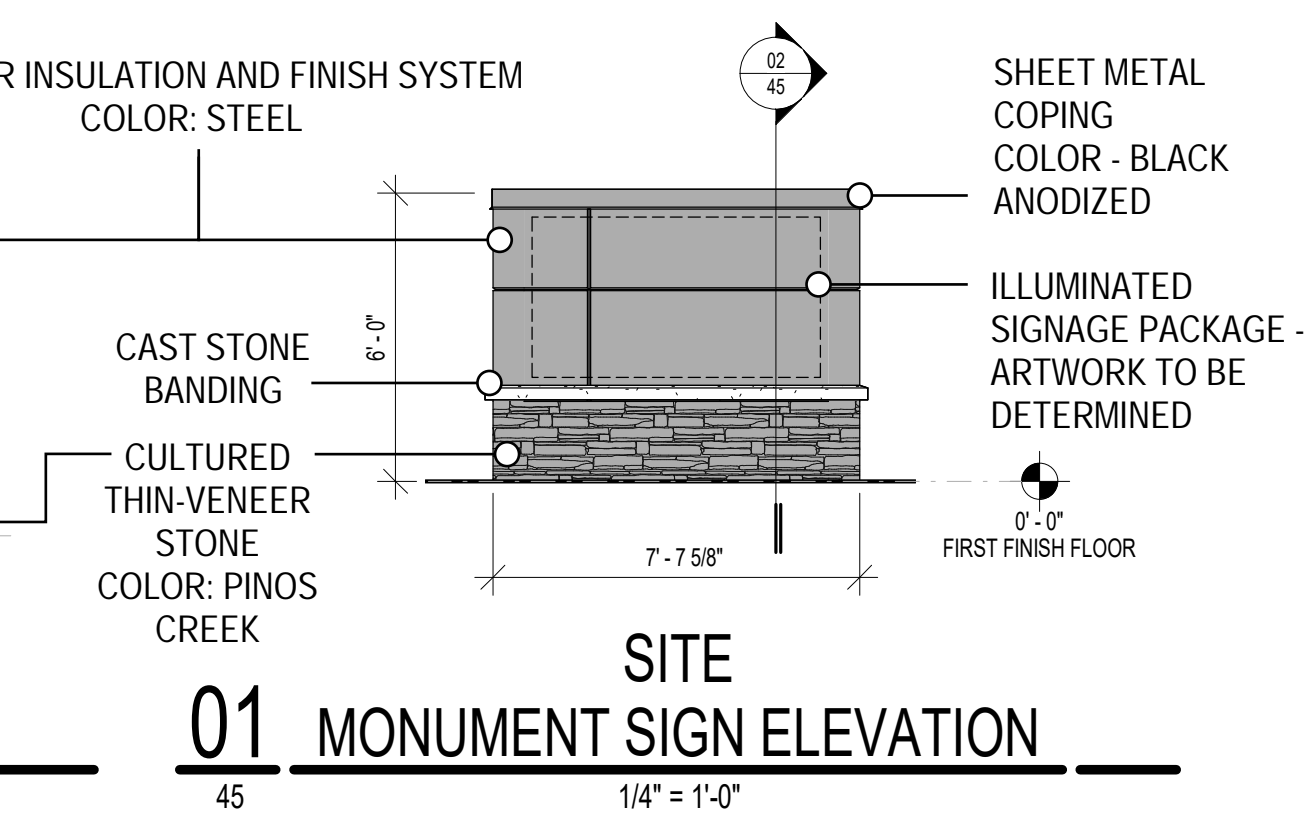
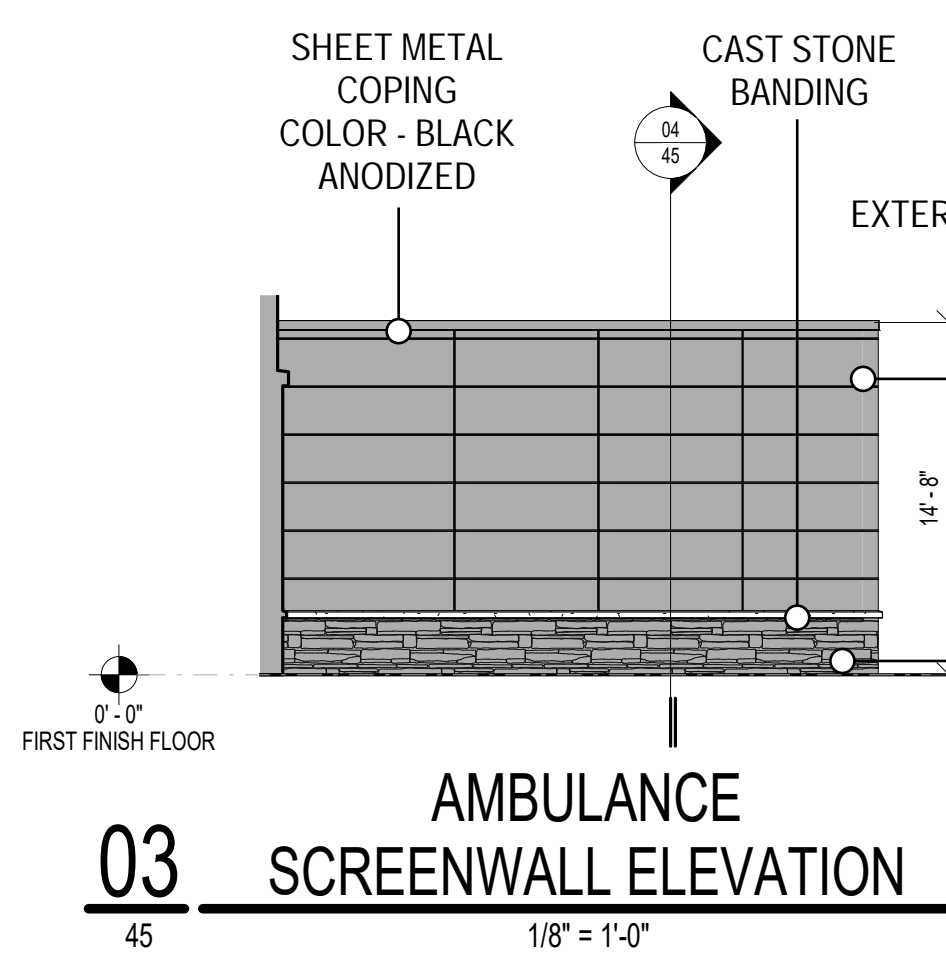
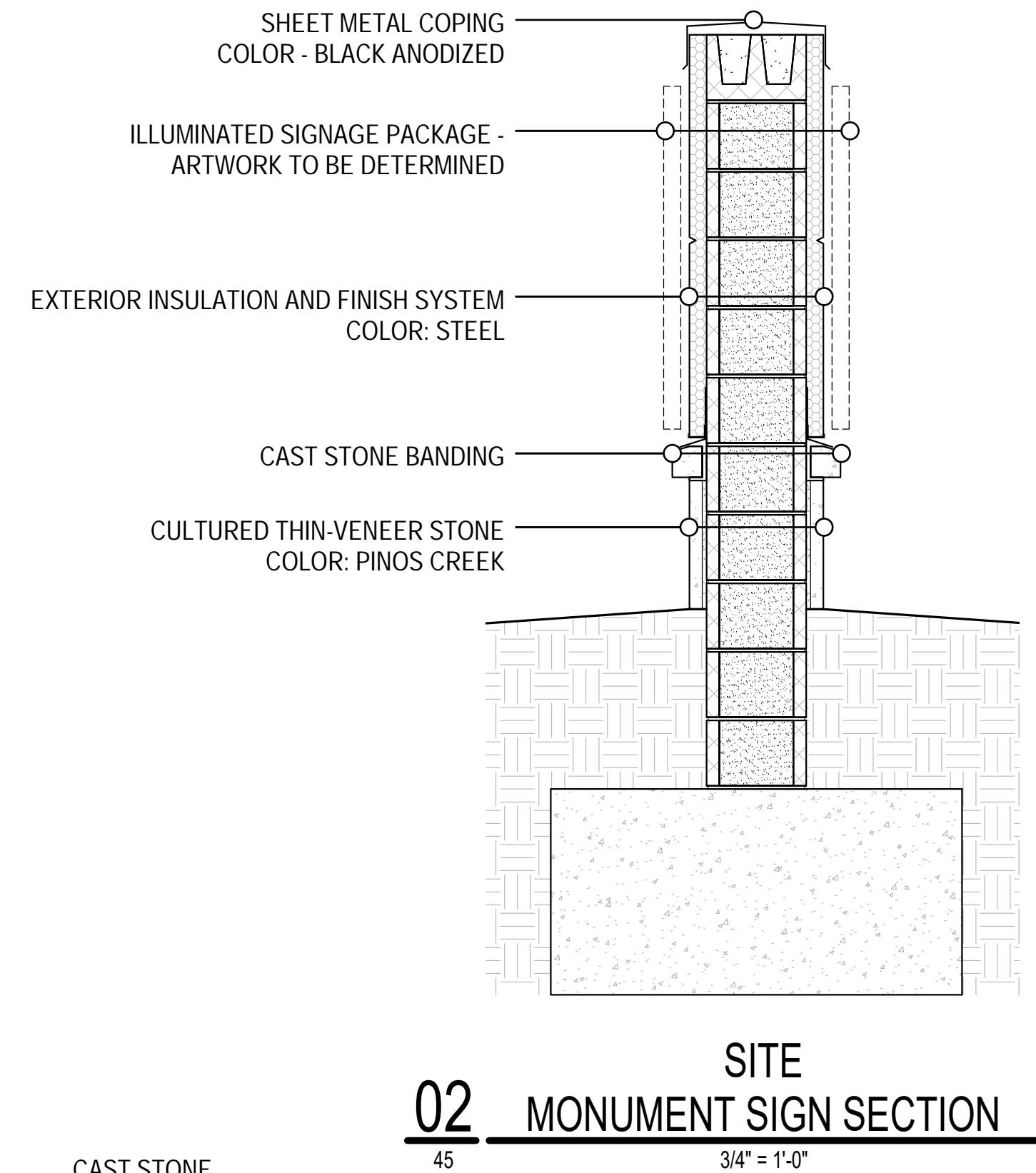
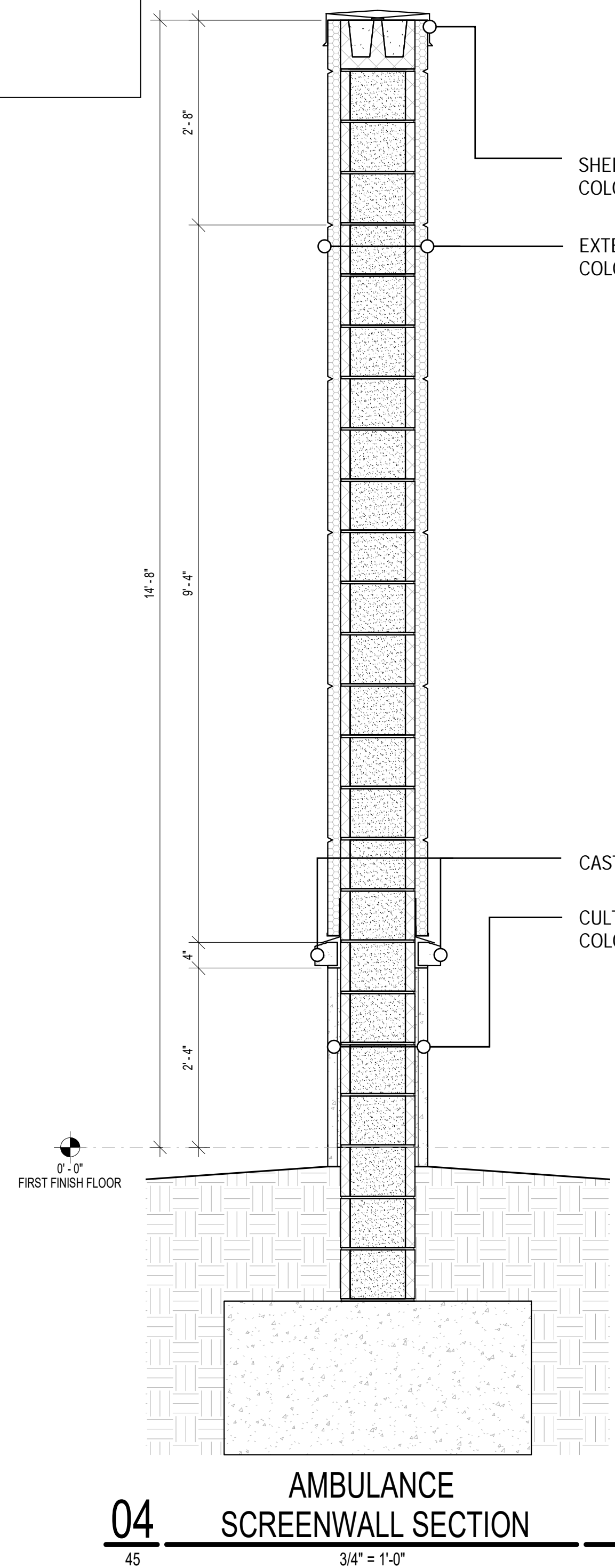
DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023

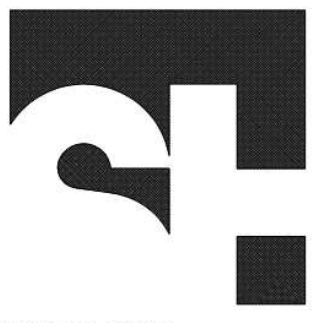
45 OF 57
MONUMENT SIGN
DETAILS



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN

TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 46 OF 56

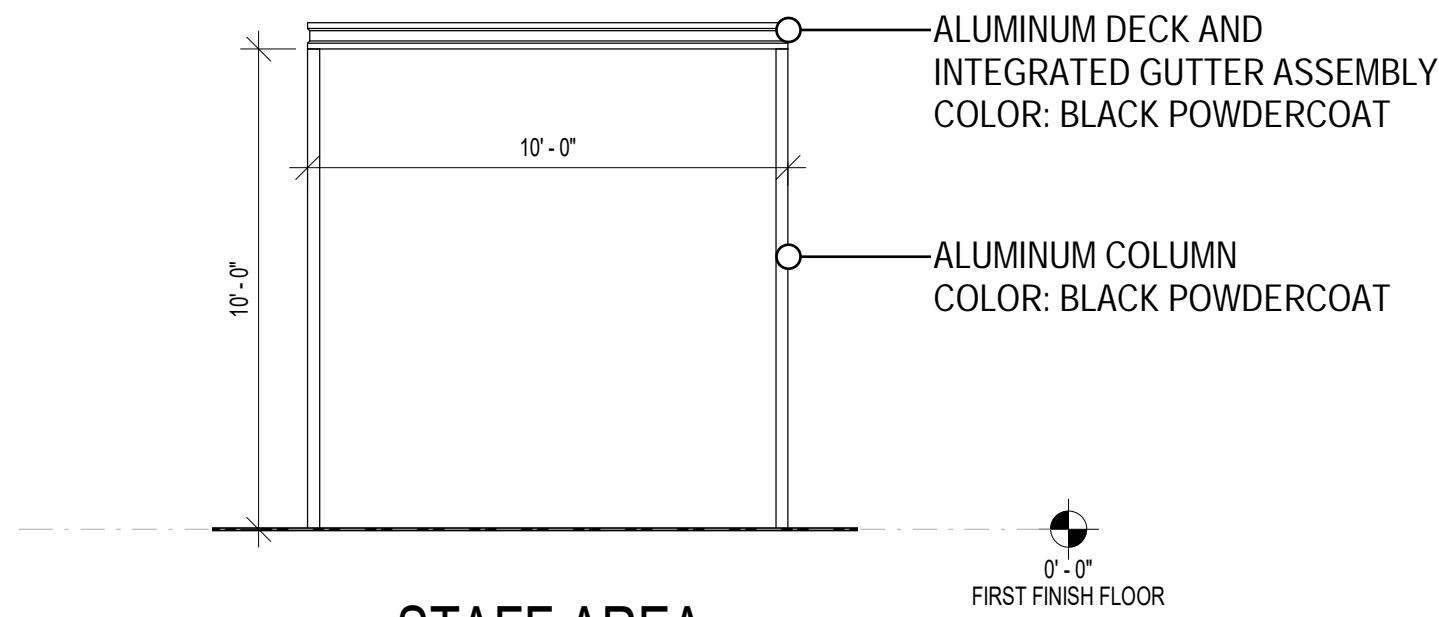
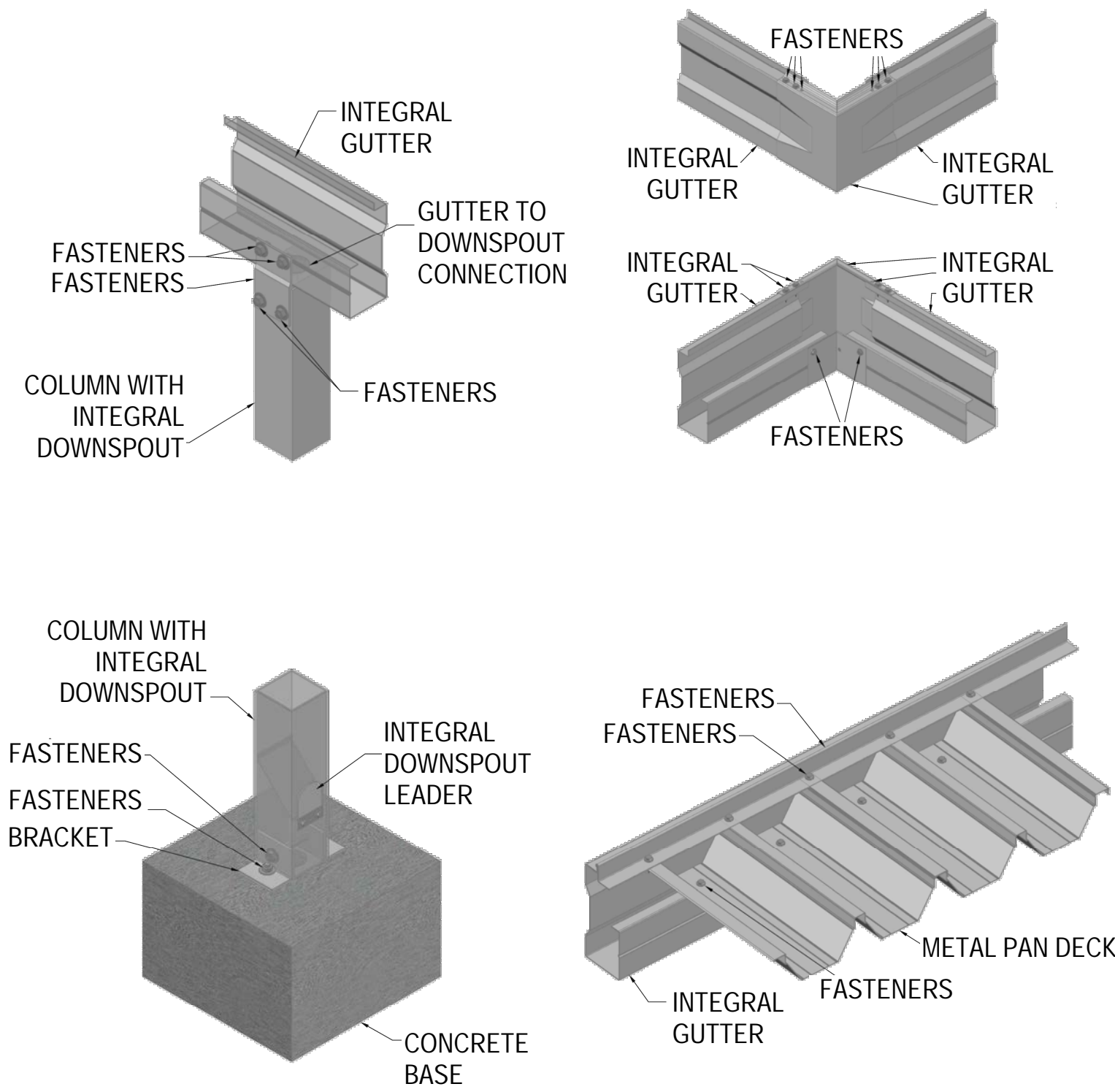


STENGENL-HILL ARCHITECTURE
413 WEST WASHINGTON STREET, COLOMBIA, MISSOURI 65201-1014

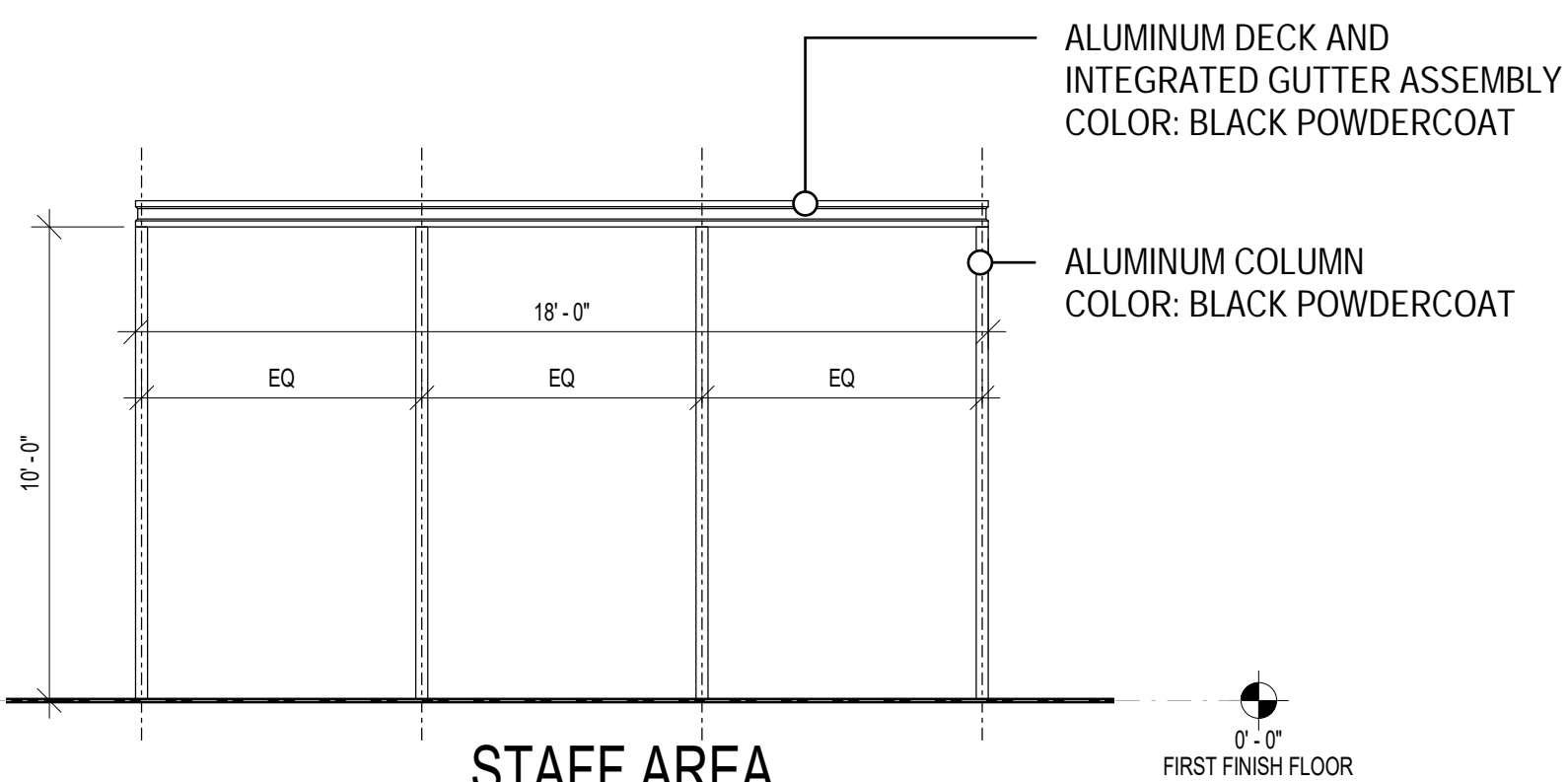
DATE: 06/15/2022

DATE:

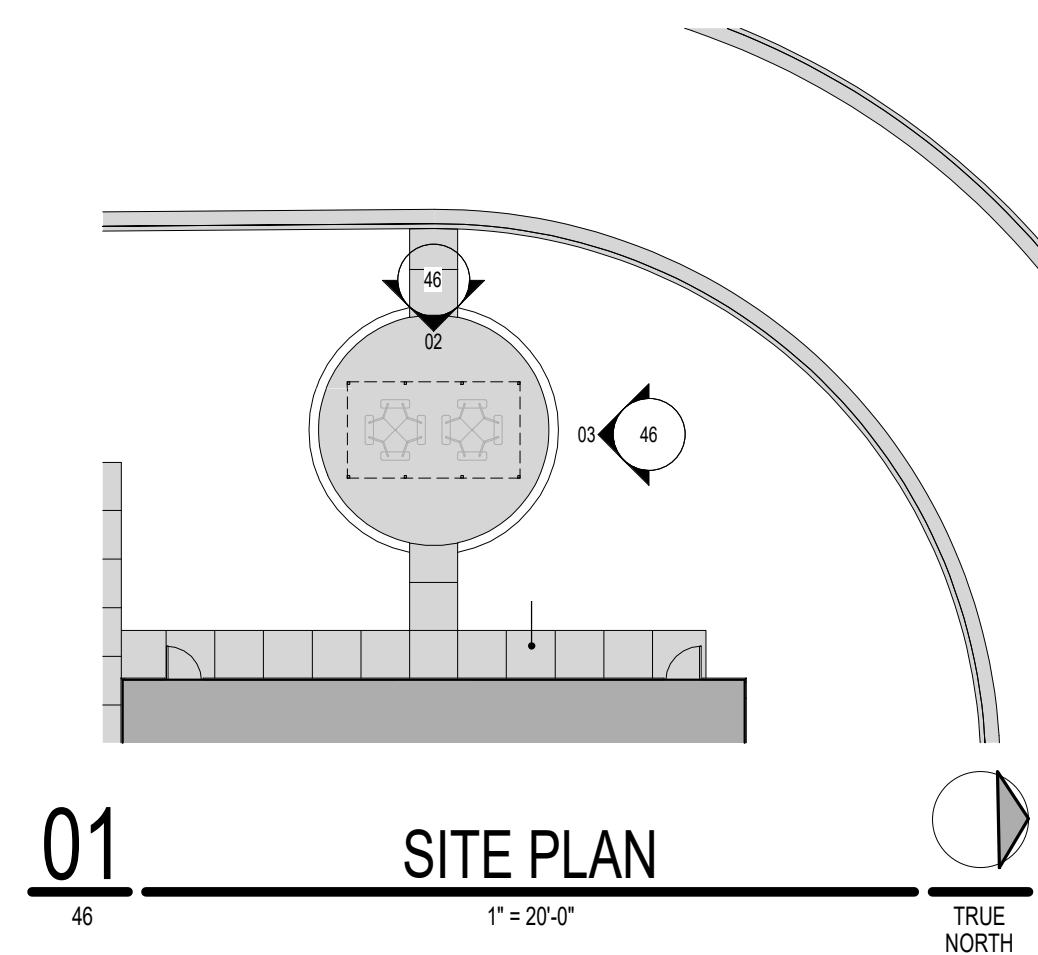
TYPICAL MANUFACTURER'S DETAILS
FOR REFERENCE ONLY



03
STAFF AREA
SHELTER ELEVATION
46 1/4" = 1'-0"



02
STAFF AREA
SHELTER ELEVATION
46 1/4" = 1'-0"



01
SITE PLAN
46 1" = 20'-0"

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

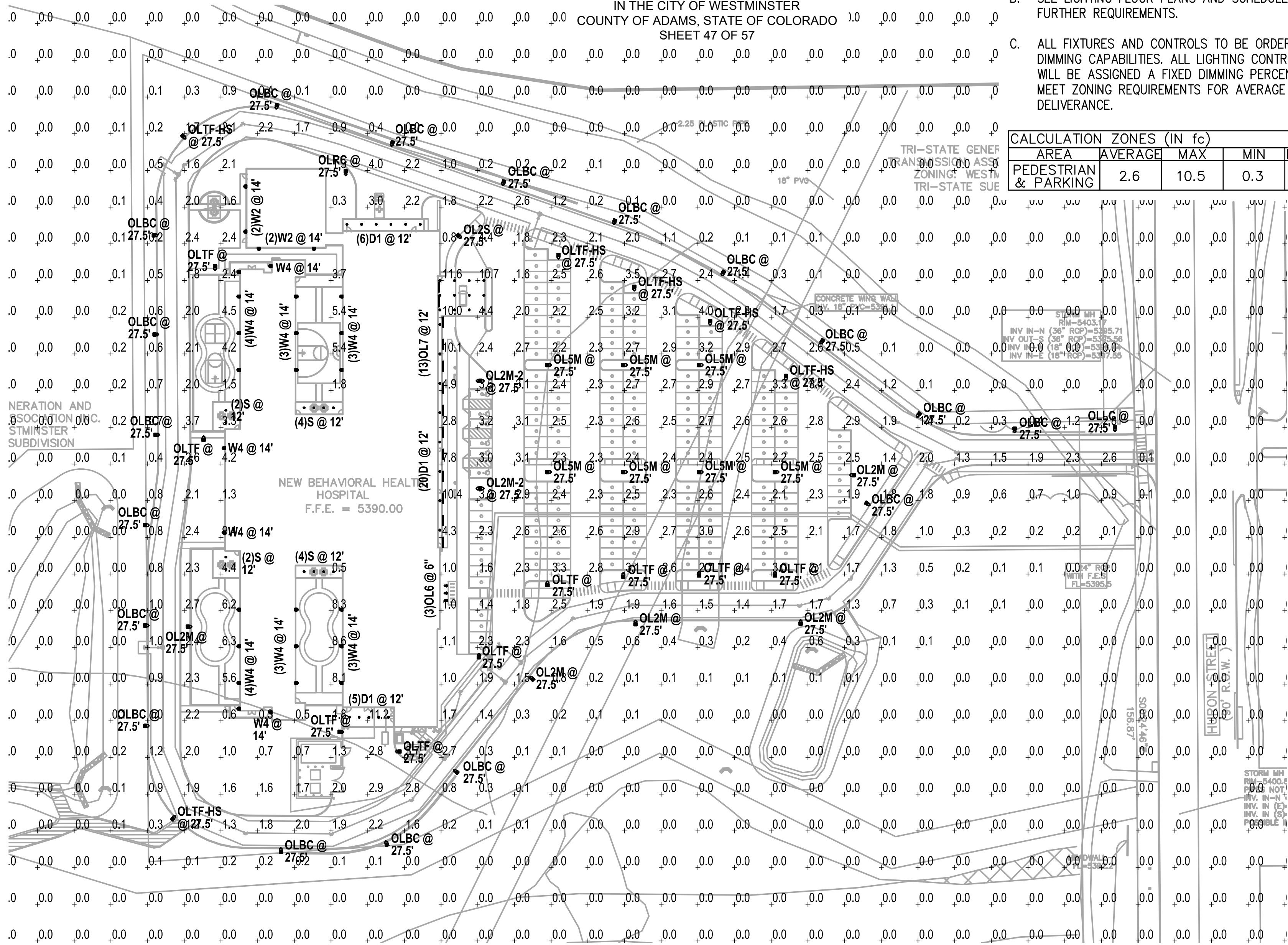
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 47 OF 57

GENERAL NOTES:

- A. AT BUILDING FACADE, SET FIXTURES BACK 36" FROM FROM FACE OF BUILDING TO FRONT OF FIXTURE. COORDINATE LOCATIONS WITH LANDSCAPING PRIOR TO CONSTRUCTION. ALL FIXTURES SHALL BE OBSCURED FROM VIEW BY LANDSCAPING.
- B. SEE LIGHTING FLOOR PLANS AND SCHEDULES FOR FURTHER REQUIREMENTS.
- C. ALL FIXTURES AND CONTROLS TO BE ORDERED WITH DIMMING CAPABILITIES. ALL LIGHTING CONTROL ZONES WILL BE ASSIGNED A FIXED DIMMING PERCENTAGE TO MEET ZONING REQUIREMENTS FOR AVERAGE LIGHT DELIVERANCE.

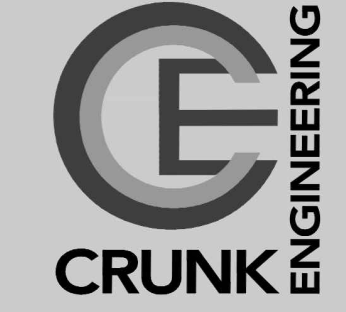
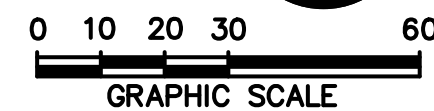
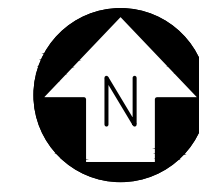
CALCULATION ZONES (IN fc)

AREA	AVERAGE	MAX	MIN	MAX:AVG
PEDESTRIAN & PARKING	2.6	10.5	0.3	4.0 : 1



01 SITE LIGHTING - PHOTOMETRICS

E1.0 1" = 60'-0"



CMTA
10411 WEBSTER STREET, PROSPECT, KENTUCKY 40059
910.363.9885 F. 910.363.9891 WWW.CMTA.COM

DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**

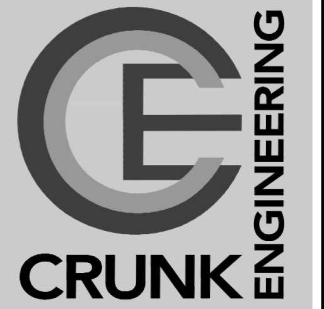
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED: 06/15/2022	REV 1 09/21/2022
	REV 2 11/08/2022
	REV 3 12/12/2022
	REV 4 01/18/2023

47 OF 57
PHOTO-
METRIC PLAN

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 48 OF 57



DATE: 06/15/2022

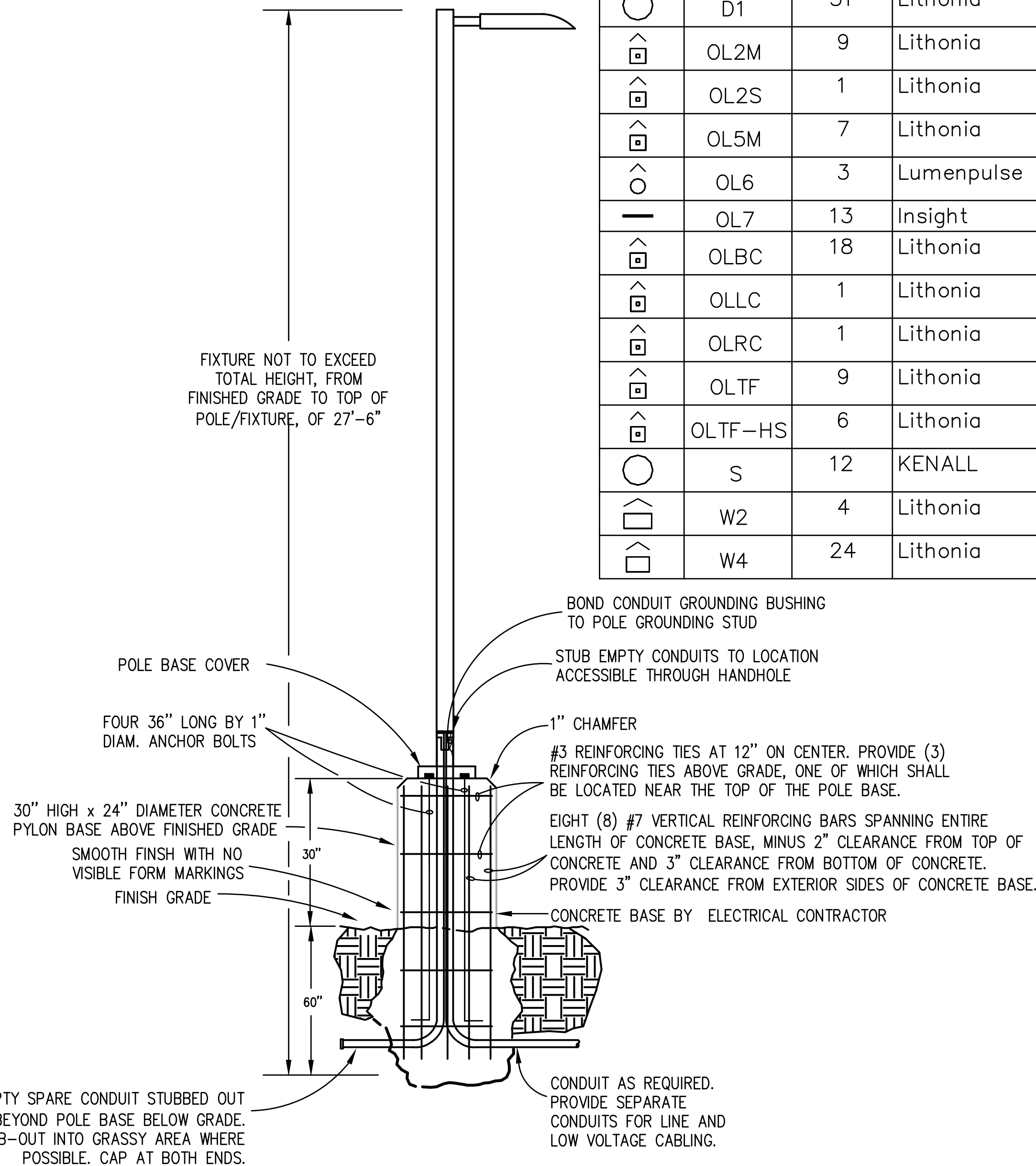
DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED: 06/15/2022	REV 1 09/21/2022
	REV 2 11/08/2022
	REV 3 12/12/2022
	REV 4 01/18/2023

48 OF 57
DETAILS

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	CCT	Lumens	Wattage	
○	D1	31	Lithonia	LDN6 30/15 LO6AR LSS	3000K	1494	17.52	
⤴	OL2M	9	Lithonia	DSX1 LED P3 30K 80CRI T2M	3000K	11851	102.17	
⤴	OL2S	1	Lithonia	DSX1 LED P2 30K 80CRI T1S	3000K	9075	67.79	
⤴	OL5M	7	Lithonia	DSX1 LED P3 30K 80CRI T5M	3000K	12518	102.17	
⤴	OL6	3	Lumenpulse	LBM-120-30K-FL-XX-XX-VS	3000K	1563	25	
—	OL7	13	Insight	ME/HO/30K/ASY/X/48/XX/SF	3000K	1266	14	
⤴	OLBC	18	Lithonia	DSX1 LED P3 30K 80CRI BLC3	3000K	8720	102.17	
⤴	OLLC	1	Lithonia	DSX1 LED P3 30K 80CRI LCCO	3000K	8799	102.17	
⤴	OLRC	1	Lithonia	DSX1 LED P3 30K 80CRI RCCO	3000K	8799	102.17	
⤴	OLTF	9	Lithonia	DSX1 LED P3 30K 80CRI TFTM	3000K	12251	102.17	
⤴	OLTF-HS	6	Lithonia	DSX1 LED P3 30K 80CRI TFTM HS	3000K	10274	102.17	
○	S	12	KENALL	HADL6-yF-XXX-22L-30K8-M-FW-9	3000K	234	24	
⤴	W2	4	Lithonia	WST LED P2 30K VW MVOLT VG	3000K	3276	25	
⤴	W4	24	Lithonia	WST LED P3 30K VF MVOLT VG	3000K	6165	50	

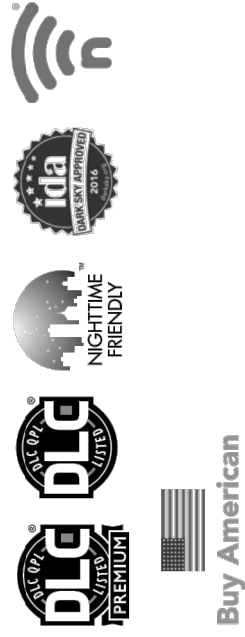


POLE BASE DETAIL
NO SCALE

DSX1-LED-P2/P3-30K-T1S/T2M/T5M/TFTM/BLC/RCCO-MVOLT-(HS)



D-Series Size 1 LED Area Luminaire



Catalog Number

Notes

Type

OLBC, OL2M, OL2S, OL5W, OLTF, OLTF-HS, ORCO

d^{series}

Buy American

Specifications

EPA: 1.01 ft²
(0.09 m²)

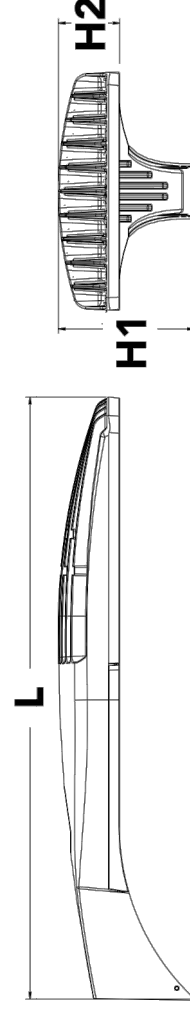
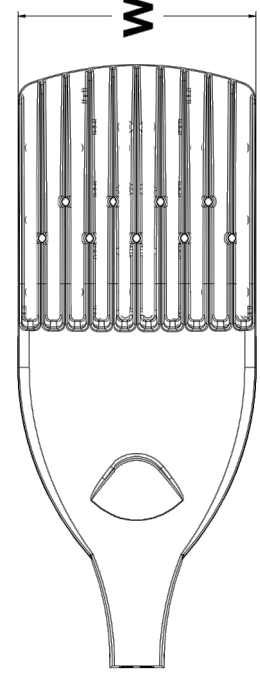
Length: 33"
(83.8 cm)

Width: 13"
(33.0 cm)

Height H1: 7-1/2"
(19.0 cm)

Height H2: 3-1/2"

Weight (max): 27 lbs
(12.2 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DBBXD

DSX1 LED	LEDs	Color temperature	Distribution	Voltage	Mounting
Series					
DSX1 LED	Forward optics P1 P4 ¹ P7 ¹ P2 P5 ¹ P8 P3 P6 ¹ P9 ¹ Rotated optics P10 ² P12 ² P11 ² P13 ^{1,2}	30K 40K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium	MVOLT ³ XVOLT (277V-480V) ^{6,7,8} 120 ⁹ 208 ⁹ 240 ⁹ 277 ⁹ 347 ⁹ 480 ⁹	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ⁹ Shipped separately KMA8 DBBXD U Mast arm mounting bracket adaptor (specify finish) ¹²

Control options

Shipped installed
 NLTAIR2 nLight-AIR generation 2 enabled¹³
 PIRHN Network, high/low motion/ambient sensor¹⁴
 PER NEMA twist-lock receptacle only (controls ordered separately)¹⁵
 PERS Five-pin receptacle only (controls ordered separately)^{15,16}
 PER7 Seven-pin receptacle only (controls ordered separately)^{15,16}
 DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)¹⁷
 DS Dual switching^{18,19,20}

Other options

Shipped installed
 HS House-side shield²³
 SF Single fuse (120, 277, 347V)⁹
 DF Double fuse (208, 240, 480V)⁹
 L90 Left rotated optics²
 R90 Right rotated optics²
 HA 50°C ambient operations¹
 BAA Buy America(n) Act Compliant
Shipped separately
 BS Bird spikes²⁴
 EGS External glare shield

Finish (required)

DBBXD Dark bronze
 DBLXD Black
 DNAXD Natural aluminum
 DWHXD White
 DDBTXD Textured dark bronze
 DBLBXD Textured black
 DNATXD Textured natural aluminum
 DWHGXD Textured white

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 49 OF 57



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

© 2011-2021 Acuity Brands Lighting, Inc. All rights reserved.

DSX1-LED

Rev. 07/19/21

Page 1 of 8

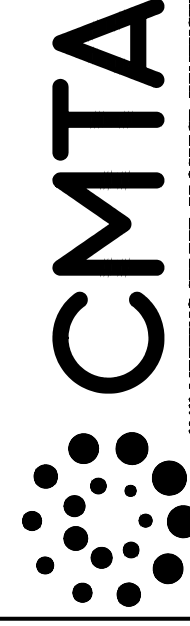
49 OF 57
DETAILS

PLAN PREPARED:
06/15/2022

REV 1 09/21/2022
 REV 2 11/08/2022
 REV 3 12/12/2022
 REV 4 01/18/2023

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234



10411 MEBERTING STREET, PROSPECT, KENTUCKY 40059
902.362.9085 F. 902.362.9081 WWW.CMTA.COM

DATE: 06/15/2022





LDN6-30/15-L06-AR-LSS-MVOLT

Catalog Number	
Notes	
Type	D1

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment.

Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

70% lumen maintenance at 60,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.

BUY AMERICAN — Product with the BAA option is assembled in the USA and meets the Buy American(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

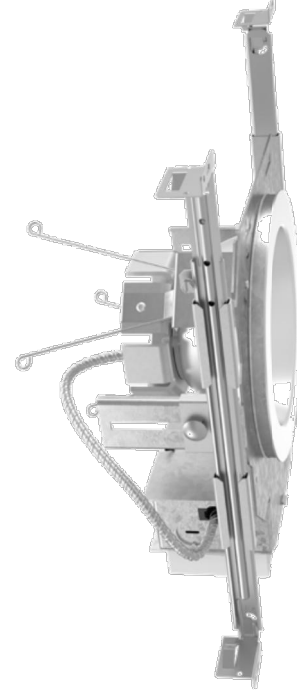
WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

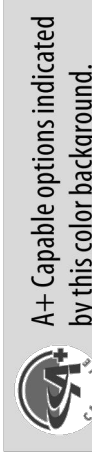
Specifications subject to change without notice.

LDN6



6" Open and WallWash LED Non-IC

New Construction Downlight



ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN6 35/15 L06AR LSS MVOLT EZ10

Series	Color temperature	Lumens ¹	Aperture/Trim Color	Finish	Voltage
LDN6 6" round	27/ 2700K	05 500 lumens	LO6 Downlight TW6 Wallwash	Clear White Black	[MVOLT] Multi-volt 120 277 277V 347 ³ 347V
	[30/ 3000K	25 2500 lumens			
	35/ 3500K	30 3000 lumens			
	40/ 4000K	40 4000 lumens			
	50/ 5000K	50 5000 lumens			

Driver	Options	Notes
GZ10 0-10V driver dims to 10%	SF ⁴ Single fuse	N80 ⁸ nLight™ Lumen Compensation
GZ1 0-10V driver dims to 1%	TRW ⁵ White painted flange	JOT ¹³ Wireless room control with "Just One Touch" pairing
D10 Minimum dimming 10% driver for use with JOT	TRBL ⁵ Black painted flange	NPS80EZ ⁷ nLight® dimming pack controls 0-10V eidoLED drivers (EZ10, EZ1).
D1 Minimum dimming 1% driver for use with JOT	EL ⁶ Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	NPS80EZER ⁷ nLight® dimming pack controls 0-10V eidoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.
EZ10 0-10V eidoLED driver with smooth and flicker-free deep dimming performance down to 10%	ELR ⁶ Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	HAO ¹¹ High ambient option
EZ1 0-10V eidoLED driver with smooth and flicker-free deep dimming performance down to 1%	ELSD ⁶ Emergency battery pack with self-diagnostics, integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	CP ¹² Chicago Plenum
EDAB eidoLED DALI SOLDRIVE dim to dark	ELRSD ⁶ Emergency battery pack with self-diagnostics, remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	RRL___
	E10WCP ⁶ Emergency battery pack, 10W Constant Power with integral test switch.	NLTAR2 ^{9,10} nLight® Air enabled
	E10WCPR ⁶ Emergency battery pack, 10W Constant Power with remote test switch.	NLTARER2 ^{9,10} nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options
	NPP16D ⁷ nLight® network power/relay pack with 0-10V dimming for non-eidoLED drivers (GZ10, GZ1).	NLTAREM2 ^{9,10} nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options. Buy America(n) Act Compliant
	NPP16DER ⁷ nLight® network power/relay pack with 0-10V dimming for non-eidoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.	BAA Buy America(n) Act Compliant
		90CRI High CRI (90+)

Accessories: Order as separate catalog number.

PS1055CP	FMC Power Sentry battery pack, T20 compliant, field installable, 10w constant power
EAC ISSM 375	Compact interruptible emergency AC power system
EAC ISSM 125	Compact interruptible emergency AC power system
GRA68 IZ	Oversized trim ring with 8" outside diameter
SCA6	Sloped Ceiling Adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA6 10D

- Notes**
- Overall height varies based on lumen package; refer to dimensional chart on page 3.
 - Not available with finishes.
 - Not available with emergency options.
 - Must specify voltage 120V or 277V.
 - Available with clear (AR) reflector only.
 - 12.5" of plenum depth or top access required for battery pack maintenance.
 - Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
 - Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
 - Not available with CP, NPS80EZ, NP-S80EZ, NPP16D, NPP16DER or N80 options.
 - NLTAR2, NLTARER2 and NLTAREM2 not recommended for metal ceiling installations.
 - Fixture height is 6.5" for all lumen packages with HAO.
 - Must specify voltage for 3000lm and above. 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emergency battery pack option.
 - Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.

DOWNLIGHTING

LDN6

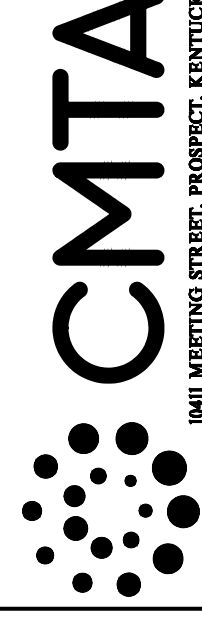
50 OF 57
DETAILS

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234



10411 MEBERTING STRAET, PROSPECT, KENTUCKY 40059
902.363.9085 F 902.363.2691 WWW.CMTA.COM

DATE: 06/15/2022



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 50 OF 57



WST LED

Architectural Wall Sconce



WST-LED-P3-30K-VF/VW-MVOLT-VG

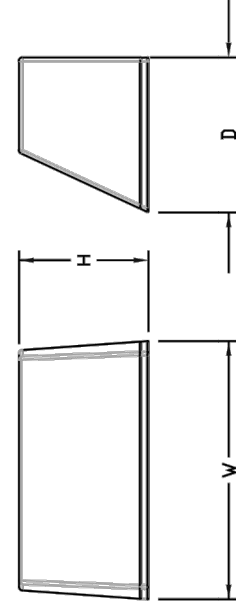
Catalog Number	
Notes	
Type	W2, W4

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Luminaire

- Height:** 8-1/2" (21.59 cm)
- Width:** 17" (43.18 cm)
- Depth:** 10-3/16" (25.9 cm)
- Weight:** 20 lbs (9.1 kg)



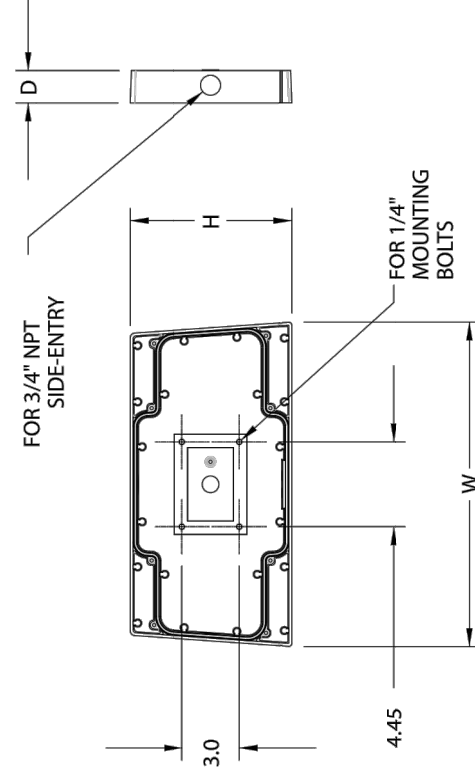
A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

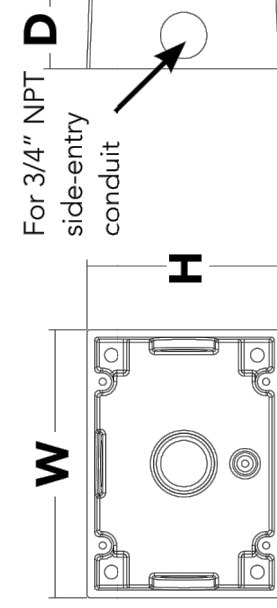
Optional Back Box (PBBW)

- Height:** 8.49" (21.56 cm)
- Width:** 17.01" (43.21 cm)
- Depth:** 1.70" (4.32 cm)



Optional Back Box (BBW)

- Height:** 4" (10.2 cm)
- Width:** 5-1/2" (14.0 cm)
- Depth:** 1-1/2" (3.8 cm)



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 51 OF 57

To learn more about A+, visit www.acuitybrands.com/aplus.

See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-SERV (7378) • www.lithonia.com

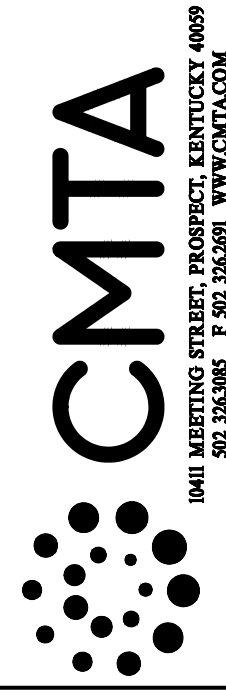
WST-LED
Rev. 03/08/22

51 OF 57
DETAILS

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023

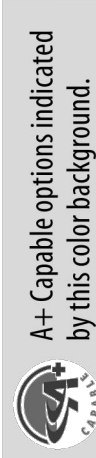
NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
11455 HURON ST
WESTMINSTER, CO 80234



10411 MEBBING STREET, PROSPECT, KENTUCKY 40059
902.363.985 F 902.363.2691 WWW.CMTA.COM

DATE: 06/15/2022





Ordering Information

EXAMPLE: WST LED P1 40K VF MVOLT DDBTXD

WST LED	Performance Package	Color temperature	Distribution	Voltage	Mounting
Series					
WST LED	P1 1,500 Lumen package P2 3,000 Lumen package P3 6,000 Lumen package	27K 30K 40K 50K	VF VW	MVOLT 120 ² 208 ² 240 ²	Shipped included (blank) Surface mounting bracket Shipped separately BBW Surface-mounted back box ³ PBBW Premium surface-mounted back box ^{3,4}

Options

		Finish (required)
NLTAIR2 PIR	nLIGHT AIR Wireless enabled motion/ambient sensor for 8'-15' mounting heights ^{5,6,7}	DDBXD Dark bronze
NLTAIR2 PIRH	nLIGHT AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights ^{5,6,7}	DBLXD Black
PE	Photoelectric cell, button type ⁸	DNAXD Natural aluminum
PER	NEMA twist-lock receptacle only (controls ordered separate) ⁹	DWHXD White
PERS	Five-wire receptacle only (controls ordered separate) ⁹	DSSXD Sandstone
PER7	Seven-wire receptacle only (controls ordered separate) ⁹	DDBTXD Textured dark bronze
PIR	Motion/Ambient Light Sensor, 8-15' mounting height ^{5,6}	DBLBXD Textured black
PIR1FC3V	Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{5,6}	DNATXD Textured natural aluminum
PIRH1FC3V	180° motion/ambient light sensor, 15-30' mounting height ^{5,6}	DWHGXD Textured white
SF	Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{5,6}	DSSTXD Textured sandstone
DF	Single fuse (120, 277, 347V) ²	
DS	Double fuse (208, 240, 480V) ²	
DS	Dual switching ¹⁰	
DMG	0-10V dimming extend out back of housing for external control (control ordered separate) ¹¹	
E7WH	Emergency battery backup, Non CEC compliant (7W) ⁷	

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 52 OF 57

Accessories

Ordered and shipped separately.

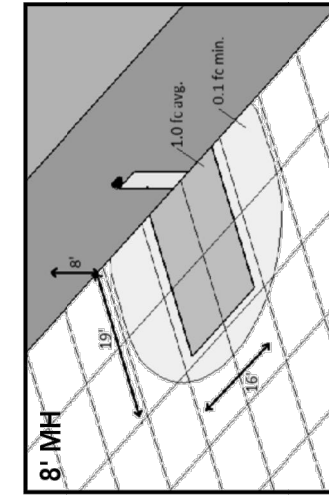
WSTVCPBBW DDBXD U	Premium Surface - mounted back box
WSBBW DDBTXD U	Surface - mounted back box
RBPW DDBXD U	Retrofit back plate
DLL127F 1.5 JU	Photoceil - SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CUL JU	Photoceil - SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CUL JU	Photoceil - SSL twist-lock (480V) ¹⁷

NOTES

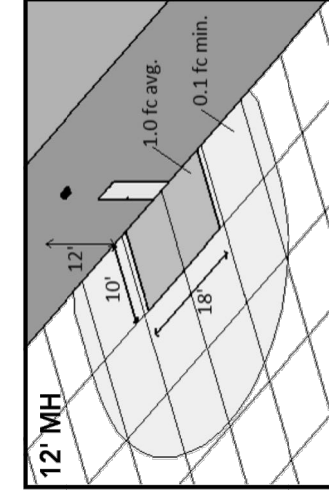
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Also available as a separate accessory; see accessories information.
- Top conduit entry standard.
- Not available with VG or WG. See PER Table.
- Reference Motion Sensor table.
- Not available with 347/480V.
- Need to specify 120, 208, 240 or 277 voltage.
- Photoceil ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Not available with Emergency options, PE or PER options.
- DMG option not available with standalone or networked sensors/controls.
- Battery pack rated for -20° to 40°C.
- Comes with PBBW.
- Warranty period is 3-years.
- Not available with BBW.
- Must order with fixture; not an accessory.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table.

Emergency Battery Operation

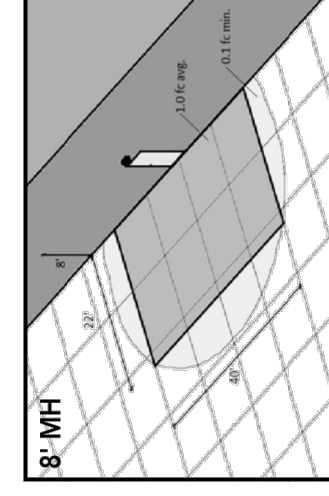
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of NFPA 70/NEC 2008 - 700.16 and NFPA 101 Life Safety Code Section 7.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions. The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.



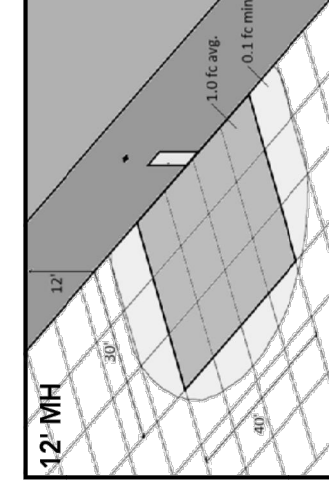
10' x 10' Gridlines
8' and 12' Mounting Height



WST LED P1 27K VF MVOLT E7WH



WST LED P2 40K VF MVOLT E20WH



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-SERV (7378) • www.lithonia.com

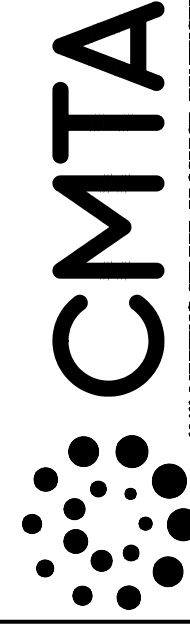
WST-LED
Rev. 03/08/22

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234



10411 MEBBING STREET, PROSPECT, KENTUCKY 40059
902.362.9085 F 902.362.9091 WWW.CMTA.COM

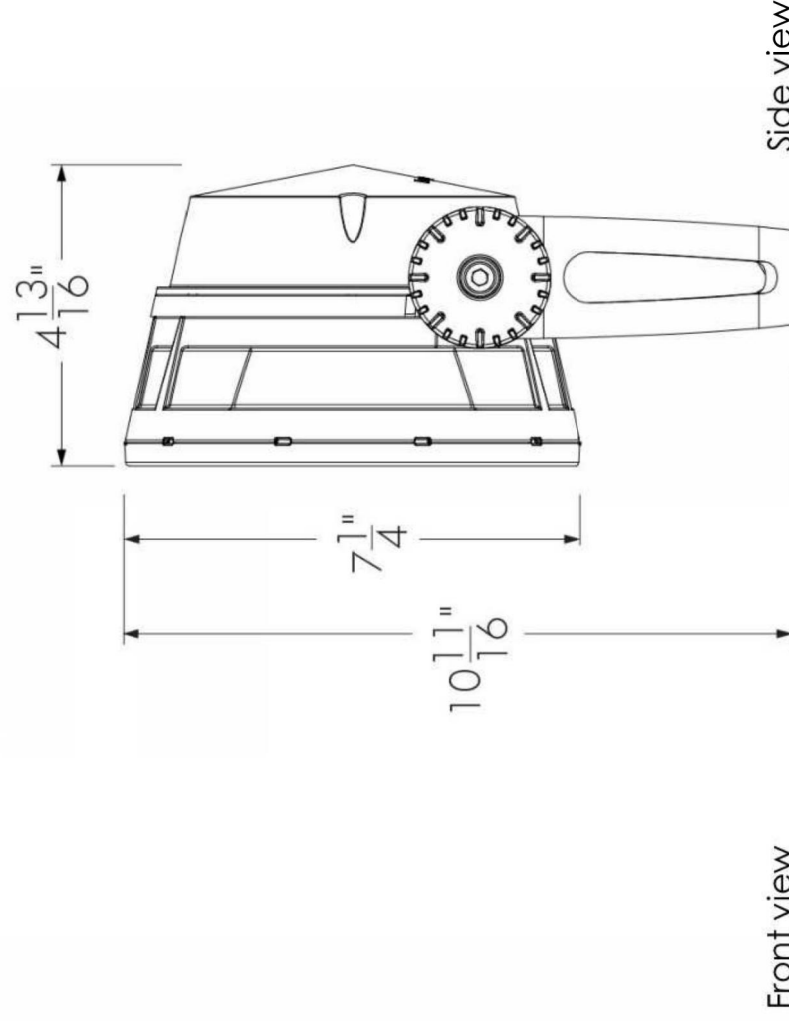
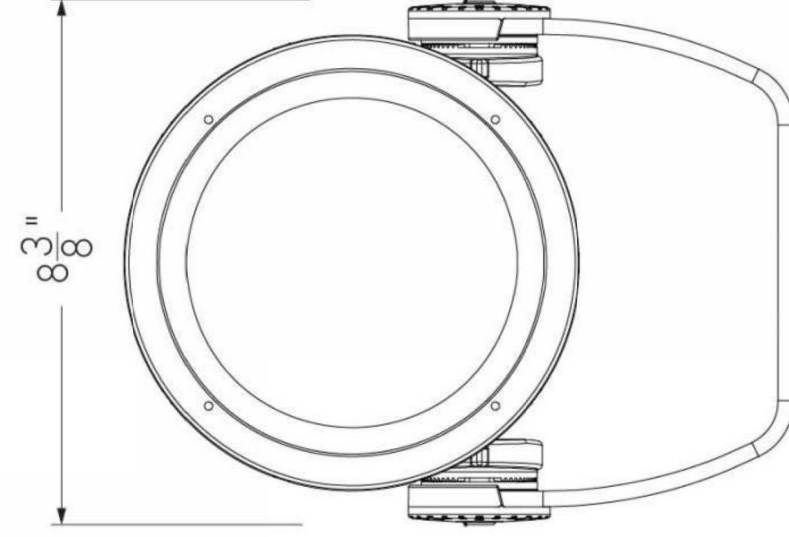
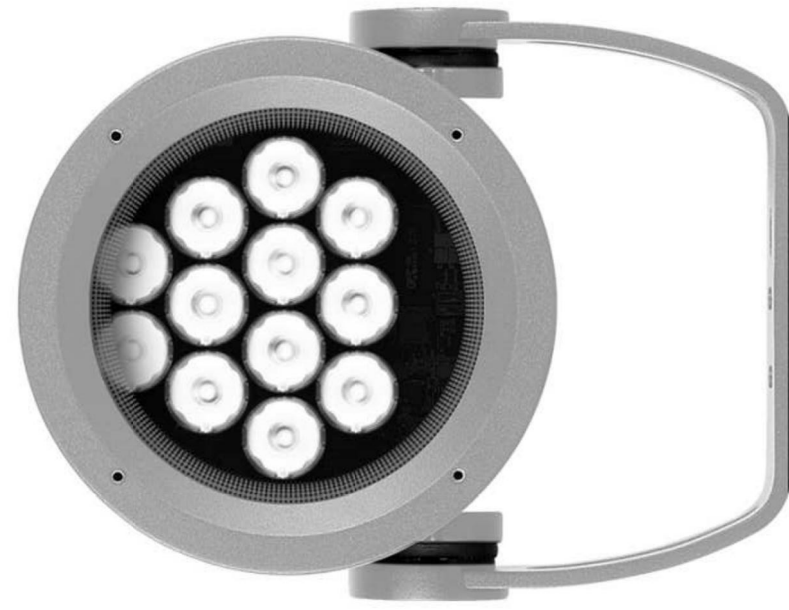
DATE: 06/15/2022

Specification Sheet

lumenbeam
Medium
LBM

WHITE AND STATIC COLORS

Project Name **OL6** Catalog / Part Number **LBM-30K-FL-NO-TN2-VS** Qty _____



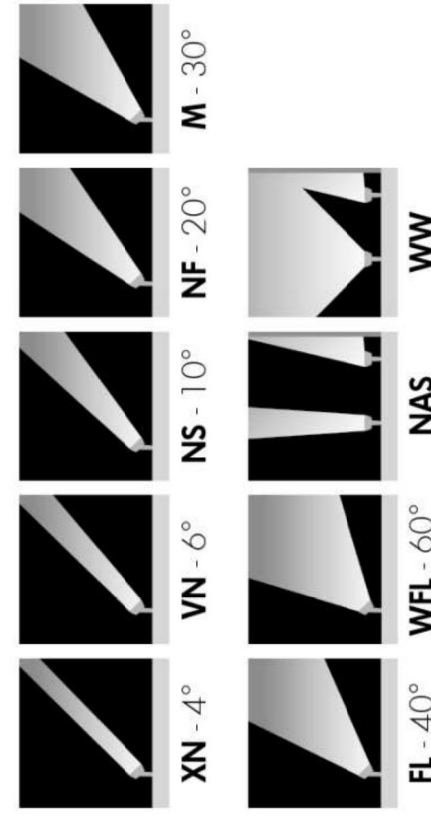
Photometric summary

Symmetric	
	Delivered output (lm) Intensity (peak cd)
XN (4°)	1,830 156,410
VN (6°)	1,716 90,813
NS (10°)	2,467 35,359
NF (20°)	2,334 22,375
M (30°)	2,264 12,595
FL (40°)	2,047 5,306
WFL (60°)	1,836 1,382

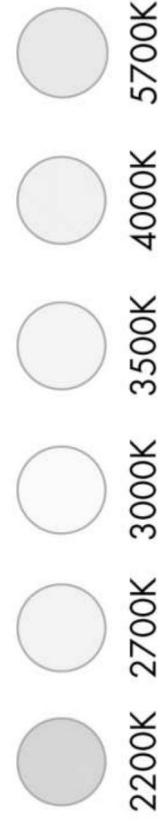
Asymmetric	
NAS	1,569 26,002 (@2.5°)
WW	2,148 3,582 (@5°)

Based on 4000K configuration.
Photometric performance is measured in compliance with IESNA LM-79-08.

Optics



Colors and Color Temperatures



Description

The Lumenbeam Medium is an IP66-rated luminaire for lighting landscapes, trees, columns, monuments, and architectural details. It has numerous options, including optics for flood or accent lighting, a choice of color temperatures and colors, as well as various accessories, spread lenses, and controls. The luminaire also has an anti-corrosion option for use in harsh, chemical, or coastal environments.

Features

Color and Color Temperature 2200K, 2700K, 3000K, 3500K, 4000K, 5700K, Red, Green, Blue
Optics (nominal distribution) XN (4°), VN (6°), NS (10°), NF (20°), M (30°), FL (40°), WFL (60°), NAS (Narrow Asymmetric), WW (Asymmetric Wallwash)

Optical Option Linear spread lens horizontal distribution, Linear spread lens vertical distribution

Options Short Yoke, 3G ANSI C136.31-2010 Vibration Rating for bridge applications, Corrosion-resistant coating for hostile environments

Cable Color Black, White

Power Consumption 28 W

Warranty 5-year limited warranty

Performance

Maximum Delivered Output 2467lm (4000K, NS 10°)

Maximum Delivered Intensity 156.410 cd at nadir (4000K, XN 4°)

Illuminance at Distance Minimum 1 fc at 395 ft (4000K, XN 4°)

Color Consistency 3 SDCM

Color Rendering Minimum CRI 80

Lumen Maintenance L70 > 250,000 hrs (Ta 25 °C) (> 80,000 hrs for XN 4°, VN 6°, NAS optics only)

lumenpulse™

1220 Marie-Victorin Blvd., Longueuil, QC, J4G 2H9, CA
 info@lumenpulse.com www.lumenpulse.com

1220 Marie-Victorin Blvd., Longueuil, QC, J4G 2H9, CA | Canada 1.877.937.3003 | 514.937.3003
www.lumenpulse.com/products/2488 F 514.937.6289

LMPG Inc. reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately

EM - R39

1 / 15

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 53 OF 57

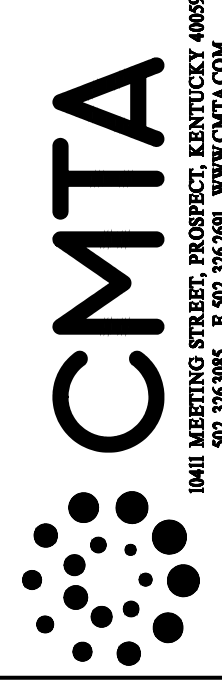
53 OF 57
DETAILS

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**

11455 HURON ST
WESTMINSTER, CO 80234



DATE: 06/15/2022



Specification Sheet

lumenbeam
Medium
LBM

WHITE AND STATIC COLORS

How to order

Housing	Voltage	Color and Color Temperature (1)	Optics	Optical Option (5) (7)	Finish	Control (11) (12)	Options	Certification	Cable Length (14) (18)	Cable Color	Buy American Act
LBM Lumenbeam™ Medium	100 100 volts 120 120 volts 208 208 volts 220 220 volts 240 240 volts [277] 277 volts	22K 2200K 27K 2700K [30K] 3000K 35K 3500K 40K 4000K 57K 5700K RD Red (2) (3) GR Green (2) (3) BL Blue (2) (3)	XN Extra Narrow 4° (4) VN Very Narrow 6° (4) NS Narrow Spot 10° (4) NF Narrow Flood 20° (4) M Medium 30° (4) FL Flood 40° (4) WFL Wide Flood 60° (4) NAS Narrow Asymmetric (4) WW Asymmetric Wallwash (4)	LSLH Linear spread lens horizontal distribution (6) LSLV Linear spread lens vertical distribution (6)	BK Black Sandtex® BRZ Bronze Sandtex® SI Silver Sandtex® WH Smooth white BKTX Textured black BRZTX Textured bronze non- metallic GRATX Textured medium gray GRNTX Textured green WHTX Textured white CC Custom color and finish (please specify RAL color) (8) (9) (10)	NO On/Off control DIM 0-10V dimming DALI DALI dimming DMX/RDM DMX/RDM enabled (13) (14)	SY Short Yoke 3GV 3G ANSI C136.31- 2010 Vibration Rating for bridge applications CRC Corrosion- resistant double coating for hostile environments (15) (16)	UL UL compliant CE CE compliant (17) CEII CE compliant Class II double insulated (17)	3FT 3 ft (14) (18) 10FT 10 ft 20FT 20 ft 30FT 30 ft 50FT 50 ft 70FT 70 ft 100FT 100 ft	BK Black WH White (19)	BAA Buy American (19) (20)

Notes:

- Consult factory for availability of static: Royal Blue, Amber, 6500K and 90+ CRI.
- Static colors made to order 8-10 weeks.
- Not available for XN optic.
- Factory installed, not interchangeable on site.
- Optical options are factory installed and cannot be changed in the field.
- Field adjustable spread lens optical accessory available, order separately.
- Not available with WFL, NAS and WW optics.
- Lumenpulse offers a wide selection of RAL CLASSIC (K7) colors with a smooth texture and high-gloss finish. Please consult factory for a list of available K7 colors, other RAL textures and glosses, or to match alternate color charts. Final color matching results may vary.
- Setup charges apply for RAL colors. Consult factory for details.
- Longer lead times can be expected for custom RAL color finishes.
- Lumenpulse system is enabled with LDB accessory, DIM or DMX/RDM must be specified in the order code. See the typical wiring diagrams in the specification sheet for details.
- A Lumentranslator 2 (LTL2) and LumentalkID (LIDL1) must be specified for Lumentalk applications. Consult Lumentranslator 2 and Lumentalk pages and specification sheets for details.
- A control box (CBX) and Lumentalk (LID) must be specified.
- Maximum of 3 ft cable length for daisy chain DMX applications with CBX-DS.
- Use only when exposed to salt spray. This option is not required for normal outdoor exposure.
- Setup charges apply. Consult factory for details.
- Consult European specification sheets and installation instructions for CE and CE Class II wiring information.
- 3 ft cable length is standard unless otherwise specified.
- Not available with CE or CEII certification options.
- Contact your Lumenpulse Sales Representative for more information on order volume details.

EIGHTH AMENDED OFFICIAL
DEVELOPMENT PLAN
TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 54 OF 57

lumenpulse[™]

1220 Marie-Victorin Blvd., Longueuil, QC, J4G 2H9, CA
info@lumenpulse.com

United States 617.307.5700 | Canada 1.877.937.3003
www.lumenpulse.com/products/2488

F 514.937.6289

LMPG Inc. reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately
EM - R39

15 / 15

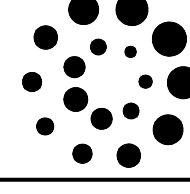
54 OF 57
DETAILS

PLAN PREPARED:
06/15/2022

REV 1 09/21/2022
REV 2 11/08/2022
REV 3 12/12/2022
REV 4 01/18/2023

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE

11455 HURON ST
WESTMINSTER, CO 80234



CMTA
10411 MEBBING STREET, PROSPECT, KENTUCKY 40059
902.363.9085 F 902.363.2691 WWW.CMTA.COM

DATE: 06/15/2022



PROJECT: TYPE: **OL7** CATALOG #: ME-



PROFILE

OUTPUT
LO (3.5W/FT), MO (9.0 W/FT), HO (15.0 W/FT)
7° X 60°, 10° X 10°, 10° X 60°, 10° X 90°, 20° X 20°, 20° X 60°, 40° X 40°, 40° X 60°, 40° X 90°, 60° X 60°, 90° X 90° 80° X 80°, ASY
82 (OPTIONAL 90+)

CCT
27K, 30K, 35K, 40K, RED, GREEN, BLUE, AMBER
UP TO 117530 PEAK CANDELA

VOLTAGE
120V OR 277V

POWER
INTEGRAL POWER SUPPLY

CONTROL
0-10V, DMX, LUTRON HI-LUME

DIMENSIONS
2.60" X 2.00"

WEIGHT
2.75 LB (1.25 KG) PER FOOT

HOUSING
PRECISION EXTRUDED ALUMINUM

LENS
HIGH DENSITY TEMPERED GLASS

FINISH
HIGH DURABILITY POWDER COATING

OPERATING TEMP
-20° C TO 50° C

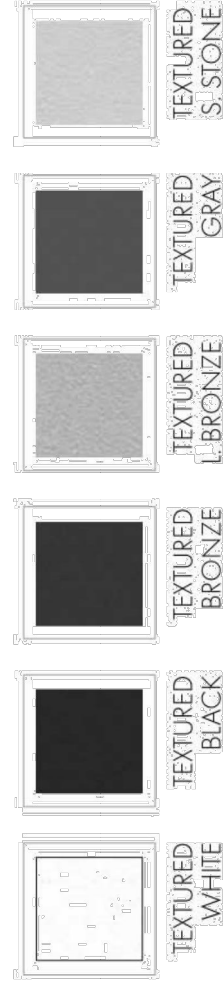
WARRANTY
5-YEAR LIMITED

LUMEN MAINTENANCE
75,000 HOURS

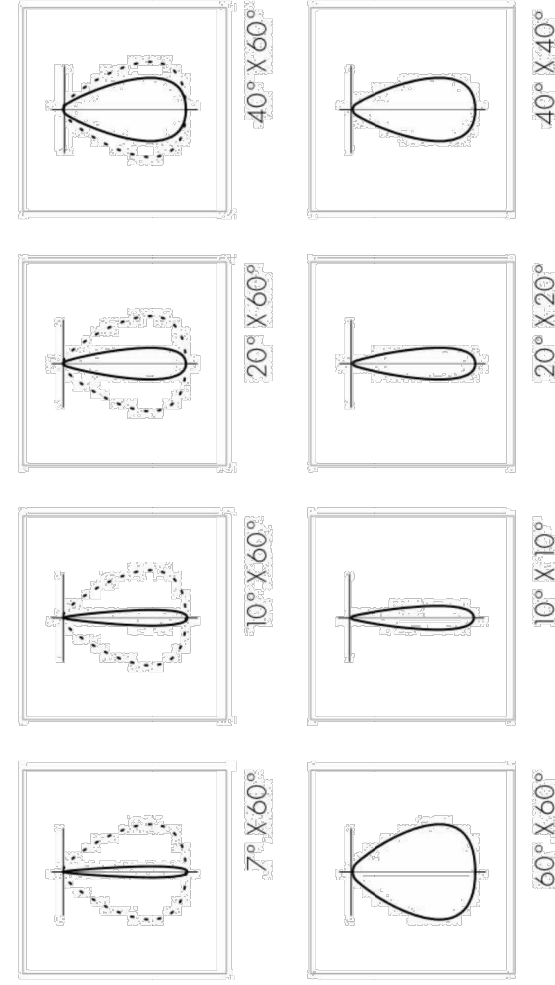
CERTIFICATION
ETL AND cETL FOR IP67, IK07, 5G/3G OPTIONS



STANDARD FINISHES



OPTICS

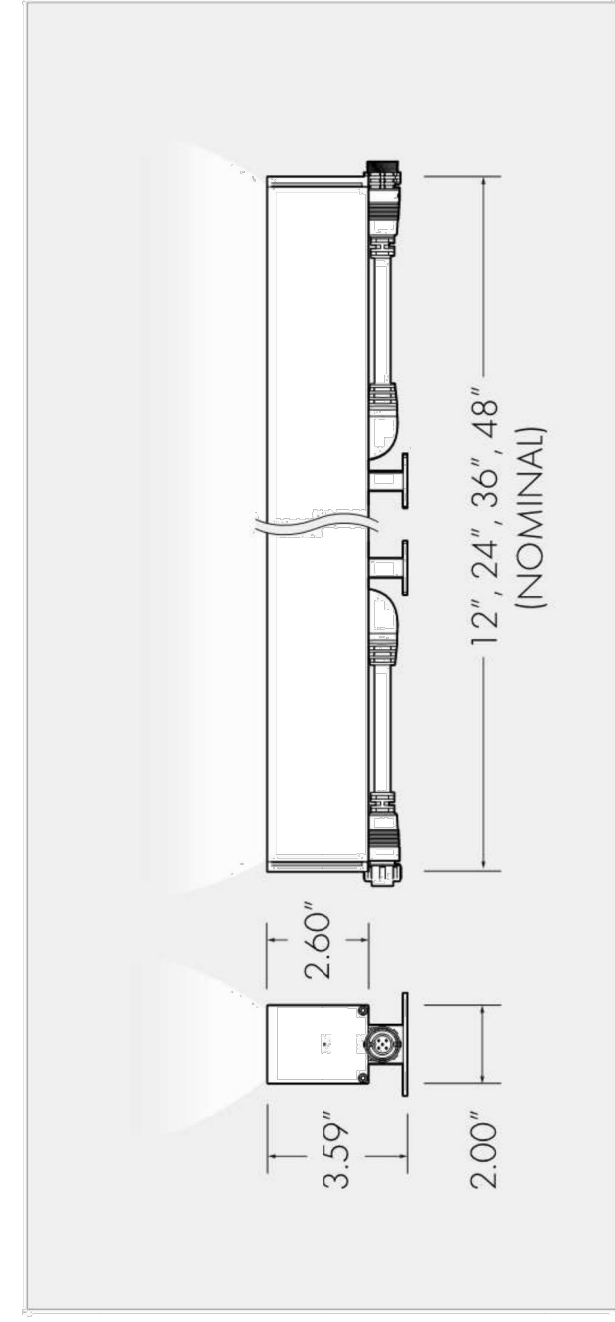


PERFORMANCE SAMPLE

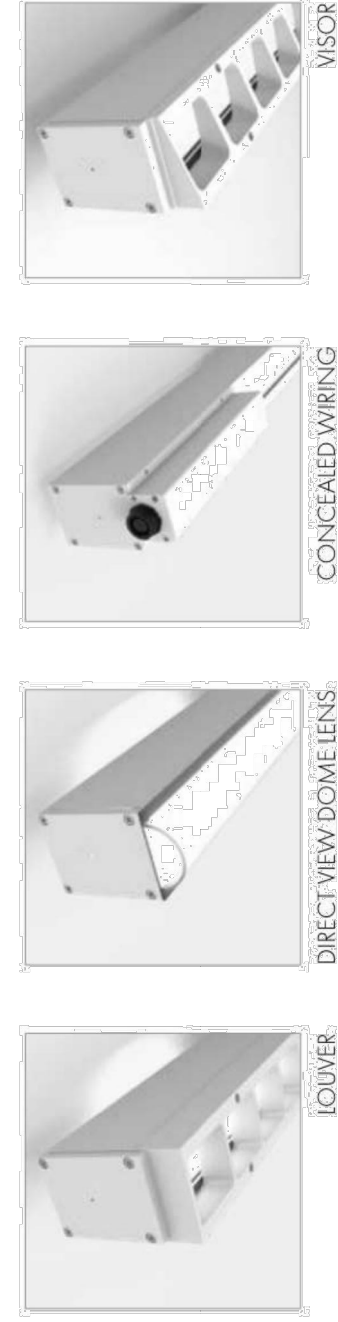
40K HO, 48,000 ^{lm}	10° X 10°	10° X 60°	20° X 20°	80° X 80°	100°
LUMENS	6316	5417	6475	6161	6459
CANDELA	117530	19943	152385	3960	2739
EFFICACY	91.2 LM/W	773 LM/W	93.3 LM/W	88.8 LM/W	94.4 LM/W

Revised 10/17/2022
Specifications subject to change without notice.

PROFILE



OPTIONS



1/10

Insight Lighting
4341 Filicum Way NE, Rio Rancho, New Mexico 87144
P: 505.345.0888 | insightlighting.com

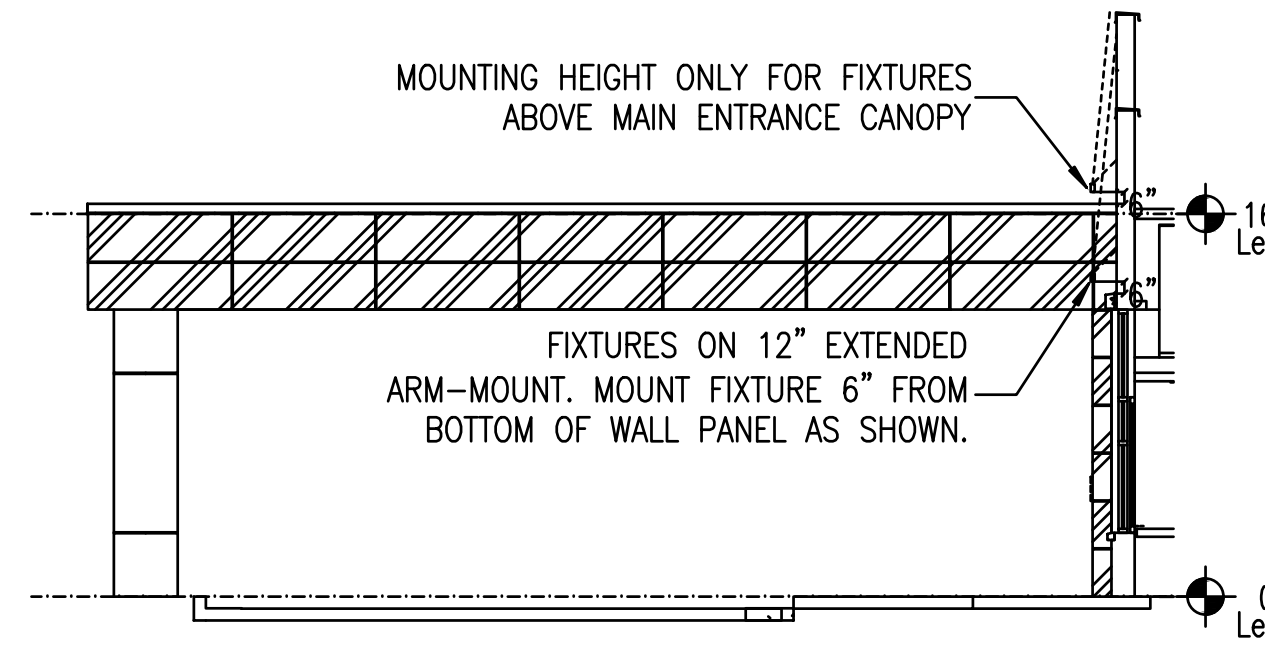
EIGHTH AMENDED OFFICIAL
DEVELOPMENT PLAN
TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 57 OF 57

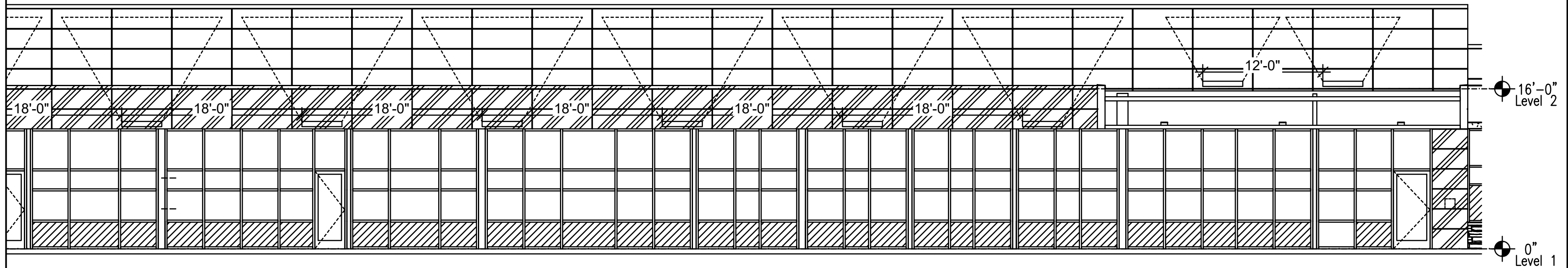


10411 MEBBING STREET, PROSPECT, KENTUCKY 40059
902.363.9085 F. 902.363.2691 WWW.CMTA.COM

DATE: 06/15/2022



FIXTURE 'OL7' MOUNTING DETAIL
1/8"-1'-0"



FIXTURE 'OL7' MOUNTING LOCATIONS DETAIL
1/8"-1'-0"

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
11455 HURON ST
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022
REV 4	01/18/2023



Utility Study

**Acadia Healthcare Behavioral Health Hospital & Outpatient Clinic
APN: 1719 04 4 00 0011**

December 12th, 2022

This Utility Report for the design of the Acadia Healthcare New Behavioral Health Hospital development was prepared by me or under my direct supervision in accordance with the CITY of Westminster's Standards and Specifications and acceptable professional practices of the industry. We acknowledge that the CITY of Westminster's review of this March 2022 3-3 Utility Study is only for general conformance with submittal requirements, current design criteria and standard engineering principles and practices. We are also aware of the provisions of Section 11-6-5(B) of the CITY Code of the CITY of Westminster.

"WE ACKNOWLEDGE THAT THE CITY OF WESTMINSTER'S REVIEW OF THIS STUDY IS ONLY FOR GENERAL CONFORMANCE WITH SUBMITTAL REQUIREMENTS, CURRENT DESIGN CRITERIA AND STANDARD ENGINEERING PRINCIPLES AND PRACTICES. WE ARE ALSO AWARE OF THE PROVISIONS OF SECTION 11-6-5 (B) 3 OF THE WESTMINSTER MUNICIPAL CODE"

Table of Contents

Section

Project Description

Water System Layout

Sewer System Layout

Design Flow Requirements

Off-site System Requirements

Hydraulic Analysis

Sewer Analysis

Appendix A – Water Demand

Appendix B – Hydrant Flow Test Results

Appendix C – WaterCAD Model Report

Appendix D – Sewer Calculations

Appendix E – Site Utility Layout

Project Description

The proposed project is a 2-story (99,497 sq-ft) new behavioral health hospital that provides 144 beds on an 11.01 acre site. The site is located at the intersection of W 114th Ave and Huron St.

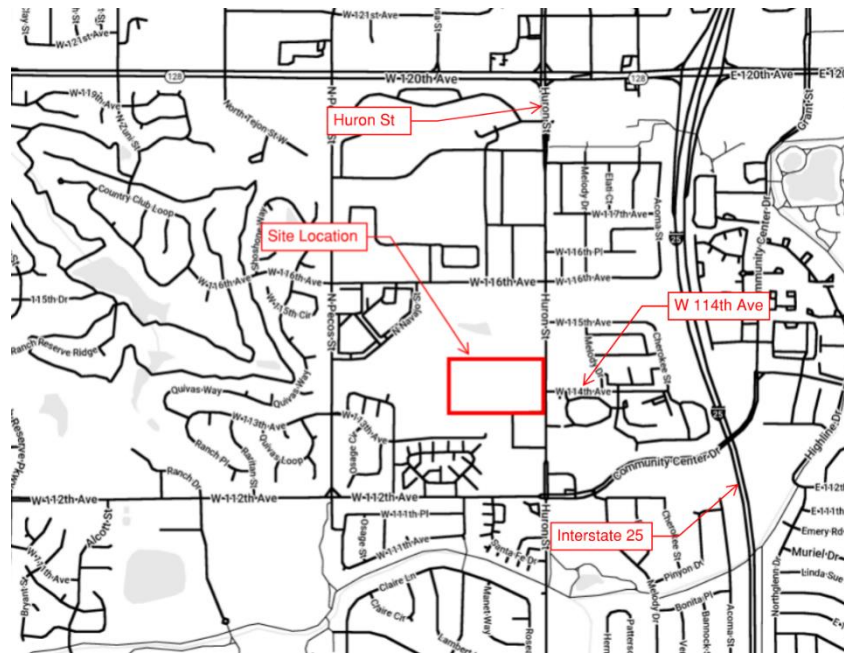


Figure 1 – Vicinity Map

Water System Layout

The proposed water infrastructure to supply water to the behavioral health facility include 2,325 LF of 8" PVC for a loop main around the site, 2x4" PVC service lines, 1x6" PVC fire connection for sprinklers, and an irrigation connection. The three private lines will connect to the newly constructed 8" PVC line that extends to the existing 16" DIP running perpendicular along Huron St. The proposed layout is attached in Appendix C.

Sewer System Layout

The proposed sewer infrastructure to discharge effluent from the behavioral health facility include a 560' of 8" PVC, 73' of 6" PVC, 178' of 4" PVC, 3 cleanouts, 3 manholes, and a grease trap. The grease trap is located at the service entrance to the south of the building, while the rest of the effluent is discharged to the west of the building. The two lines connect along the outside of the southwest end of the loop drive, and eventually discharge to an existing sewer manhole.

Design Flow Requirements

According to Chapter 3 of the City's Standards and Specifications, section 3.13.0 provides two ways to determine average design demand and subsequently, determine the max day demand and peak hour demand by using factors of 2.5 and 4, respectively. The following table shows a summary of those calculations.

				Average Design Demand (gal/day)	Max Day Demand (gal/day)	Peak Hour Demand (gal/hr)
Per 3.13.0 Design Demand of Chapter 3 - Water System	Hospital	99,497	sq-ft	31,839	79,598	5,307
	Medical Office	99,497	sq-ft	19,899	49,749	3,317
	Office - High Density	11.01	acres	27,305	68,262	4,551

Across the country, behavioral health facilities are being built, but many cities do not have specific code that speaks to how these facilities should be governed. As is with many of our other facilities, the proposed behavioral health facility is neither a hospital nor a medical office as outlined in Table 3.13.B – Commercial/Industrial Average Day Demand Data. In trying to utilize this section of city standards and specifications to determine an average day demand, the outcome is grossly overestimating the average demand for this facility. Historical data has been analyzed and provided to the city in an attempt to also reduce tap fees and determine an appropriate amount of water resources to allocate to this facility. The analysis is included in Appendix A. The spreadsheet shows three other similar facilities, in different locations of the country, which are currently in use and have been used to illustrate a basis for the values that are used within this study.

The day demand is 21,600 GPD, with an average flow of 60 GPM and peak hour flow of 200 GPM. These demands have been calculated and determined from the historic data and from the plumbing specialist on this project. The calculation from the plumbing specialist has been provided in Appendix A. The facility is Type 1B according to the International Building Code, and the total square footage of 99,497 requires a fire flow of 3,500GPM according to Table B105.1(2) in the 2021 International Fire Code (IFC). Table B105.1(1) of the IFC provides a one-half reduction in flow requirements because of the internal fire sprinkler which has been designed to provide 500GPM. This reduction brings the fire flow down to 1,750GPM. The irrigation demand, designed by others, is 4.80 GPM to operate between the hours of 6pm and 10am on a seasonal basis.

Off-site System Requirements

There are currently no known off-site system requirements for this development.

Hydraulic Analysis

Test results are included in Appendix C. All pipes have been modeled using the Hagen Williams C coefficient of 130 per Chapter 3 of the City's Standards and Specifications, section 3.14.0. The reservoir HGL has been set to 5,502 ft and data from the hydrant flow test has been input for the pump to recreate network conditions. Test results yielded a minimum pressure of greater than 50psi during the peak hour demand, but less than 100psi during the average day demand. The maximum fluctuation between the two tests does not exceed 30psi. The minimum pressure at the ground surface is 20psi under all scenarios.

The distribution main has been sized to provide domestic, irrigation, and fire protection with a head loss no greater than 2ft per thousand feet for the peak hour demand scenario. The maximum pipe velocity for non-fire flow scenarios is less than 5fps and for fire flow scenarios, 7fps.

This is exceeded in P-3

Sewer Analysis

The sewer has been analyzed using 150 GPD/Bed to yield an average flow rate of 21,600 GPD. Utilizing a max peaking factor of 3.6 from Chapter 4 of the City's Standards and Specifications, section 4.13.00 and an infiltration and inflow accommodation of 1,000 gallons/acre/day yields a max flow of 88,770 GPD or 61.64 GPM. This flow was applied to a section of pipe between manholes B1 and A2 which will have the least slope throughout the system. The resulting velocity has a ½ full flow of 3.05ft/s and the capacity of the 8" diameter pipe exceeds the required diameter size of 4.8" to adequately convey the effluent downstream. These calcs can be found in Appendix D of this document.

APPENDIX A

WATER DEMAND

Historic Data

Analysis

	Columbus		Conway		Erlanger (4813)
	Water Consumption (ccf)	Water Consumption (gal)	Water Consumption (ccf)	Water Consumption (gal)	Water Consumption (gal)
2020					
July	N/A	N/A	49	36,655	65,500
August	N/A	N/A	51	38,151	107,100
September	N/A	N/A	64	47,875	153,000
October	N/A	N/A	59	44,135	103,800
November	90	67,325	64	47,875	112,500
December	104	77,797	71	53,112	98,000
2021					
January	111	83,034	63	47,127	125,800
February	120	89,766	72	53,860	134,100
March	157	117,444	89	66,577	153,400
April	113	84,530	46	34,410	154,000
May	179	133,901	36	26,930	274,900
June	282	210,951	35	26,182	135,400
July	389	290,992	31	23,190	108,800
August	307	229,652	30	22,442	81,300
September	225	168,312	28	20,945	83,900
October	179	133,901	29	21,694	74,100
November	28	20,945	30	22,442	68,100
December	109	81,538	34	25,434	75,900
2022					
January	99	74,057	36	26,930	74,900
February	123	92,010	31	23,190	83,100
March	113	84,530	66	49,371	106,900
April	103	77,049	40	29,922	102,700
May	136	101,735	36	26,930	101,900
June	N/A	N/A	38	28,426	117,200

	Columbus	Conway	Erlanger
Area (sq-ft)	64,946	61,831	71,900
Beds (unitless)	80	80	88
Average Daily Consumption (gal/day)	4,507	1,156	3,694
Average Yearly Consumption (gal/yr)	1,644,966	421,901	1,348,150
SC (unitless)	11.7	3.0	9.6
Sq-ft Ratio Conversion			
SC per Square Feet (1/sq-ft)	0.00018	0.00005	0.00013
SC for 98,654 sq-ft (unitless)	17.8	4.8	13.2
Cost (\$)	264,151	71,163	195,550
Gal per Square Feet per Year	25.3	6.8	18.8
Westminster			
Area (sq-ft)	98,654		
Beds (unitless)	144		
Average Daily Consumption (gal/day)	5,400		
Average Yearly Consumption (gal/yr)	1,971,000		
SC (unitless)	14.1		
Cost (\$)	208,363		
Gal per Square Feet per Year	20.0		

Standards
\$14,800
SC
SC
140,000 gallons per year

Job Code	Facility	No of Beds	P-RR WFU	Patient Wings			Hand Wash	Patient WFU	Flow (GPM)	Pipe Size	RR	Jan	Admin Area		Admin WFU	Flow (GPM)	Pipe Size	Total FU	Flow (GPM)	Pipe Size	WFU/Bed	San Fix Unit	WFU/Bed	Sewer Size	TOTAL GPD
				Other RR	Laundry	Jan							Hand Wash	Kitchen											
VAFW20	Acadia Westminister, CO.	144	576	72	24	9	24	705	160	3" (*)	136	6	40	45	227	96	2-1/2"	932	195	4"	6.47	788	5.47	8"	21,600.00

Plumbing Demand Calculations

**APPENDIX B
HYDRANT FLOW TEST
RESULTS**

Hydrant Fire Flow Test

Test Location: P7-12839 Huron St & 114th Ave

FD Representative: Wimmer, Morris

Static Hydrant Loc: P7-12839 Huron St & 114th Ave

1st Flow Hyd Loc: P7-1812 Huron St & 114th Ave

2nd Flow Hyd Loc:

WFD Map Page:

Water Atlas Page:

Fire hydrant orifice size through the keystone valve is 3.05

- 4-10 psi use a 1.38 co-efficient
- 11-36 psi use a 1.35 co-efficient
- 36-53 psi use a 1.34 co-efficient

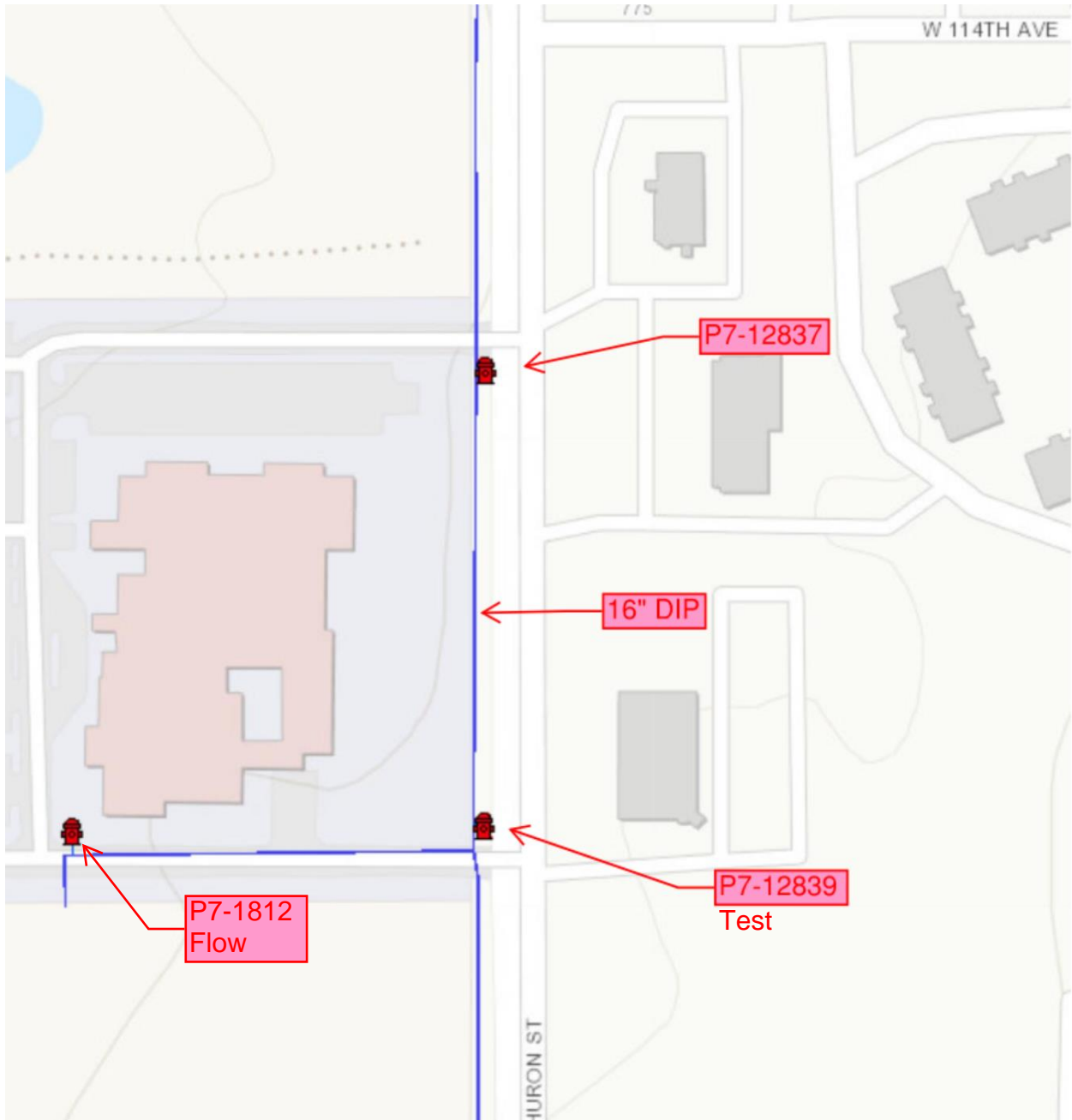
Date of Test: 3/28/2022

Time of Test: 10:00

	Hydrant 1	Hydrant 1	Hydrant 1
Flow Orifice Size	2.5	2.5	4.5
Static PSI Reading	70		
Residual PSI Reading	68		
<i>Pitot (Flow) PSI Reading</i>		0	
Co-Efficient of Orifice	0.90	0.90	0.09
GPM	0.00	0.00	0.00

	Hydrant 2	Hydrant 2	Hydrant 2
	2.5	2.5	3.05
	0	0	30
	0.9	0.9	1.35
	0.00	0.00	2051.86

GPM @ 20 PSI Residual 11669
 Total GPM Flow 2052



Date: 3/24/22
 Personnel: Wimmer, Morris
 Location: Huron St & W 114th Ave

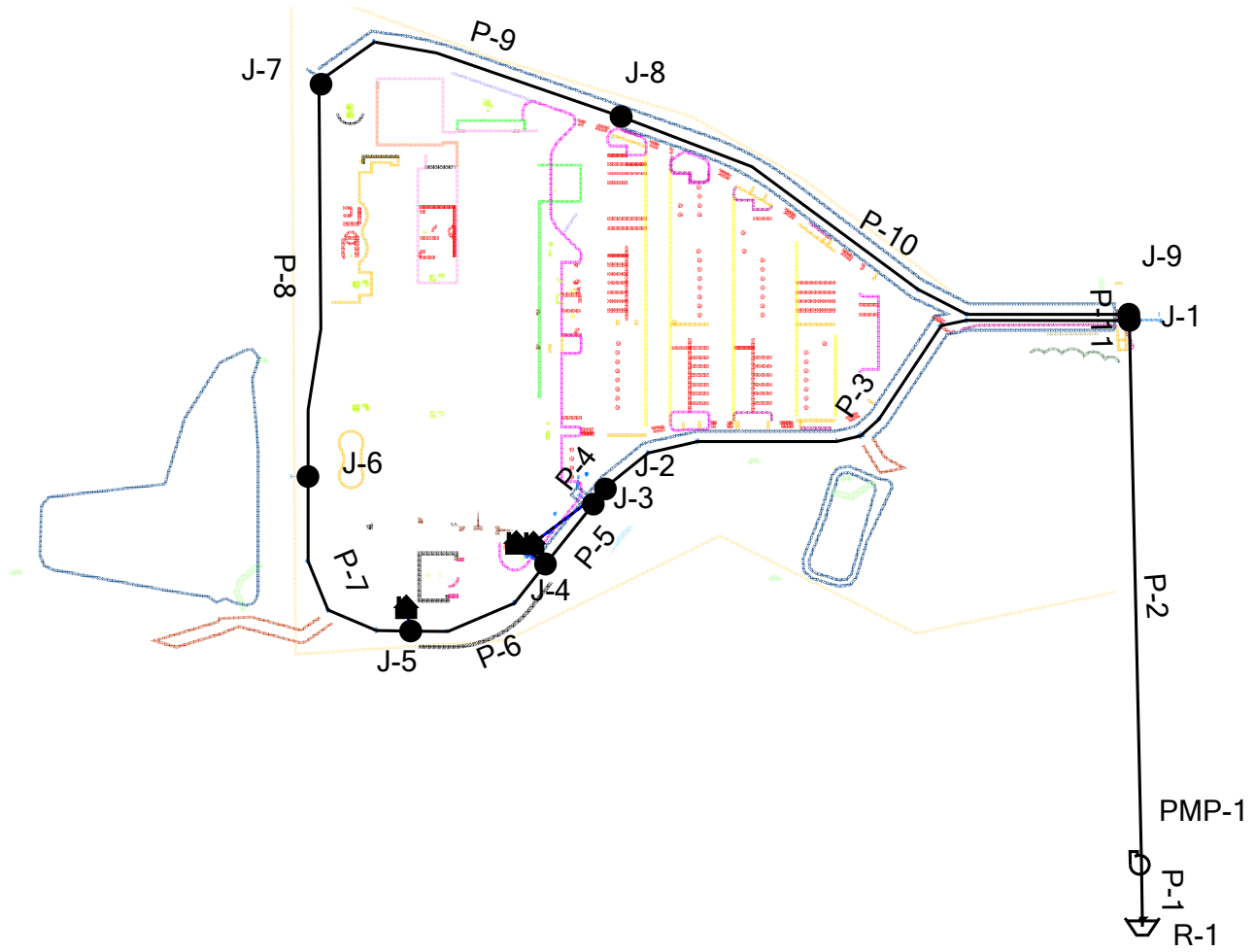
<u>Flow</u>	<u>Test</u>
<u>P7- 1812</u>	<u>P7- 12839</u>
	<u>S 70</u>
	<u>R 68</u>

P 30 GPM 2050

APPENDIX C

WaterCAD Report

Scenario: Base



Pressure Pipes Inventory
Pressure Pipes Inventory

Diameter (in)	Length (PVC) (ft)	Length (Ductile Iron) (ft)	Length (All Materials) (ft)	Volume (MG)
8.0	2,325	0	2,325	0.01
16.0	0	972	972	0.01
All Diameters	2,325	972	3,297	0.02

Lateral Inventory

	Count	Total Length (ft)
All Laterals	3	149

Scenario Summary Report

Scenario: Avg Day

Scenario Summary

ID	90
Label	Avg Day
Notes	
Active Topology	<I> Base Active Topology
Physical	Base Physical
Demand	Avg Day
Initial Settings	<I> Base Initial Settings
Operational	<I> Base Operational
Age	<I> Base Age
Constituent	<I> Base Constituent
Trace	<I> Base Trace
Fire Flow	<I> Fire Flow
Energy Cost	<I> Base Energy Cost
Transient	<I> Base Transient
Pressure Dependent Demand	<I> Base Pressure Dependent Demand
Failure History	<I> Base Failure History
SCADA	<I> Base SCADA
User Data Extensions	<I> Base User Data Extensions
Steady State/EPS Solver Calculation Options	Base Calculation Options
Transient Solver Calculation Options	<I> Base Calculation Options

Hydraulic Summary

Time Analysis Type	Steady State	Use simple controls during steady state?	True
Friction Method	Hazen-Williams	Is EPS Snapshot?	False
Accuracy	0.001	Start Time	12:00:00 AM
Trials	40	Calculation Type	Hydraulics Only

FlexTable: Junction Table

ID	Label	Elevation (ft)	Zone	Demand Collection	Demand (gpm)	Hydraulic Grade (ft)	Pressure (psi)
33	J-1	5,403.00	<None>	<Collection: 0 items>	0	5,571.99	73
48	J-2	5,387.00	<None>	<Collection: 0 items>	0	5,571.97	80
81	J-3	5,387.00	<None>	<Collection: 0 items>	0	5,571.96	80
39	J-4	5,388.00	<None>	<Collection: 0 items>	60	5,571.96	80
43	J-5	5,385.00	<None>	<Collection: 0 items>	5	5,571.96	81
78	J-6	5,388.00	<None>	<Collection: 0 items>	0	5,571.97	80
80	J-7	5,388.00	<None>	<Collection: 0 items>	0	5,571.98	80
79	J-8	5,390.00	<None>	<Collection: 0 items>	0	5,571.98	79
57	J-9	5,403.00	<None>	<Collection: 0 items>	0	5,571.99	73

FlexTable: Pipe Table

ID	Label	Length (Scaled) (ft)	Start Node	Stop Node	Diameter (in)	Material	Hazen-Williams C	Has Check Valve?
32	P-1	63	R-1	PMP-1	16.0	Ductile Iron	130.0	False
34	P-2	534	PMP-1	J-1	16.0	Ductile Iron	130.0	False
49	P-3	587	J-1	J-2	8.0	PVC	130.0	False
50	P-4	19	J-2	J-3	8.0	PVC	130.0	False
47	P-5	76	J-3	J-4	8.0	PVC	130.0	False
65	P-6	157	J-4	J-5	8.0	PVC	130.0	False
52	P-7	221	J-5	J-6	8.0	PVC	130.0	False
54	P-8	388	J-6	J-7	8.0	PVC	130.0	False
56	P-9	322	J-7	J-8	8.0	PVC	130.0	False
58	P-10	555	J-8	J-9	8.0	PVC	130.0	False
59	P-11	6	J-1	J-9	16.0	Ductile Iron	130.0	False
Minor Loss Coefficient (Local)	Velocity (ft/s)	Flow (gpm)	Headloss Gradient (ft/ft)	Has User Defined Length?	Length (User Defined) (ft)			
0.000	0.10	65	0.000	True	1			
0.000	0.10	65	0.000	True	965			
0.000	0.25	40	0.000	False	0			
0.000	0.25	40	0.000	False	0			
0.000	0.25	40	0.000	False	0			
0.000	0.13	-20	0.000	False	0			
0.000	0.16	-25	0.000	False	0			
0.000	0.16	-25	0.000	False	0			
0.000	0.16	25	0.000	False	0			
0.000	0.16	-25	0.000	False	0			
0.000	0.04	25	0.000	False	0			

Scenario Summary Report

Scenario: Peak Hour

Scenario Summary

ID	85
Label	Peak Hour
Notes	
Active Topology	<I> Base Active Topology
Physical	<I> Base Physical
Demand	Peak Hour Demand
Initial Settings	<I> Base Initial Settings
Operational	<I> Base Operational
Age	<I> Base Age
Constituent	<I> Base Constituent
Trace	<I> Base Trace
Fire Flow	<I> Fire Flow
Energy Cost	<I> Base Energy Cost
Transient	<I> Base Transient
Pressure Dependent Demand	<I> Base Pressure Dependent Demand
Failure History	<I> Base Failure History
SCADA	<I> Base SCADA
User Data Extensions	<I> Base User Data Extensions
Steady State/EPS Solver Calculation Options	<I> Base Calculation Options
Transient Solver Calculation Options	<I> Base Calculation Options

Hydraulic Summary

Time Analysis Type	Steady State	Use simple controls during steady state?	True
Friction Method	Hazen-Williams	Is EPS Snapshot?	False
Accuracy	0.001	Start Time	12:00:00 AM
Trials	40	Calculation Type	Hydraulics Only

FlexTable: Junction Table

ID	Label	Elevation (ft)	Zone	Demand Collection	Demand (gpm)	Hydraulic Grade (ft)	Pressure (psi)
33	J-1	5,403.00	<None>	<Collection: 0 items>	0	5,571.94	73
48	J-2	5,387.00	<None>	<Collection: 0 items>	0	5,571.71	80
81	J-3	5,387.00	<None>	<Collection: 0 items>	0	5,571.70	80
39	J-4	5,388.00	<None>	<Collection: 0 items>	200	5,571.67	79
43	J-5	5,385.00	<None>	<Collection: 0 items>	5	5,571.69	81
78	J-6	5,388.00	<None>	<Collection: 0 items>	0	5,571.73	79
80	J-7	5,388.00	<None>	<Collection: 0 items>	0	5,571.79	80
79	J-8	5,390.00	<None>	<Collection: 0 items>	0	5,571.85	79
57	J-9	5,403.00	<None>	<Collection: 0 items>	0	5,571.94	73

FlexTable: Pipe Table

ID	Label	Length (Scaled) (ft)	Start Node	Stop Node	Diameter (in)	Material	Hazen-Williams C	Has Check Valve?
32	P-1	63	R-1	PMP-1	16.0	Ductile Iron	130.0	False
34	P-2	534	PMP-1	J-1	16.0	Ductile Iron	130.0	False
49	P-3	587	J-1	J-2	8.0	PVC	130.0	False
50	P-4	19	J-2	J-3	8.0	PVC	130.0	False
47	P-5	76	J-3	J-4	8.0	PVC	130.0	False
65	P-6	157	J-4	J-5	8.0	PVC	130.0	False
52	P-7	221	J-5	J-6	8.0	PVC	130.0	False
54	P-8	388	J-6	J-7	8.0	PVC	130.0	False
56	P-9	322	J-7	J-8	8.0	PVC	130.0	False
58	P-10	555	J-8	J-9	8.0	PVC	130.0	False
59	P-11	6	J-1	J-9	16.0	Ductile Iron	130.0	False
Minor Loss Coefficient (Local)	Velocity (ft/s)	Flow (gpm)	Headloss Gradient (ft/ft)	Has User Defined Length?	Length (User Defined) (ft)			
0.000	0.33	205	0.000	True	1			
0.000	0.33	205	0.000	True	965			
0.000	0.80	126	0.000	False	0			
0.000	0.80	126	0.000	False	0			
0.000	0.80	126	0.000	False	0			
0.000	0.47	-74	0.000	False	0			
0.000	0.50	-79	0.000	False	0			
0.000	0.50	-79	0.000	False	0			
0.000	0.50	-79	0.000	False	0			
0.000	0.50	-79	0.000	False	0			
0.000	0.13	79	0.000	False	0			

Scenario Summary Report

Scenario: Max Instanteous + Fire Flow

Scenario Summary

ID	84
Label	Max Instanteous + Fire Flow
Notes	
Active Topology	<I> Base Active Topology
Physical	<I> Base Physical
Demand	Max Instantaneous + Fire Flow
Initial Settings	<I> Base Initial Settings
Operational	<I> Base Operational
Age	<I> Base Age
Constituent	<I> Base Constituent
Trace	<I> Base Trace
Fire Flow	<I> Fire Flow
Energy Cost	<I> Base Energy Cost
Transient	<I> Base Transient
Pressure Dependent Demand	<I> Base Pressure Dependent Demand
Failure History	<I> Base Failure History
SCADA	<I> Base SCADA
User Data Extensions	<I> Base User Data Extensions
Steady State/EPS Solver Calculation Options	<I> Base Calculation Options
Transient Solver Calculation Options	<I> Base Calculation Options

Hydraulic Summary

Time Analysis Type	Steady State	Use simple controls during steady state?	True
Friction Method	Hazen-Williams	Is EPS Snapshot?	False
Accuracy	0.001	Start Time	12:00:00 AM
Trials	40	Calculation Type	Hydraulics Only

FlexTable: Junction Table

ID	Label	Elevation (ft)	Zone	Demand Collection	Demand (gpm)	Hydraulic Grade (ft)	Pressure (psi)
33	J-1	5,403.00	<None>	<Collection: 0 items>	0	5,566.03	71
48	J-2	5,387.00	<None>	<Collection: 0 items>	500	5,541.49	67
81	J-3	5,387.00	<None>	<Collection: 1 items>	1,750	5,541.10	67
39	J-4	5,388.00	<None>	<Collection: 0 items>	200	5,541.79	67
43	J-5	5,385.00	<None>	<Collection: 0 items>	5	5,544.08	69
78	J-6	5,388.00	<None>	<Collection: 0 items>	0	5,547.34	69
80	J-7	5,388.00	<None>	<Collection: 0 items>	0	5,553.07	71
79	J-8	5,390.00	<None>	<Collection: 0 items>	0	5,557.83	73
57	J-9	5,403.00	<None>	<Collection: 0 items>	0	5,566.02	71

FlexTable: Pipe Table

ID	Label	Length (Scaled) (ft)	Start Node	Stop Node	Diameter (in)	Material	Hazen-Williams C	Has Check Valve?
32	P-1	63	R-1	PMP-1	16.0	Ductile Iron	130.0	False
34	P-2	534	PMP-1	J-1	16.0	Ductile Iron	130.0	False
49	P-3	587	J-1	J-2	8.0	PVC	130.0	False
50	P-4	19	J-2	J-3	8.0	PVC	130.0	False
47	P-5	76	J-3	J-4	8.0	PVC	130.0	False
65	P-6	157	J-4	J-5	8.0	PVC	130.0	False
52	P-7	221	J-5	J-6	8.0	PVC	130.0	False
54	P-8	388	J-6	J-7	8.0	PVC	130.0	False
56	P-9	322	J-7	J-8	8.0	PVC	130.0	False
58	P-10	555	J-8	J-9	8.0	PVC	130.0	False
59	P-11	6	J-1	J-9	16.0	Ductile Iron	130.0	False

Velocity exceeds 7 ft/s

(Local)	Velocity (ft/s)	Flow (gpm)	Headloss Gradient (ft/ft)	Has User Defined Length?	Length (User Defined) (ft)
0.000	3.92	2,455	0.003	True	1
0.000	3.92	2,455	0.003	True	965
0.000	9.98	1,563	0.042	False	0
0.000	6.79	1,063	0.020	False	0
0.000	4.38	-687	0.009	False	0
0.000	5.66	-887	0.015	False	0
0.000	5.69	-892	0.015	False	0
0.000	5.69	-892	0.015	False	0
0.000	5.69	-892	0.015	False	0
0.000	5.69	-892	0.015	False	0
0.000	1.42	892	0.000	False	0

APPENDIX D

Sewer Calculations

Westminster Sanitary Sewer Calcs

Total Demand to System			
Bed in Behavioral Health Hospital	=	144	units
Unit Flow Demand			
Single Bed	=	150	[gpd*unit]
Average Flow Rate	=	21600	[gpd]
Max Peak Factor	=	3.6	
Infiltration and Inflow	=	11010	[gpd]
Max Flow (Qpeak)	=	88770	[gpd]
	=	61.645833	[gpm]
	=	0.13735	[cfs]
	=	0.0038894	[m ³ /s]
Assumption: Design for 1/2 full			
Water Height/Pipe Diameter	=	0.5	→ K' = 0.156
Manning's Coefficient (n)	=	0.013	(PVC pipe)
Minimum Slope (So) of New Line	=	0.77%	(between manholes B1 and A2)
Minimum Pipe Diameter Required (D)	=	0.1224	[m]
$D = ((Q \times n) / (K' \times So^{1/2}))^{3/8}$	=	4.8	[in]
Pipe Diameter Used	=	8"	
8" >= 7.7"		OK	
Determine Maximum Flow at Half Full			
Pipe Diameter (D)	=	8 in	
n	=	0.013 ft/ft	(PVC Pipe)
Channel Slope (So)	=	0.77%	
1/2 A	=	0.17 sf	= (pi / 4 * D ²) / 2
P	=	1.05 ft	= pi * D / 2
R	=	0.167 ft	= A / P
Qhalf	=	1.49/n * R ^(2/3) * So ^{0.5} * A	
Qhalf	=	0.53 cfs	
Qhalf	=	238.62 gpm	
Depth of Flow at Peak			
Pipe Diameter (D)	=	8 in	
Angle of Flow (t)	=	1.542 radians	
n	=	0.013	(PVC Pipe)
Channel Slope (So)	=	0.0077 ft/ft	
Qpeak	=	0.1373 cfs	
A	=	0.0301 sf	
Depth	=	0.2321 ft	$D = ((Q \times n) / (So^{1/2}))^{3/8}$
Velocity of Flow			
Peak Flow V	=	4.56 ft/s	
1/2 Full flow V	=	3.05 ft/s	

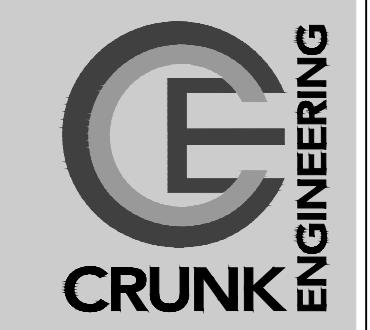
APPENDIX E

Utility Layout

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 19 OF 50

W 115TH AVE

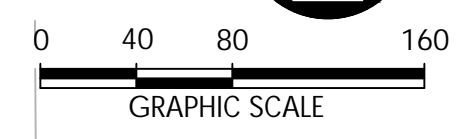
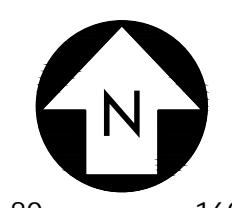
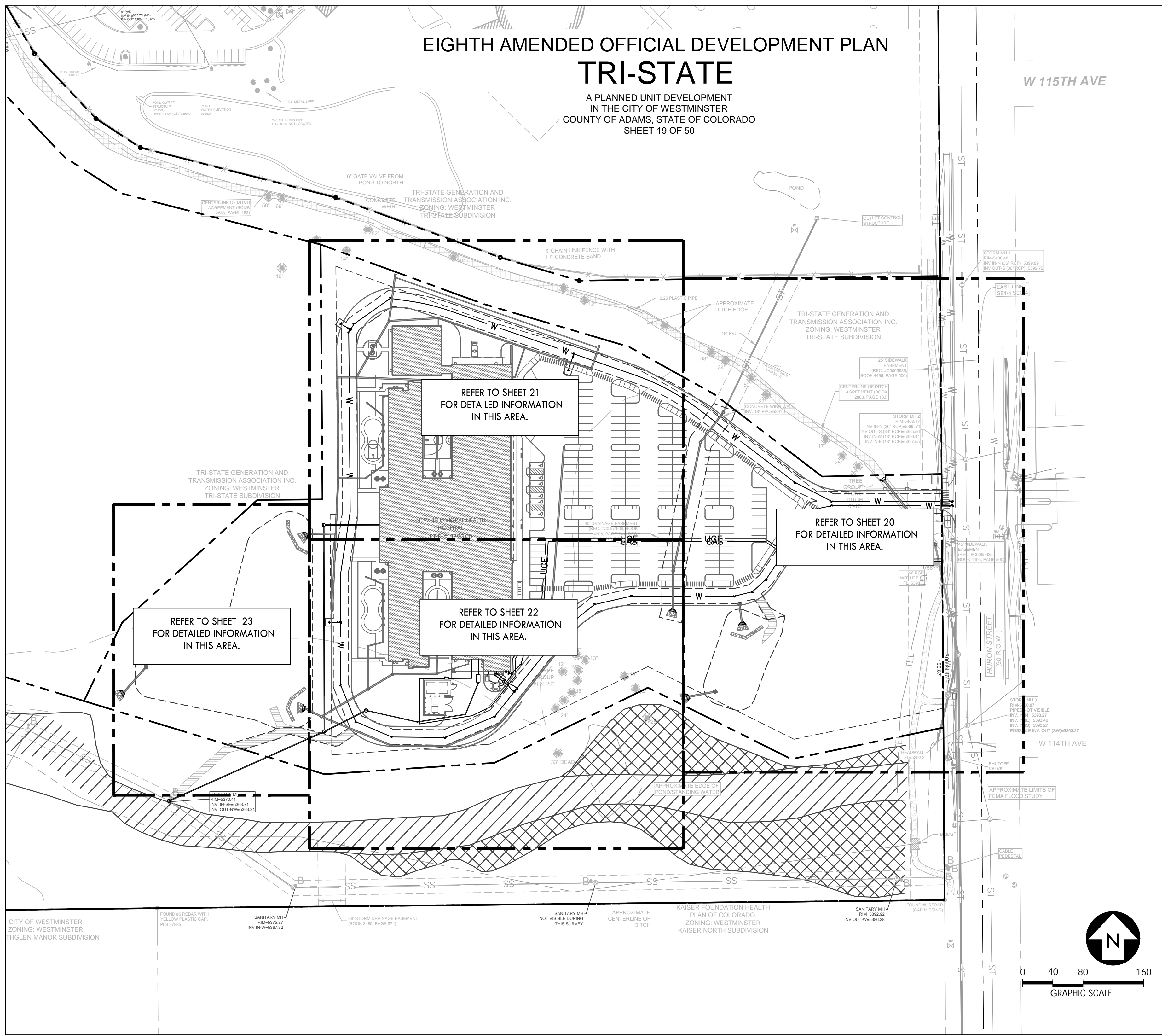


DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
1100 W 116TH AVE
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022
REV 1 09/21/2022
REV 2 11/08/2022
REV 3 12/12/2022

19 OF 50
OVERALL UTILITY PLAN



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 20 OF 50

STORM MH 2
RIM-5403.17
INV IN-N (36" RCP)=5395.71
INV OUT-S (36" RCP)=5395.56
INV IN-W (18" RCP)=5396.44
INV IN-E (18" RCP)=5397.55

CONCRETE CURB WALL
INV. 18" PVC=5391.1

20' COW UTILITY EASEMENT, TO
BE DEDICATED WITH ASSOCIATED
PLAT

PUBLIC WATER MAIN

TREE
GROUP
ALONG
DITCH
10"-15"

PROPOSED STORMWATER
EASEMENT

UNDERGROUND
ELECTRICAL LINE

PUBLIC WATER MAIN

24" RCP
WITH F.E.S.
FL=5395.5

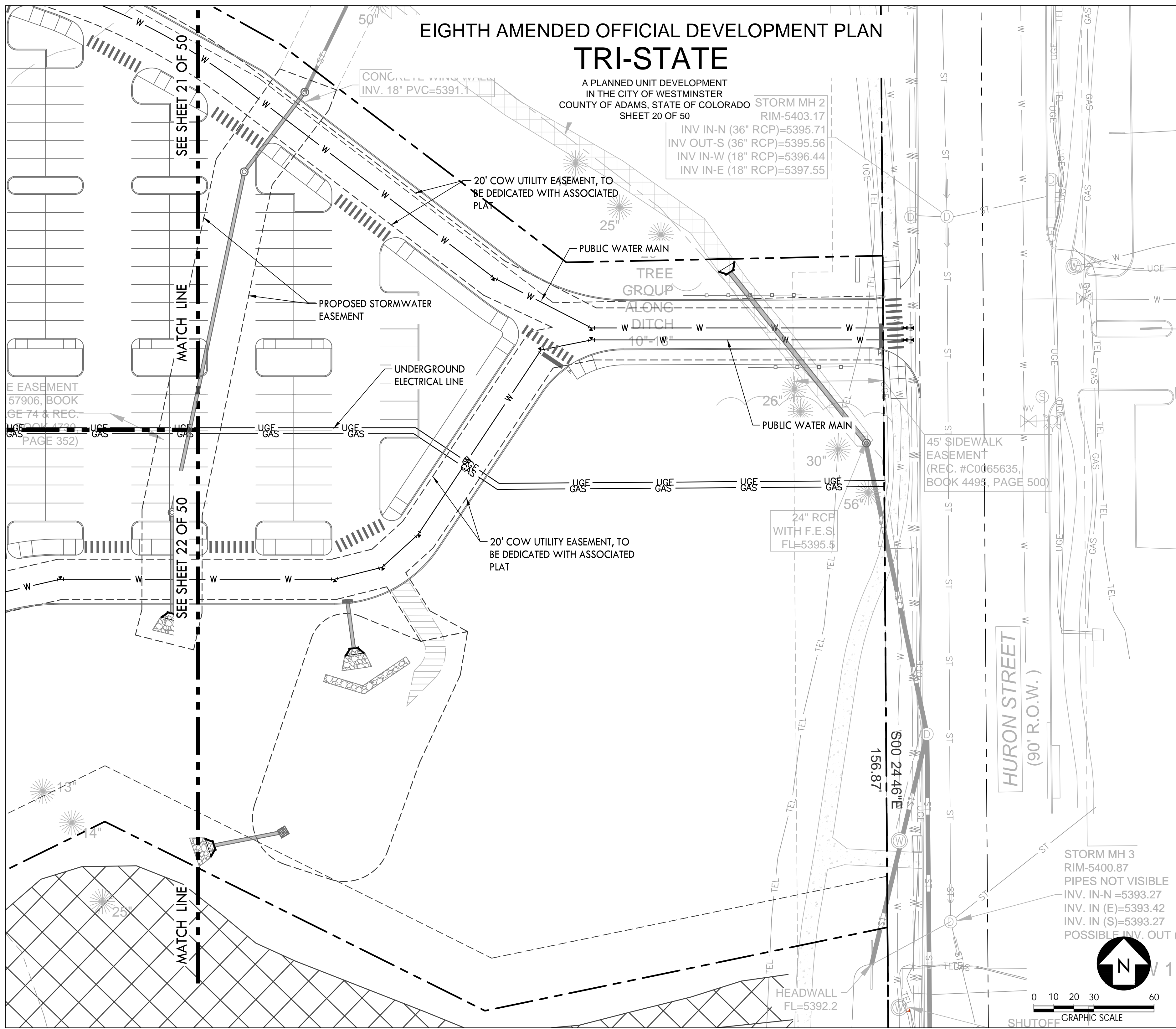
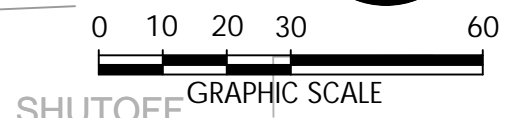
20' COW UTILITY EASEMENT, TO
BE DEDICATED WITH ASSOCIATED
PLAT

45' SIDEWALK
EASEMENT
(REC. #C0065635,
BOOK 4493, PAGE 500)

STORM MH 3
RIM-5400.87
PIPES NOT VISIBLE
INV. IN-N =5393.27
INV. IN (E)=5393.42
INV. IN (S)=5393.27
POSSIBLE INV. OUT

HEADWALL
FL=5392.2

HURON STREET
(90' R.O.W.)



DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
1100 W 116TH AVE
WESTMINSTER, CO 80234

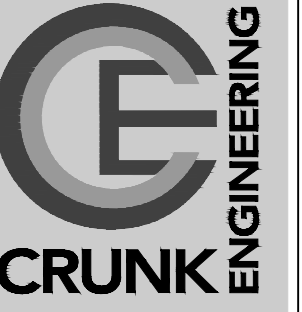
PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022

20 OF 50
UTILITY PLAN

EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 21 OF 50



DATE: 06/15/2022

DATE:

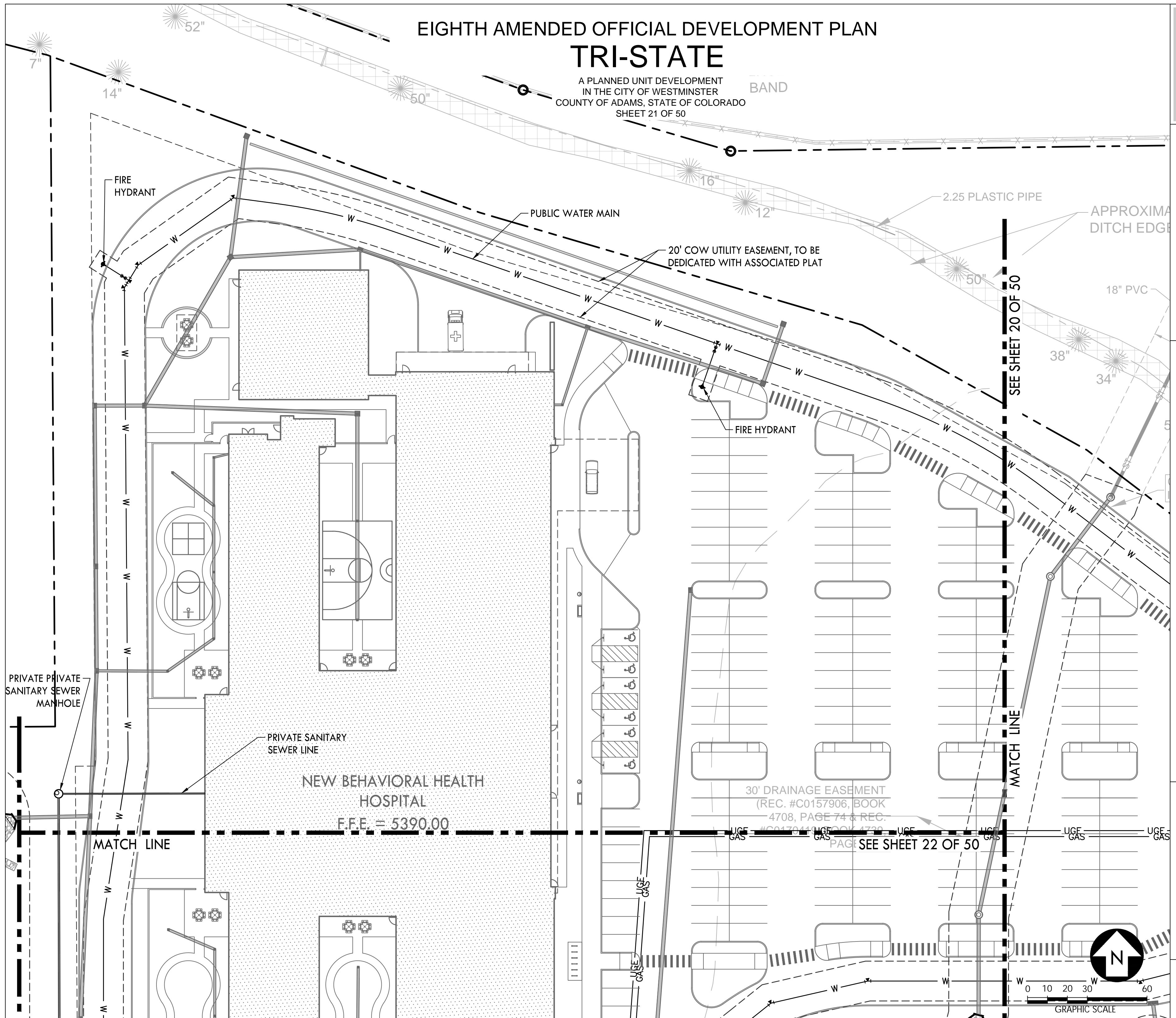
NEW BEHAVIORAL HEALTH HOSPITAL ACADIA HEALTHCARE

1100 W 116TH AVE
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1 09/21/2022
REV 2 11/08/2022
REV 3 12/12/2022

21 OF 50
UTILITY PLAN



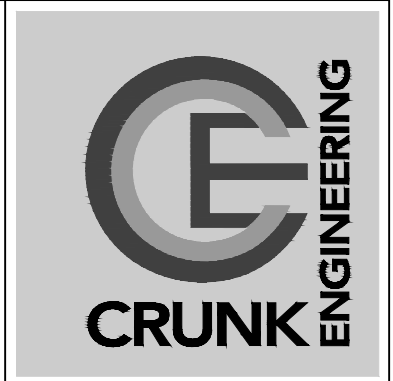
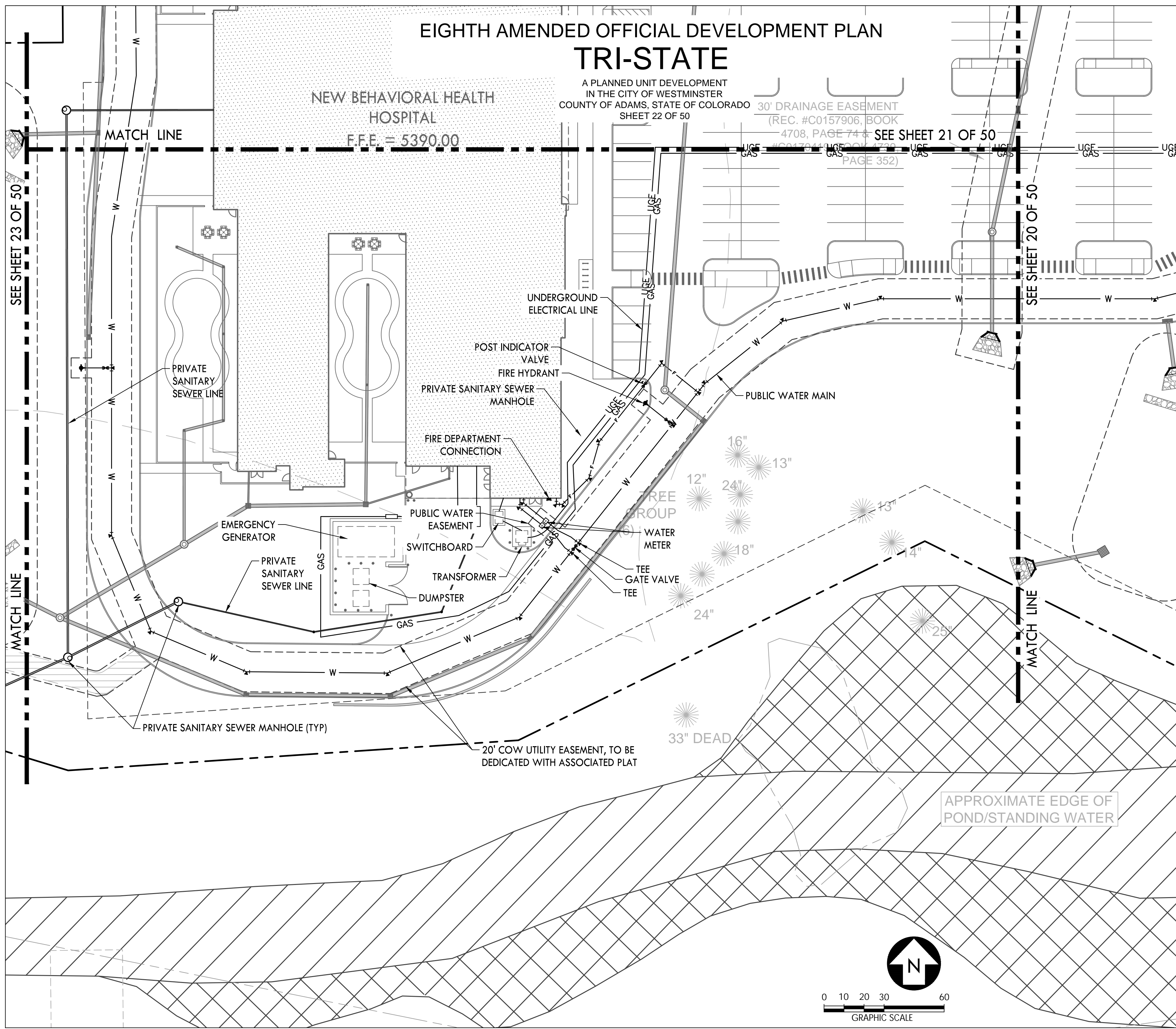
EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 22 OF 50

NEW BEHAVIORAL HEALTH
HOSPITAL

F.F.E. = 5390.00

30' DRAINAGE EASEMENT
(REC. #C0157906, BOOK
4708, PAGE 74 & SEE SHEET 21 OF 50
PAGE 352)

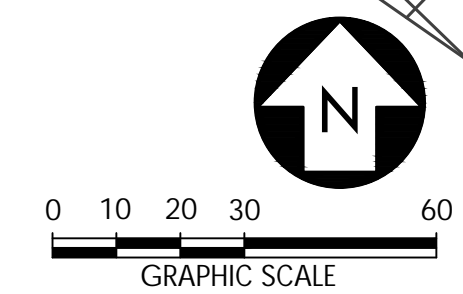


DATE: 06/15/2022

NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE
1100 W 116TH AVE
WESTMINSTER, CO 80234

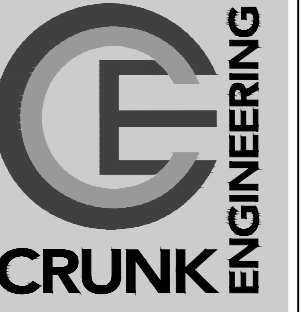
PLAN PREPARED:	06/15/2022
REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022

22 OF 50
UTILITY PLAN



EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 23 OF 50



NEW BEHAVIORAL
HOSPITAL
F.F.E. = 539

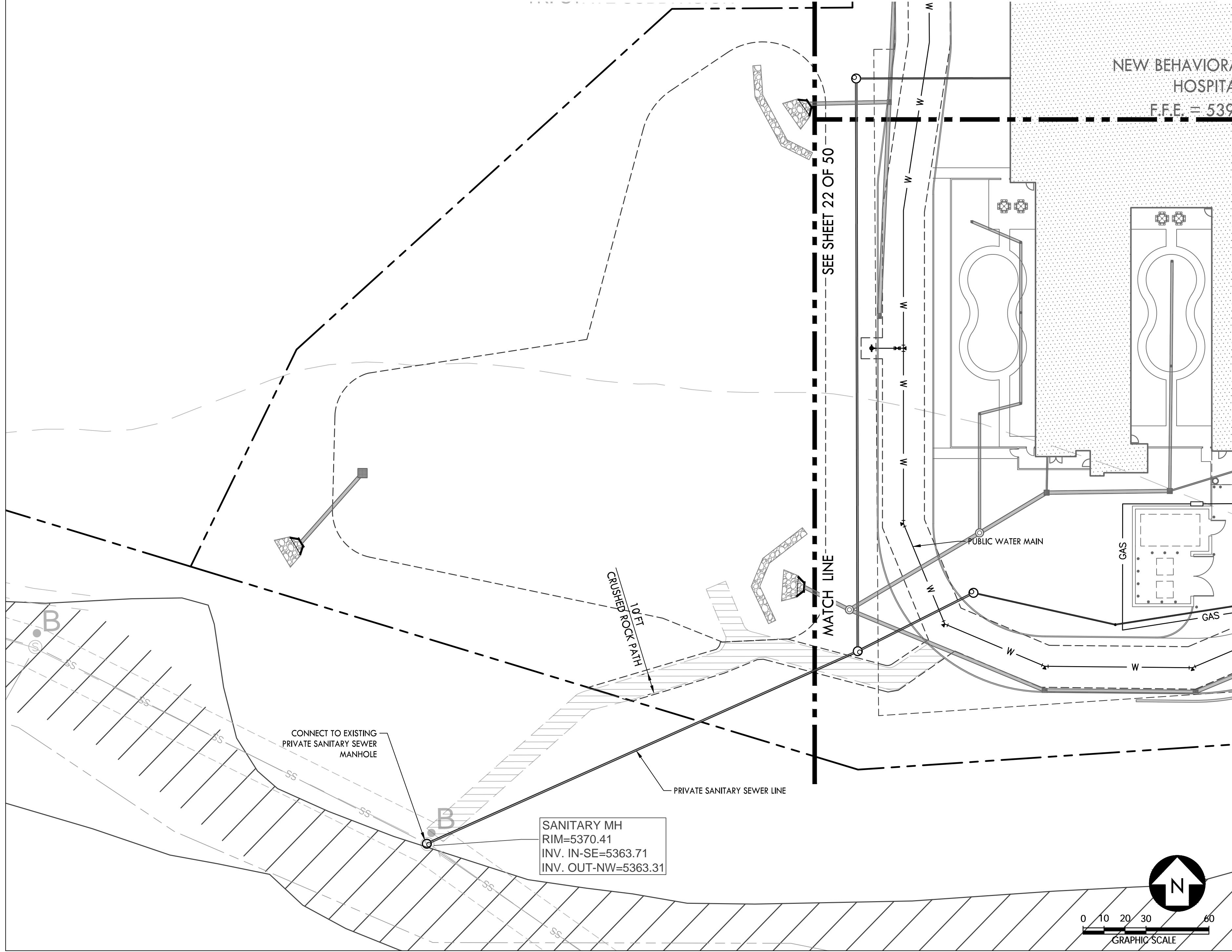
DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
1100 W 116TH AVE
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022

REV 1	09/21/2022
REV 2	11/08/2022
REV 3	12/12/2022

23 OF 50
UTILITY PLAN



WELLS + ASSOCIATES**MEMORANDUM**

11220 Assett Loop
Suite 202,
Manassas, VA 20109
703-365-9262
WellsandAssociates.com



TO: Josh Erhard
Crunk Engineering LLC

FROM: Lester E. Adkins III, P.E., PTOE, PTP

RE: Acadia Healthcare

DATE: November 11, 2022

INTRODUCTION

This traffic memorandum is being provided in support of a Official Development Plan (“ODP”) related to the proposed behavioral health hospital (the “Project”) in the City of Westminster, Colorado (the “City”). This memo documents Project trip generation, trip distribution and traffic assignments to the surrounding roadway network.

The Project is located west of Huron Street, south of W 116th Avenue and north of W 112th Avenue as shown on Figure 1. Specifically, the Project considers development of Proposed Lot 2, Block 1 with a new behavioral health hospital and assumes potential future development of Proposed Lot 3, Block 1 based on a currently zoning-permitted use. Access for the behavioral health hospital is proposed on the west side of Huron Street just north of its intersection with W 114th Avenue and opposite the shopping center that serves the Grease Monkey located at 11460 Huron Street. Access for Lot 3 is assumed on the east side of Navajo Street south of W 116th Avenue.

PROJECT CHARACTERISTICS

The Project will consist of a new 144-bed behavioral health hospital on Lot 2. Although Lot 3 currently does not have a proposed development, a 75,000 gross square feet (GSF) office use was assumed for purposes of this traffic analysis.

The area surrounding the Project generally consists of commercial developments. The primary access roads within the evaluation area are:

- Huron Street which extends north and south parallel to I-25
- W 120th Avenue which is located north of the Project, runs east and west, and provides access to I-25
- W 116th Avenue which is located north of the Project and runs east and west
- W 112th Avenue which is located south of the Project and runs east and west
- N Pecos Street which is located west of the Project and runs north and south
- N Navajo Street which is located west of the Project and connects to W116th Avenue and N Pecos Street



WESTMINSTER

Traffic Engineering Accepted

01/04/2023 hklein



Figure 1
Site Location



Acadia Healthcare
City of Westminister, Colorado



WELLS + ASSOCIATES

MEMORANDUM

STUDY INTERSECTIONS

There are ten intersections of distinction in the evaluation area:

1. Huron Street/W 120th Avenue
2. Huron Street/W 116th Avenue
3. Huron Street/Proposed Site Entrance
4. Huron Street/W 112th Avenue/Community Center Drive
5. N Pecos Street/W 120th Avenue
6. N Pecos Street/W 116th Avenue
7. N Pecos Street/N Navajo Street
8. N Pecos Street/W 112th Avenue
9. W 116th Avenue/N Navajo Street
10. N Navajo Street/Lot 3 Entrance

SITE PLAN

The proposed site plan is shown in Figure 2. As shown on Figure 2, the proposed behavioral health hospital is located on Lot 2 with access to Huron Street. As previously stated, a 75,000 GSF Office use was assumed for Lot 3 with access to Navajo Street. Interparcel access between Lots 2 and 3 are not proposed. Development of Outlot A, Block 1 is not proposed.

TRIP GENERATION

Project trip generation forecast is based on the Institute of Transportation Engineers Trip Generation Manual (11th Edition). Land Use Code 620 (Nursing Home) and Land Use Code 710 (General Office) were used to calculate the vehicular trips generated by the Project during the weekday AM and PM peak hours and average weekday daily total. The trip generation data is found in Table 1 below:

Table 1 - Trip Generation Data

Acadia Healthcare - Peak Hour of the Generator

Land Use	LUC Amount Unit			AM Peak Hour			PM Peak Hour			Weekday Average Daily Trips
	LUC	Amount	Unit	In	Out	Total	In	Out	Total	
Nursing Home	620	144	Beds	18	11	29	20	28	48	441
Lot 3 - Assumed Office	710	75,000	GSF	115	16	131	22	109	131	903
TOTAL				133	27	160	42	137	179	1,344

Notes: Trip generation based on ITE Trip Generation Manual, 11th Edition.

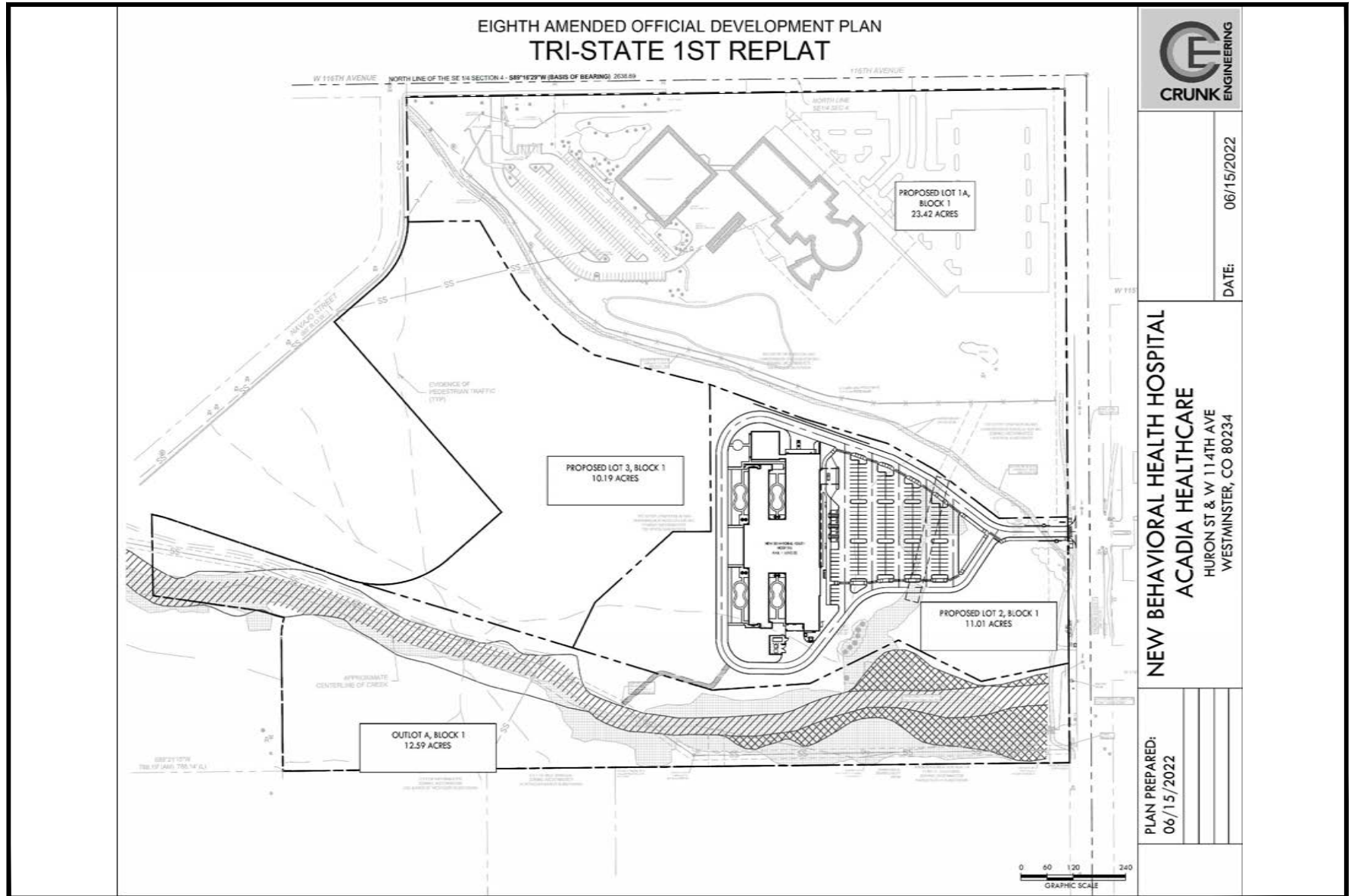


Figure 2
General Plan



NORTH

Acadia Healthcare
City of Westminster, Colorado



WELLS + ASSOCIATES

MEMORANDUM

Table 1 indicates the Project would generate approximately 29 weekday AM peak hour, 48 weekday PM peak hour, and 441 total weekday vehicle trips. The assumed office development on Lot 3 would generate approximately 131 weekday AM peak hour, 131 weekday PM peak hour, and 903 total weekday vehicle trips.

TRIP DISTRIBUTION

Site trip distribution for the Project was based on the location of the Project in proximity to the major roadways in the area. The forecasted trips assignments were distributed as shown on Figure 3 and assumed 55%/45% split oriented primarily to W 120th Avenue and the interchange with I-25. The trip assignments for the proposed site are shown on Figure 4. The trip assignments for Lot 3 and the assumed office use are shown on Figure 5. The total trip assignments (proposed site plus Lot 3) are shown on Figure 6.

CONCLUSION

In summary, the Project and the assumed office use on Lot 3 is anticipated to have minimal traffic impacts to the adjacent CDOT roadway when distributed and assigned to the ten (10) existing intersections and proposed site entrances. It is anticipated that the surrounding street network will successfully accommodate the forecasted traffic volume.



Figure 3
Site Trip Distribution



Acadia Healthcare
City of Westminister, Colorado



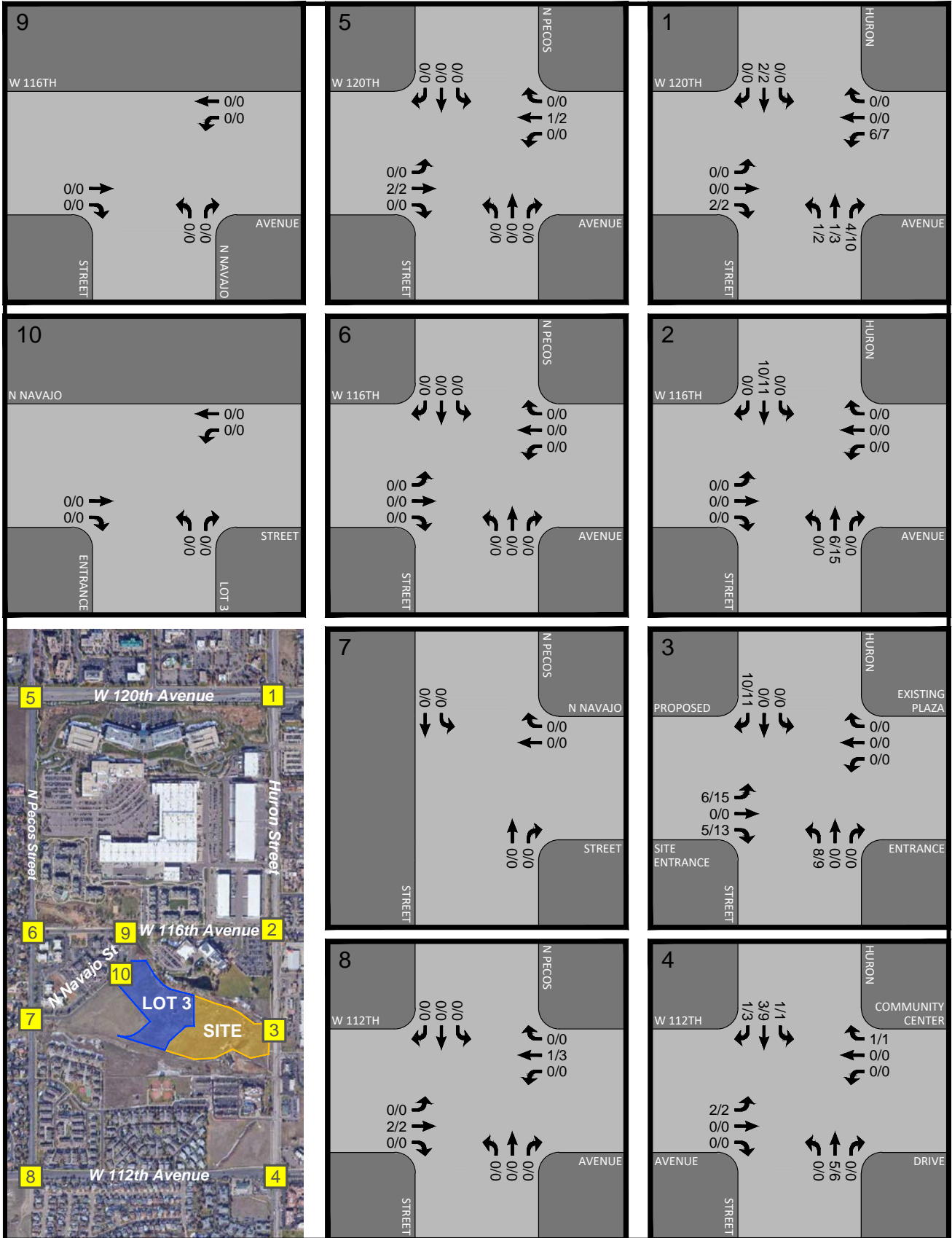


Figure 4
Site Trip Assignments



Acadia Healthcare
City of Westminster, Colorado

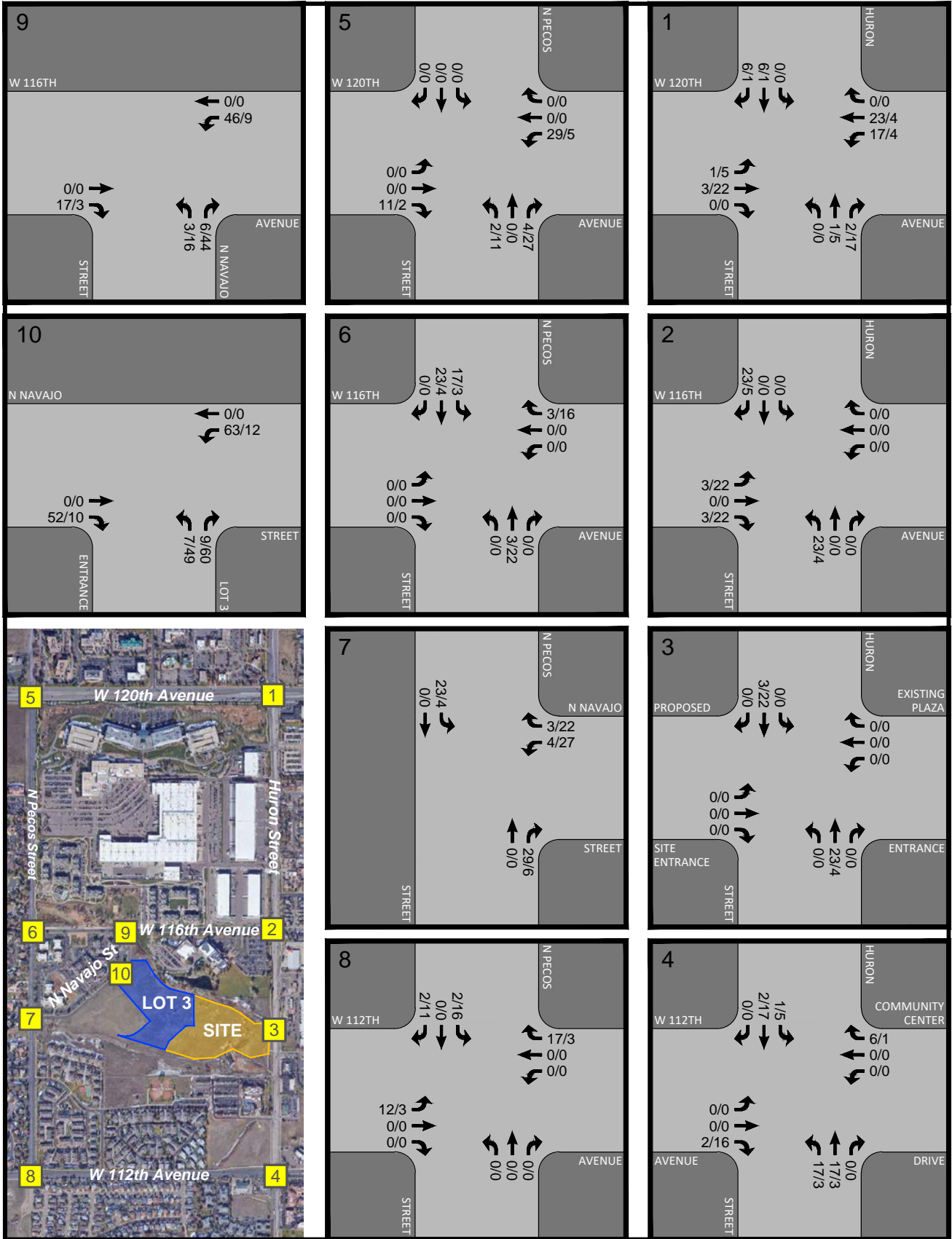


Figure 5
Lot 3 Trip Assignments



Acadia Healthcare
City of Westminster, Colorado



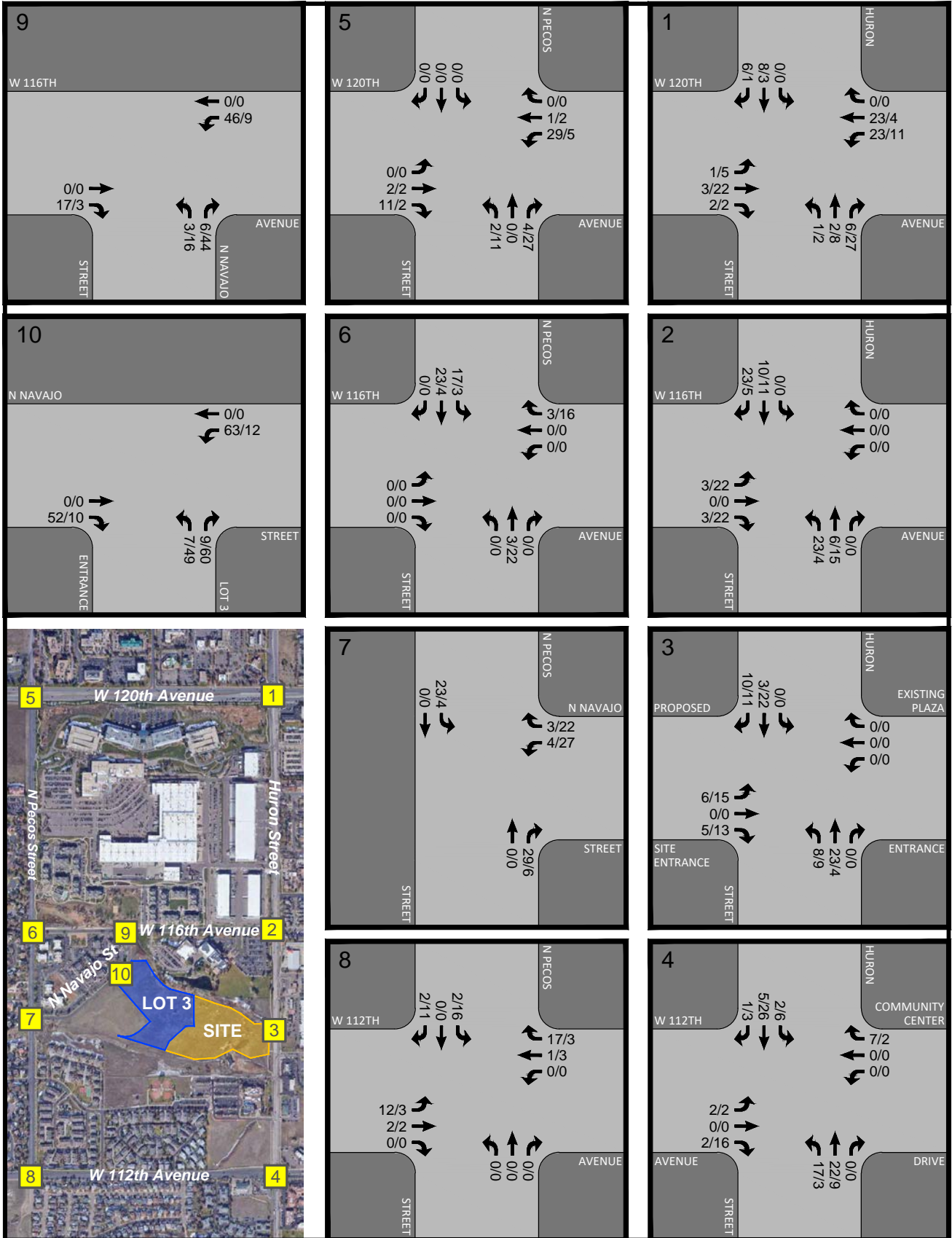


Figure 6
Total Trip Assignments



Acadia Healthcare
City of Westminster, Colorado



**Phase II Drainage Report
PLN21-0037**

**Acadia Healthcare Behavioral Health Hospital & Outpatient Clinic
APN: 1719 04 4 00 0011**

April 21st, 2022



I hereby affirm that this report and plan for the Phase I drainage design of the development, Acadia Healthcare New Behavioral Health Hospital, was prepared by me (or under my direct supervision) in accordance with the provisions of the City of Westminster Storm Drainage Design and Technical Criteria for the owners thereof. I understand that the City of Westminster does not and will not assume liability for stormwater infrastructure designed by others. I am also aware of the provisions of Section 11-6-5(B) of the CITY CODE as it pertains to the City's review.

WE ACKNOWLEDGE THAT THE CITY OF WESTMINSTER'S REVIEW OF THIS STUDY IS ONLY FOR GENERAL CONFORMANCE WITH SUBMITTAL REQUIREMENTS, CURRENT DESIGN CRITERIA AND STANDARD ENGINEERING PRINCIPLES AND PRACTICES. WE ARE ALSO AWARE OF THE PROVISIONS OF SECTION 11-6-5 (B) 3 OF THE WESTMINSTER MUNICIPAL CODE

Table of Contents

Section

Narrative

Project Description

Site Description

Proposed Stormwater Design

Post Development Peak flows

Wetlands

Irrigation Channel

Supporting Calculations

Hydrologic Soil Group

Impervious Calcs

Existing Drainage Area Map

Proposed Drainage Area Map

ACOE Nationwide Permit

MHFD East Detention

MHFD West Detention

Hydrographs

5-yr

10-yr

100-yr

Project Description

The proposed project is a 2-story (98,654 sq-ft) new behavioral health hospital that provides 144 beds and an outpatient clinic (6,400 sq-ft) on a 11.02-acre site. The site is located at the intersection of W 114th Ave and Huron St. Two extended detention basins are proposed to provide water quality and detention for the proposed area of the site. The proposed detention basins meet the requirements as indicated by the City of Westminster Storm Drainage Design and Technical Criteria. The project is disturbing approximately 8.55-acres (1.03-acres of which are part of a joint agreement/easement that lies to the west of the property boundary) and will add 5.02 acres of new impervious area.

Site Description

The existing property consists of two drainage areas separated by wetlands. Autodesk Hydraflow software was used to model the stormwater flows for the existing conditions using the SCS Method and using the MHFD detention basin design spreadsheet. The area within the property consists of vacant land which includes an irrigation channel and wetland. Based on the NRCS Web Soil Survey, the site contains soils in Hydrologic Group C. The curve numbers for the different conditions of the existing areas are outlined in the table below.

CN values for Existing Conditions

Description/Hydrologic Group	CN Value
Platner loam (C)	65
Ulm loam (C)	65

The existing east side consists of 3.98 acres with a weighted CN for the pre-development drainage area is 65, and the time of concentration was calculated to be 16.1 minutes. The existing west side consists of 6.46 acres with a weighted CN for the pre-development drainage area is 65, and the time of concentration was calculated to be 27.3 minutes.

The results for the peak outflows from the existing conditions are shown below:

Pre-development Peak Flows

Drainage Area	2-yr cfs	5-yr cfs	10-yr cfs	25-yr cfs	50-yr cfs	100-yr cfs
Existing East Runoff	0.102	0.753	1.71	3.53	5.23	7.17
Existing West Runoff	0.146	0.817	1.86	3.88	5.87	8.16

Proposed Stormwater Design

The entire proposed sites' runoff has been routed to one of the two detention ponds with the remaining 1.8 acres of wetland and surrounding meadow bypassed. Outlet structures have been designed to reduce the flow from the site to meet the above-mentioned peak flows for the 10 thru 100-yr storm events with no less than 1ft of freeboard above the 100-yr elevation. The outlet structures also incorporate orifice plates and weirs to ensure a 40hr release of the WQCV and to help control the EURV volume. The outlet structures both have an orifice plate, circular orifice and weir that have been designed based on the MHFD detention basin outlet spreadsheet. The weir also acts as an emergency spillway for both basins.

The east detention basin has a floor elevation of 5387', while the west detention basin has a floor elevation of 5381'. The top of the east basin is 5391' with total available storage of 18,230 cubic ft and a 100-yr storm elevation of 5389.9' which requires a total volume of 11,508 cubic ft. The top of the west

basin is 5385' with total available storage of 97,241 cubic ft and a 100-yr storm elevation of 5383.4' which requires a total volume of 54,564 cubic ft.

Post-Development Peak Flows

Autodesk Hydraflow software was used to model the stormwater flows for the proposed conditions using the SCS Method. CN values were assigned to the different land uses around the new development. These CN values are listed in the table below.

CN values for Proposed Conditions

Description/Hydrologic Group	CN Value
Open space (lawns, parks, golf courses, cemeteries, etc.) Good Condition Type C	75
Impervious Cover (pavement/gravel/rooftop)	98

The weighted CN for the proposed east detention basin area is 77. The weighted CN for the proposed west detention basin area is 83. Time of concentration used for developed areas was calculated to be less than 5 minutes.

The post-development peak outflows for the detention basins have been calculated Autodesk Hydraflow software to compare the pre-development peak flows with the post-development peak flows, the results are shown in the following table.

Post-development Peak Flows

Drainage Area	2-yr cfs	5-yr cfs	10-yr cfs	25-yr cfs	50-yr cfs	100-yr cfs
Proposed East	0.007	0.038	0.113	0.226	0.599	1.928
Proposed West	0.021	0.027	0.032	0.093	0.374	0.761

Comparing the peak flows of the existing conditions and post-development conditions show that for all storm events, the post-developed site creates a reduced peak flow from the proposed site for the 10-year through the 100-year storm events.

Pre- vs. Post-development Peak Flows

Drainage Area	2-yr cfs	5-yr cfs	10-yr cfs	25-yr cfs	50-yr cfs	100-yr cfs
Existing East Runoff	0.102	0.753	1.71	3.53	5.23	7.17
Existing West Runoff	0.146	0.817	1.86	3.88	5.87	8.16
Proposed East	0.007	0.038	0.113	0.226	0.599	1.928
Proposed West	0.021	0.027	0.032	0.093	0.374	0.761

Wetlands

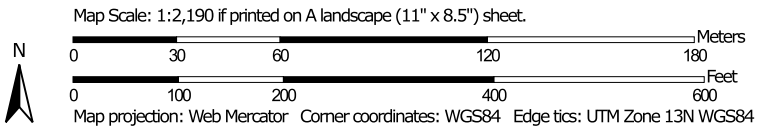
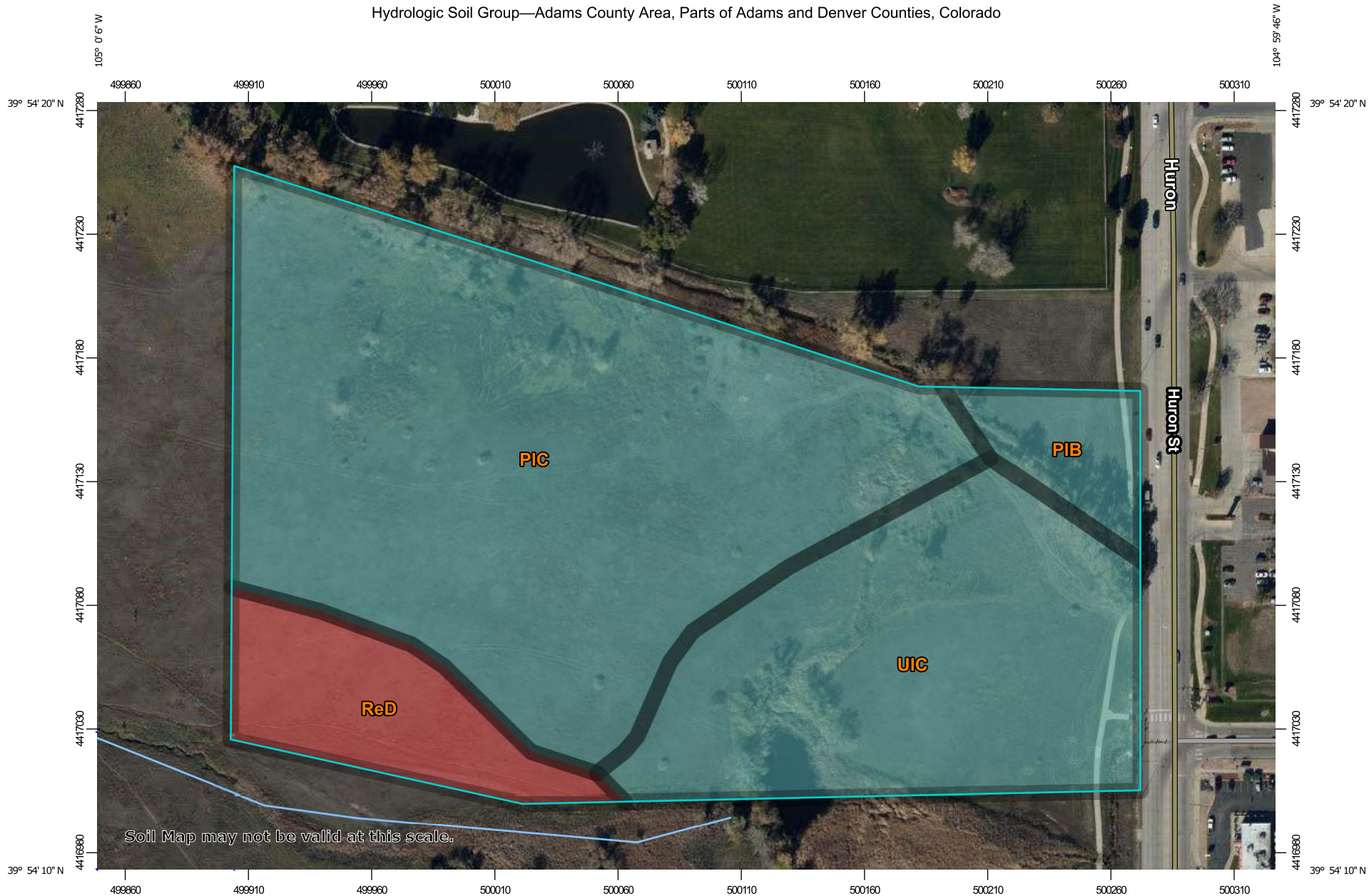
The existing wetlands lie within the floodplain along the south side of the property. The wetland runs from south to the north through the center of the property. The northern part of the wetland receives flow from the pond located on the Tri-State property via a pipe that runs from the pond, under the irrigation channel and finally discharging to the wetland. Due to the location of the wetland, it was determined that 0.44 acres of the wetland will need to be disturbed in order to construct the proposed building and associated parking. Also, a continuation of the pipe, that discharges from the Tri-State property, will need to be extended to the edge of the proposed parking and new limits of disturbance for the wetland. The pipe has been extended and is shown on the utility and grading plans. An ACOE Nationwide permit #39 authorization has been acquired for mitigation credits to be purchased from the Big Thompson Confluence Mitigation Bank before construction, the authorization has been attached to this report.

Irrigation Channel

The existing irrigation channel is owned by Tri-State Generation & Transmissions. Tri-State holds an agreement with Front Range Partners/Grayson-Curtis Corp to convey water via this irrigation channel. A portion of the irrigation channel runs through the proposed property for Acadia near the entrance drive aisle. This section of the irrigation channel will be piped below the entrance drive aisle to an existing pipe downstream.


Hydrologic Soil Groups

Hydrologic Soil Group—Adams County Area, Parts of Adams and Denver Counties, Colorado



MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points





 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available


Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado
 Survey Area Data: Version 18, Aug 31, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 20, 2018—Oct 26, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
PIB	Platner loam, 0 to 3 percent slopes	C	0.8	4.5%
PIC	Platner loam, 3 to 5 percent slopes	C	10.3	57.5%
ReD	Reno hill loam, 3 to 9 percent slopes	D	1.7	9.3%
UIC	Ulm loam, 3 to 5 percent slopes	C	5.2	28.8%
Totals for Area of Interest			18.0	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Impervious Area Calculations

Existing Drainage Area Calculations

Existing West

Total Area = 286,324 sq-ft
6.573 acres

Pervious Area = 286,324 sq-ft
Wetland - sq-ft
6.573 acres

Impervious Area = - sq-ft
0.000 acres

Existing East

Total Area = 193,710 sq-ft
4.447 acres

Pervious Area = 163,632 sq-ft
Wetland 28,254 sq-ft
4.405 acres

Impervious Area = 1,825 sq-ft
0.042 acres
Percent Impervious: 0.94%

Offsite West

Total Area = 24,649 sq-ft
0.566 acres

Pervious Area = 24,649 sq-ft
Wetland - sq-ft
0.566 acres

Impervious Area = - sq-ft
0.000 acres
Percent Impervious: 0.00%

Offsite East

Total Area = 16,229 sq-ft
0.373 acres

Pervious Area = 16,229 sq-ft
Wetland - sq-ft
0.373 acres

Impervious Area = - sq-ft
0.000 acres
Percent Impervious: 0.00%

Proposed Drainage Area Calculations

Detention West

Total Area = 323,795 sq-ft
7.433 acres

Hospital Impervious Area:

LTD Asphalt 25,925 sq-ft
HDTY Asphalt 63,907 sq-ft
Concrete Pavement 10,760 sq-ft
Sidewalk 14,969 sq-ft
Building 57,516 sq-ft
Total: 173,077 sq-ft
3.973 acres

Offsite Pervious: 32563 sq-ft
Pervious Area: 118,155 sq-ft
Total: 150,718 sq-ft
3.460 acres

Percent Impervious: 53.45%

Detention East

Total Area = 65,971 sq-ft
1.514 acres

Hospital Impervious Area:

LTD Asphalt - sq-ft
HDTY Asphalt - sq-ft
Concrete Pavement - sq-ft
Sidewalk - sq-ft
Building - sq-ft
Total: - sq-ft
0.000 acres

Offsite Pervious: 8,329 sq-ft
Pervious Area: 57,641 sq-ft
Total: 65,971 sq-ft
1.514 acres

Percent Impervious: 0.00%

Bypass

Total Area = 131,148 sq-ft
3.011 acres

Hospital Impervious Area:

LTD Asphalt - sq-ft
HDTY Asphalt - sq-ft
Concrete Pavement - sq-ft
Sidewalk 1,825 sq-ft
Building - sq-ft
Total: 1,825 sq-ft
0.042 acres

Wetland: 9,087 sq-ft
Pervious Area: 120,237 sq-ft
Total: 129,323 sq-ft
2.969 acres

Percent Impervious: 1.39%

Drainage Area Maps

**DETENTION WEST
7.43 ACRES**

**DETENTION EAST
1.51 ACRES**

**BYPASS:
3.01 ACRES**

**NEW BEHAVIORAL HEALTH
HOSPITAL
F.F.E. = 5390.00**

CRUNK ENGINEERING LLC
7112 CROSSROADS BOULEVARD
SUITE 201
BRENTWOOD, TN 37027
(615) 873-1795
WWW.CRUNKENG.COM



**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**

HURON ST & W 114TH AVE
WESTMINSTER, CO 80234

REVISIONS

No.	DATE

09/23/2022 21009

**PROPOSED
DRAINAGE AREA
MAP**

ACOE Nationwide Permit



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, OMAHA DISTRICT
DENVER REGULATORY OFFICE
9307 SOUTH WADSWORTH BLVD
LITTLETON, CO 80128-6901

August 4, 2022

SUBJECT: Nationwide Permit Verification; NWO-2021-01933-DEN, Acadia Behavioral Health Hospital Property

Tammy Russell
Acadia Healthcare Company, Inc.
6100 Tower Circle
Franklin, TN 37067

Dear Ms. Russell:

This letter is in response to your July 14, 2022 Pre-construction Notification (PCN), requesting Department of the Army (DA) Nationwide Permit (NWP) verification for the above-referenced project. The project site is located at Latitude 39.9043°, Longitude - 105.0009°, within Section 4, Township 2 S, Range 68 W, Adams County, Colorado.

For the above-referenced project you propose to permanently discharge fill material into wetlands, in order to construct a healthcare facility. The work will permanently impact 0.44 acres of wetlands.

The U.S. Army Corps of Engineers (Corps) regulates the discharge of dredged and fill material into waters of the United States under Section 404 of the Clean Water Act (CWA) (33 U.S.C. 1344). The Corps' regulations are published in the Code of Federal Regulations at 33 CFR parts 320 through 332. NWPs are defined in the Federal Register published on December 27, 2021 (86 FR 73522) and January 13, 2021 (86 FR 2744). Based on a review of the information you furnished and available to us, we have determined the above referenced work requires DA authorization under Section 404 of the CWA.

Based upon the information you provided, we hereby verify that the work described above, which would be performed in accordance with the plans you provided (Map 1 and Map 2), dated June 21, 2022, is authorized by Nationwide Permit 39 – Commercial and Institutional Developments. Please note that deviations from the original plans and specifications of your project could require additional authorization from this office. This NWP and associated Regional and General Conditions are enclosed and can be accessed on our website at: <https://www.nwo.usace.army.mil/Missions/Regulatory-Program/Colorado>. Failure to comply with the General and Regional Conditions of this NWP, or the project-specific special conditions of this authorization, may result in the suspension or revocation of your authorization, and you may be subject to appropriate enforcement action. You shall comply with all terms and conditions associated with this NWP, including the following special conditions.

Special or Regional Conditions:

1. To compensate for the loss of 0.44 acres of wetlands, you shall purchase 0.44 credits of wetlands at the Big Thompson Confluence Mitigation Bank. Evidence of this purchase shall be provided to this office prior to initiation of construction activities in waters of the U.S. authorized by this verification.

Unless this NWP is suspended, modified, or revoked, it is valid until **March 14, 2026**. It is incumbent upon you to remain informed of changes to this NWP. We will issue a public notice when the NWPs are reissued. Furthermore, if you commence or are under contract to commence this activity before the date that the relevant NWP is modified or revoked, you will have twelve (12) months from the date of the modification or revocation of the NWP to complete the activity under the present terms and conditions of this NWP unless discretionary authority has been exercised on a case-by-case basis to modify, suspend, or revoke the authorization as per 33 CFR 330.6(b). Any project specific conditions listed in this letter continue to remain in effect after the NWP verification expires unless the district engineer removes those conditions.

To assist in your compliance with NWP General Condition 30, enclosed is a "Compliance Certification" form, which shall be signed and returned within 30 days of completion of the project, including any required mitigation. Your signature on this form certifies that you have completed the work in accordance with the terms and conditions of the NWP. Activities completed under the authorization of an NWP which was in effect at the time the activity was completed continue to be authorized by that NWP.

Authorizations under this NWP does not relieve permittees from obtaining permits or other authorizations from any required federal, state, or local agency.

If you have any questions, please contact Aaron Eilers via email at Aaron.R.Eilers@usace.army.mil, by mail at the address above, or by phone at (720) 979-4120.

Sincerely,



Kiel Downing
Chief, Denver Regulatory Office

Enclosures

Cc: Eric Berg, via email.

The Omaha District, Regulatory Branch is committed to providing quality and timely service to our customers. In an effort to improve customer service, please take a moment to complete our Customer Service Survey found on our website at: <https://regulatory.ops.usace.army.mil/customer-service-survey/>.

COMPLIANCE CERTIFICATION

USACE File Number: NWO-2021-01933-DEN
Permit Type: Nationwide Permit 39
Name of Permittee:
County: Adams County, Colorado
Date of Issuance: August 4, 2022
Project Manager: Aaron Eilers

Upon completion of the activity authorized by this permit and any mitigation required by the permit, sign this certification and return it to the following address:

**CORPS OF ENGINEERS, OMAHA DISTRICT
DENVER REGULATORY OFFICE
9307 SOUTH WADSWORTH BLVD
LITTLETON, CO 80128-6901**

Please note that your permitted activity is subject to a compliance inspection by a U.S. Army Corps of Engineers representative. If you fail to comply with the conditions of this permit, you are subject to permit suspension, modification, or revocation.

I hereby certify that the work authorized by the above referenced permit has been completed in accordance with the terms and conditions of the said permit, and required mitigation was completed in accordance with the permit conditions.

Signature of Permittee

Date

Precipitation Depth & Intensity



NOAA Atlas 14, Volume 8, Version 2
Location name: Denver, Colorado, USA*
Latitude: 39.8628°, Longitude: -104.997°
Elevation: 5316.89 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aeriels](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.216 (0.168-0.278)	0.266 (0.207-0.342)	0.357 (0.277-0.461)	0.442 (0.341-0.573)	0.572 (0.432-0.782)	0.683 (0.502-0.940)	0.803 (0.570-1.13)	0.934 (0.636-1.35)	1.12 (0.735-1.66)	1.27 (0.809-1.89)
10-min	0.316 (0.246-0.407)	0.389 (0.303-0.501)	0.523 (0.405-0.675)	0.647 (0.499-0.839)	0.838 (0.633-1.15)	1.00 (0.735-1.38)	1.18 (0.834-1.65)	1.37 (0.931-1.97)	1.64 (1.08-2.42)	1.87 (1.19-2.77)
15-min	0.386 (0.300-0.496)	0.475 (0.369-0.611)	0.638 (0.494-0.823)	0.789 (0.608-1.02)	1.02 (0.772-1.40)	1.22 (0.896-1.68)	1.43 (1.02-2.02)	1.67 (1.14-2.40)	2.00 (1.31-2.96)	2.28 (1.45-3.38)
30-min	0.543 (0.423-0.699)	0.670 (0.521-0.863)	0.899 (0.697-1.16)	1.11 (0.855-1.44)	1.43 (1.08-1.95)	1.70 (1.25-2.34)	1.99 (1.41-2.80)	2.31 (1.57-3.33)	2.77 (1.81-4.08)	3.13 (1.99-4.65)
60-min	0.669 (0.521-0.861)	0.828 (0.644-1.07)	1.11 (0.862-1.44)	1.37 (1.06-1.78)	1.77 (1.33-2.41)	2.10 (1.54-2.88)	2.45 (1.74-3.44)	2.84 (1.93-4.08)	3.39 (2.22-4.99)	3.83 (2.43-5.68)
2-hr	0.795 (0.625-1.01)	0.986 (0.775-1.25)	1.33 (1.04-1.69)	1.64 (1.27-2.10)	2.10 (1.60-2.83)	2.49 (1.85-3.38)	2.91 (2.09-4.04)	3.37 (2.31-4.78)	4.01 (2.65-5.84)	4.53 (2.91-6.63)
3-hr	0.860 (0.680-1.09)	1.07 (0.842-1.35)	1.43 (1.13-1.81)	1.76 (1.38-2.24)	2.26 (1.73-3.02)	2.67 (1.99-3.60)	3.12 (2.25-4.29)	3.60 (2.49-5.08)	4.28 (2.85-6.18)	4.83 (3.12-7.02)
6-hr	1.02 (0.817-1.28)	1.25 (1.00-1.57)	1.66 (1.32-2.08)	2.03 (1.61-2.55)	2.58 (2.00-3.40)	3.04 (2.29-4.05)	3.54 (2.57-4.80)	4.07 (2.84-5.66)	4.82 (3.24-6.87)	5.42 (3.54-7.79)
12-hr	1.27 (1.03-1.57)	1.53 (1.24-1.90)	1.99 (1.61-2.47)	2.41 (1.93-3.00)	3.03 (2.37-3.94)	3.54 (2.70-4.65)	4.09 (3.01-5.49)	4.68 (3.31-6.43)	5.52 (3.75-7.76)	6.19 (4.08-8.77)
24-hr	1.55 (1.26-1.89)	1.86 (1.52-2.28)	2.41 (1.96-2.95)	2.89 (2.34-3.55)	3.59 (2.83-4.59)	4.16 (3.20-5.37)	4.76 (3.53-6.28)	5.39 (3.84-7.29)	6.27 (4.30-8.68)	6.96 (4.65-9.74)
2-day	1.80 (1.49-2.17)	2.18 (1.80-2.64)	2.83 (2.33-3.42)	3.38 (2.76-4.10)	4.15 (3.29-5.21)	4.76 (3.69-6.04)	5.38 (4.03-6.98)	6.03 (4.34-8.01)	6.90 (4.78-9.41)	7.58 (5.11-10.5)
3-day	1.96 (1.63-2.35)	2.35 (1.95-2.82)	3.00 (2.48-3.60)	3.55 (2.93-4.28)	4.34 (3.46-5.41)	4.96 (3.87-6.25)	5.60 (4.22-7.22)	6.26 (4.54-8.27)	7.17 (5.00-9.70)	7.87 (5.35-10.8)
4-day	2.09 (1.75-2.49)	2.47 (2.06-2.95)	3.11 (2.59-3.72)	3.66 (3.03-4.40)	4.45 (3.58-5.53)	5.08 (3.99-6.38)	5.73 (4.35-7.36)	6.41 (4.67-8.43)	7.35 (5.15-9.89)	8.07 (5.51-11.0)
7-day	2.38 (2.01-2.81)	2.77 (2.34-3.27)	3.43 (2.88-4.06)	4.00 (3.34-4.75)	4.81 (3.90-5.90)	5.45 (4.32-6.77)	6.12 (4.68-7.76)	6.81 (5.01-8.86)	7.76 (5.49-10.3)	8.50 (5.86-11.5)
10-day	2.64 (2.24-3.09)	3.05 (2.59-3.58)	3.74 (3.16-4.40)	4.33 (3.64-5.11)	5.16 (4.20-6.28)	5.82 (4.63-7.17)	6.49 (5.00-8.17)	7.19 (5.31-9.27)	8.14 (5.79-10.8)	8.87 (6.15-11.9)
20-day	3.41 (2.93-3.96)	3.90 (3.34-4.52)	4.69 (4.01-5.45)	5.34 (4.55-6.24)	6.25 (5.14-7.49)	6.96 (5.60-8.44)	7.66 (5.96-9.49)	8.38 (6.26-10.6)	9.33 (6.71-12.1)	10.1 (7.05-13.3)
30-day	4.04 (3.50-4.65)	4.60 (3.98-5.30)	5.51 (4.74-6.36)	6.25 (5.35-7.24)	7.26 (6.00-8.61)	8.03 (6.50-9.65)	8.79 (6.88-10.8)	9.55 (7.17-12.0)	10.5 (7.62-13.6)	11.3 (7.96-14.8)
45-day	4.79 (4.18-5.48)	5.48 (4.77-6.27)	6.57 (5.70-7.53)	7.46 (6.43-8.58)	8.64 (7.18-10.1)	9.52 (7.74-11.3)	10.4 (8.16-12.6)	11.2 (8.47-13.9)	12.3 (8.93-15.7)	13.1 (9.28-17.0)
60-day	5.40 (4.73-6.14)	6.21 (5.43-7.07)	7.50 (6.53-8.55)	8.52 (7.39-9.75)	9.87 (8.24-11.5)	10.9 (8.88-12.9)	11.8 (9.35-14.3)	12.8 (9.68-15.8)	13.9 (10.2-17.6)	14.8 (10.5-19.0)

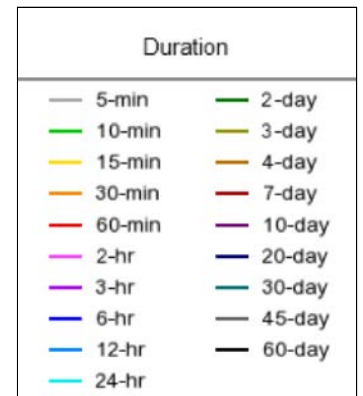
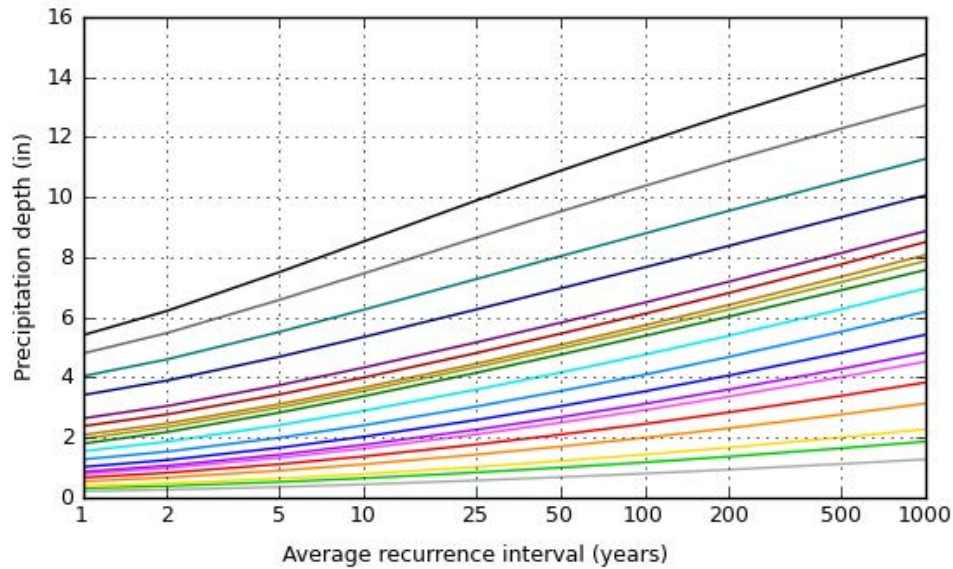
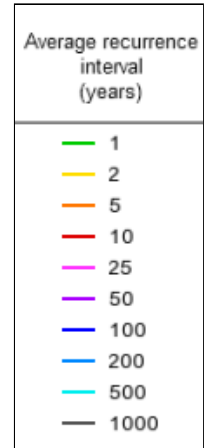
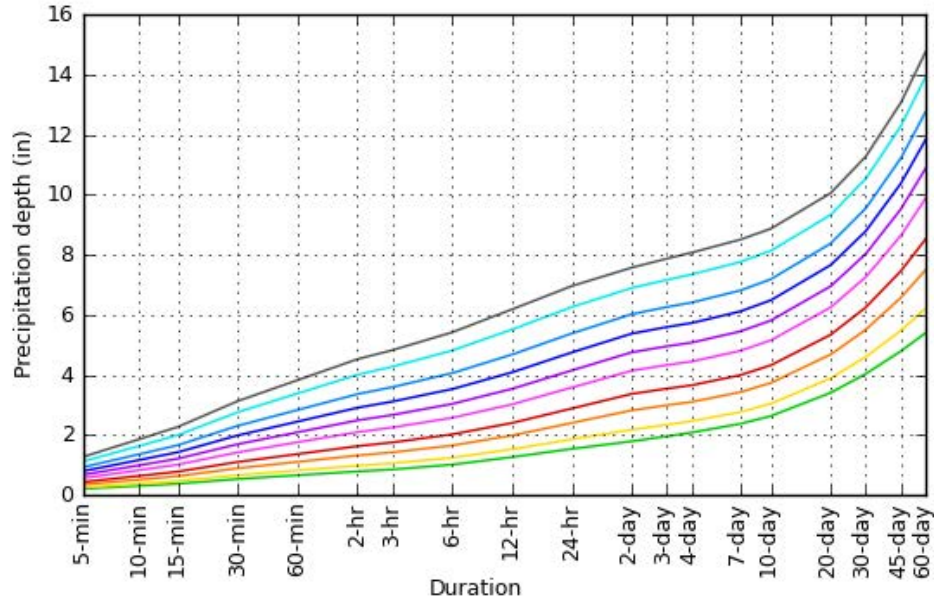
¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

PF graphical

PDS-based depth-duration-frequency (DDF) curves

Latitude: 39.8628°, Longitude: -104.9970°



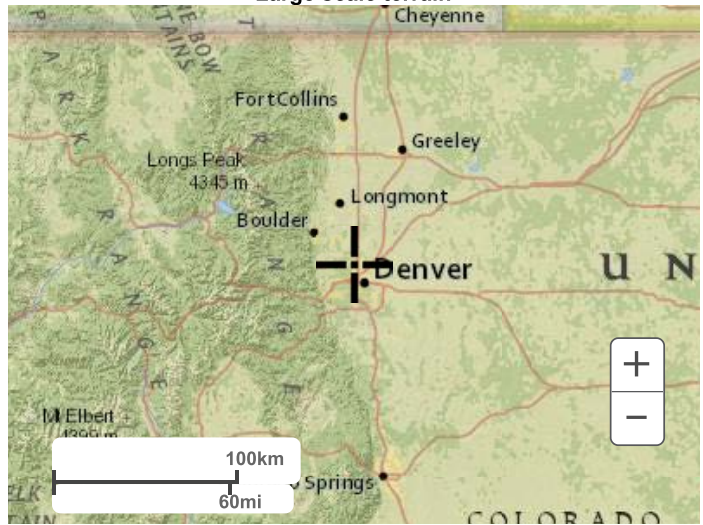
[Back to Top](#)

Maps & aerials

Small scale terrain



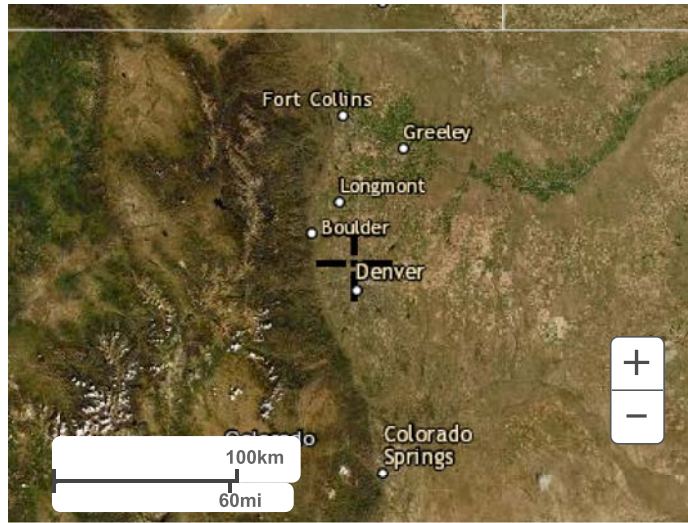
Large scale terrain



Large scale map



Large scale aerial



[Back to Top](#)

[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)



NOAA Atlas 14, Volume 8, Version 2
Location name: Denver, Colorado, USA*
Latitude: 39.8628°, Longitude: -104.997°
Elevation: 5316.89 ft**
* source: ESRI Maps
** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffrey Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aeriels](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	2.59 (2.02-3.34)	3.19 (2.48-4.10)	4.28 (3.32-5.53)	5.30 (4.09-6.88)	6.86 (5.18-9.38)	8.20 (6.02-11.3)	9.64 (6.84-13.5)	11.2 (7.63-16.2)	13.5 (8.82-19.9)	15.3 (9.71-22.7)
10-min	1.90 (1.48-2.44)	2.33 (1.82-3.01)	3.14 (2.43-4.05)	3.88 (2.99-5.03)	5.03 (3.80-6.87)	6.00 (4.41-8.26)	7.06 (5.00-9.92)	8.21 (5.59-11.8)	9.86 (6.46-14.5)	11.2 (7.11-16.6)
15-min	1.54 (1.20-1.98)	1.90 (1.48-2.44)	2.55 (1.98-3.29)	3.16 (2.43-4.09)	4.09 (3.09-5.58)	4.88 (3.58-6.71)	5.74 (4.07-8.07)	6.67 (4.54-9.61)	8.01 (5.25-11.8)	9.11 (5.78-13.5)
30-min	1.09 (0.846-1.40)	1.34 (1.04-1.73)	1.80 (1.39-2.32)	2.22 (1.71-2.88)	2.86 (2.16-3.90)	3.40 (2.50-4.68)	3.99 (2.83-5.60)	4.62 (3.15-6.65)	5.53 (3.62-8.16)	6.27 (3.98-9.29)
60-min	0.669 (0.521-0.861)	0.828 (0.644-1.07)	1.11 (0.862-1.44)	1.37 (1.06-1.78)	1.77 (1.33-2.41)	2.10 (1.54-2.88)	2.45 (1.74-3.44)	2.84 (1.93-4.08)	3.39 (2.22-4.99)	3.83 (2.43-5.68)
2-hr	0.398 (0.312-0.506)	0.493 (0.388-0.628)	0.663 (0.520-0.846)	0.818 (0.637-1.05)	1.05 (0.800-1.41)	1.25 (0.924-1.69)	1.46 (1.04-2.02)	1.68 (1.16-2.39)	2.01 (1.33-2.92)	2.26 (1.45-3.32)
3-hr	0.286 (0.226-0.362)	0.355 (0.280-0.448)	0.476 (0.375-0.603)	0.586 (0.459-0.746)	0.752 (0.576-1.00)	0.890 (0.664-1.20)	1.04 (0.748-1.43)	1.20 (0.829-1.69)	1.43 (0.948-2.06)	1.61 (1.04-2.34)
6-hr	0.171 (0.136-0.213)	0.209 (0.167-0.261)	0.277 (0.221-0.347)	0.339 (0.268-0.426)	0.431 (0.333-0.568)	0.508 (0.383-0.676)	0.590 (0.430-0.802)	0.679 (0.475-0.945)	0.805 (0.541-1.15)	0.906 (0.591-1.30)
12-hr	0.106 (0.085-0.130)	0.127 (0.103-0.157)	0.165 (0.133-0.205)	0.200 (0.160-0.249)	0.251 (0.196-0.327)	0.294 (0.224-0.386)	0.340 (0.250-0.456)	0.389 (0.275-0.534)	0.458 (0.311-0.644)	0.514 (0.339-0.728)
24-hr	0.064 (0.053-0.079)	0.078 (0.063-0.095)	0.100 (0.082-0.123)	0.120 (0.097-0.148)	0.150 (0.118-0.191)	0.173 (0.133-0.224)	0.198 (0.147-0.262)	0.224 (0.160-0.304)	0.261 (0.179-0.362)	0.290 (0.194-0.406)
2-day	0.037 (0.031-0.045)	0.045 (0.038-0.055)	0.059 (0.048-0.071)	0.070 (0.058-0.085)	0.086 (0.068-0.108)	0.099 (0.077-0.126)	0.112 (0.084-0.145)	0.126 (0.090-0.167)	0.144 (0.100-0.196)	0.158 (0.106-0.218)
3-day	0.027 (0.023-0.033)	0.033 (0.027-0.039)	0.042 (0.034-0.050)	0.049 (0.041-0.059)	0.060 (0.048-0.075)	0.069 (0.054-0.087)	0.078 (0.059-0.100)	0.087 (0.063-0.115)	0.100 (0.069-0.135)	0.109 (0.074-0.150)
4-day	0.022 (0.018-0.026)	0.026 (0.021-0.031)	0.032 (0.027-0.039)	0.038 (0.032-0.046)	0.046 (0.037-0.058)	0.053 (0.042-0.066)	0.060 (0.045-0.077)	0.067 (0.049-0.088)	0.077 (0.054-0.103)	0.084 (0.057-0.115)
7-day	0.014 (0.012-0.017)	0.016 (0.014-0.019)	0.020 (0.017-0.024)	0.024 (0.020-0.028)	0.029 (0.023-0.035)	0.032 (0.026-0.040)	0.036 (0.028-0.046)	0.041 (0.030-0.053)	0.046 (0.033-0.062)	0.051 (0.035-0.068)
10-day	0.011 (0.009-0.013)	0.013 (0.011-0.015)	0.016 (0.013-0.018)	0.018 (0.015-0.021)	0.021 (0.018-0.026)	0.024 (0.019-0.030)	0.027 (0.021-0.034)	0.030 (0.022-0.039)	0.034 (0.024-0.045)	0.037 (0.026-0.049)
20-day	0.007 (0.006-0.008)	0.008 (0.007-0.009)	0.010 (0.008-0.011)	0.011 (0.009-0.013)	0.013 (0.011-0.016)	0.014 (0.012-0.018)	0.016 (0.012-0.020)	0.017 (0.013-0.022)	0.019 (0.014-0.025)	0.021 (0.015-0.028)
30-day	0.006 (0.005-0.006)	0.006 (0.006-0.007)	0.008 (0.007-0.009)	0.009 (0.007-0.010)	0.010 (0.008-0.012)	0.011 (0.009-0.013)	0.012 (0.010-0.015)	0.013 (0.010-0.017)	0.015 (0.011-0.019)	0.016 (0.011-0.020)
45-day	0.004 (0.004-0.005)	0.005 (0.004-0.006)	0.006 (0.005-0.007)	0.007 (0.006-0.008)	0.008 (0.007-0.009)	0.009 (0.007-0.010)	0.010 (0.008-0.012)	0.010 (0.008-0.013)	0.011 (0.008-0.015)	0.012 (0.009-0.016)
60-day	0.004 (0.003-0.004)	0.004 (0.004-0.005)	0.005 (0.005-0.006)	0.006 (0.005-0.007)	0.007 (0.006-0.008)	0.008 (0.006-0.009)	0.008 (0.006-0.010)	0.009 (0.007-0.011)	0.010 (0.007-0.012)	0.010 (0.007-0.013)

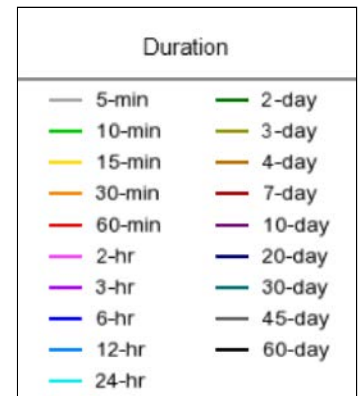
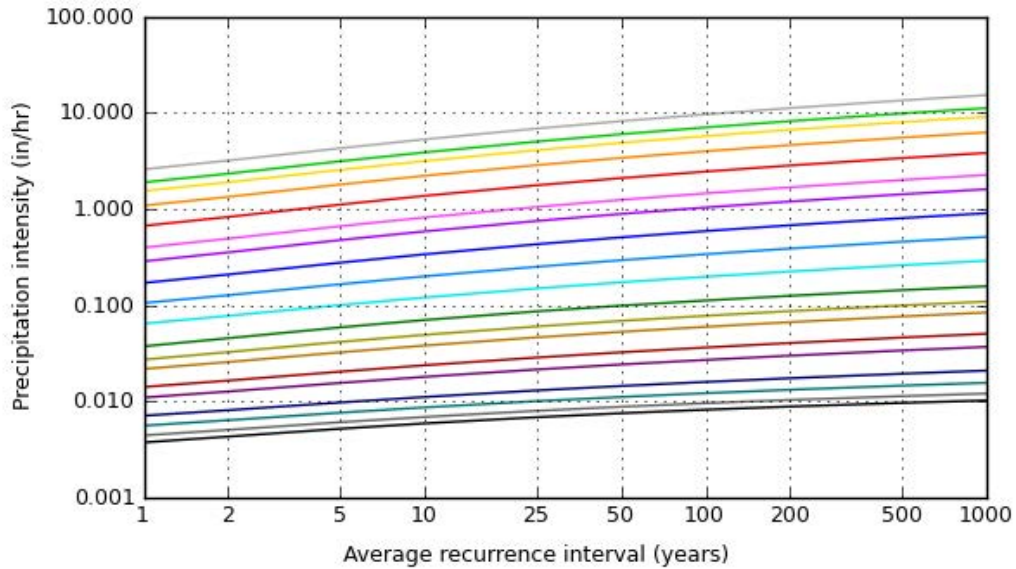
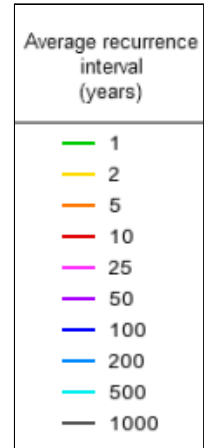
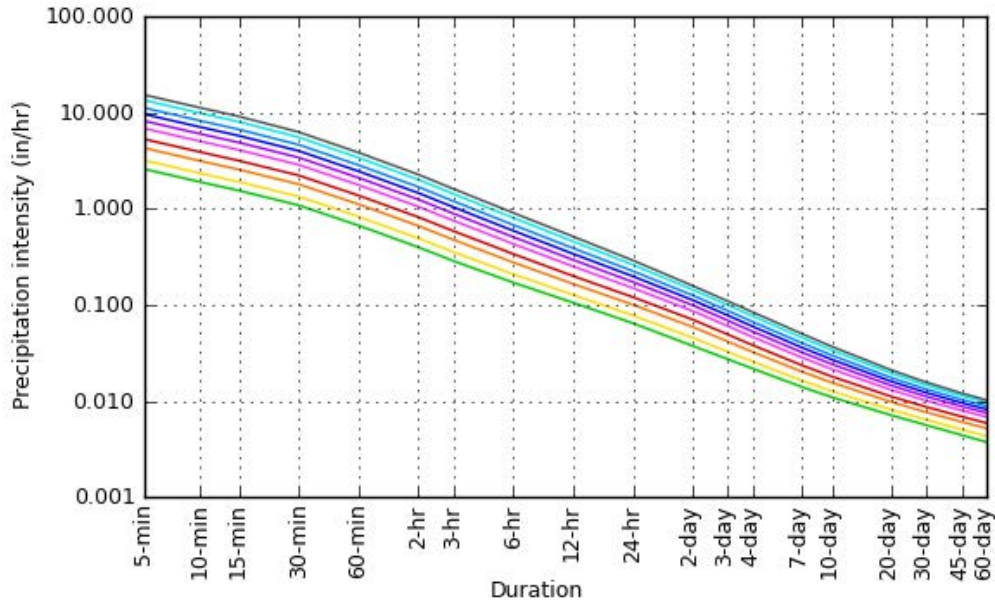
¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

PF graphical

PDS-based intensity-duration-frequency (IDF) curves

Latitude: 39.8628°, Longitude: -104.9970°



[Back to Top](#)

Maps & aerials

Small scale terrain



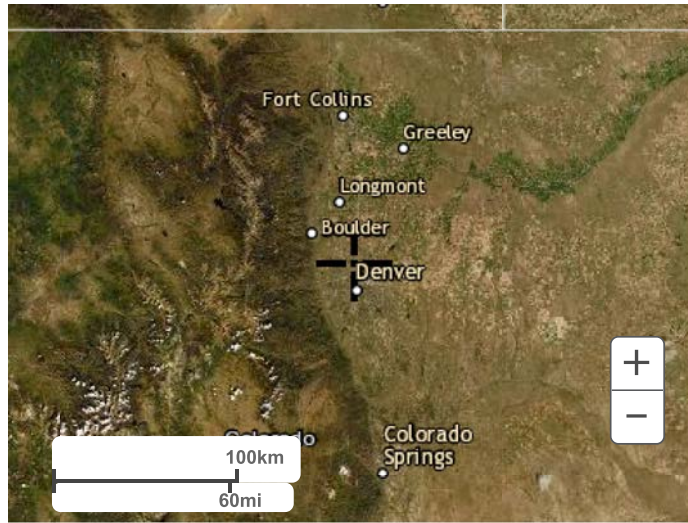
Large scale terrain



Large scale map



Large scale aerial



[Back to Top](#)

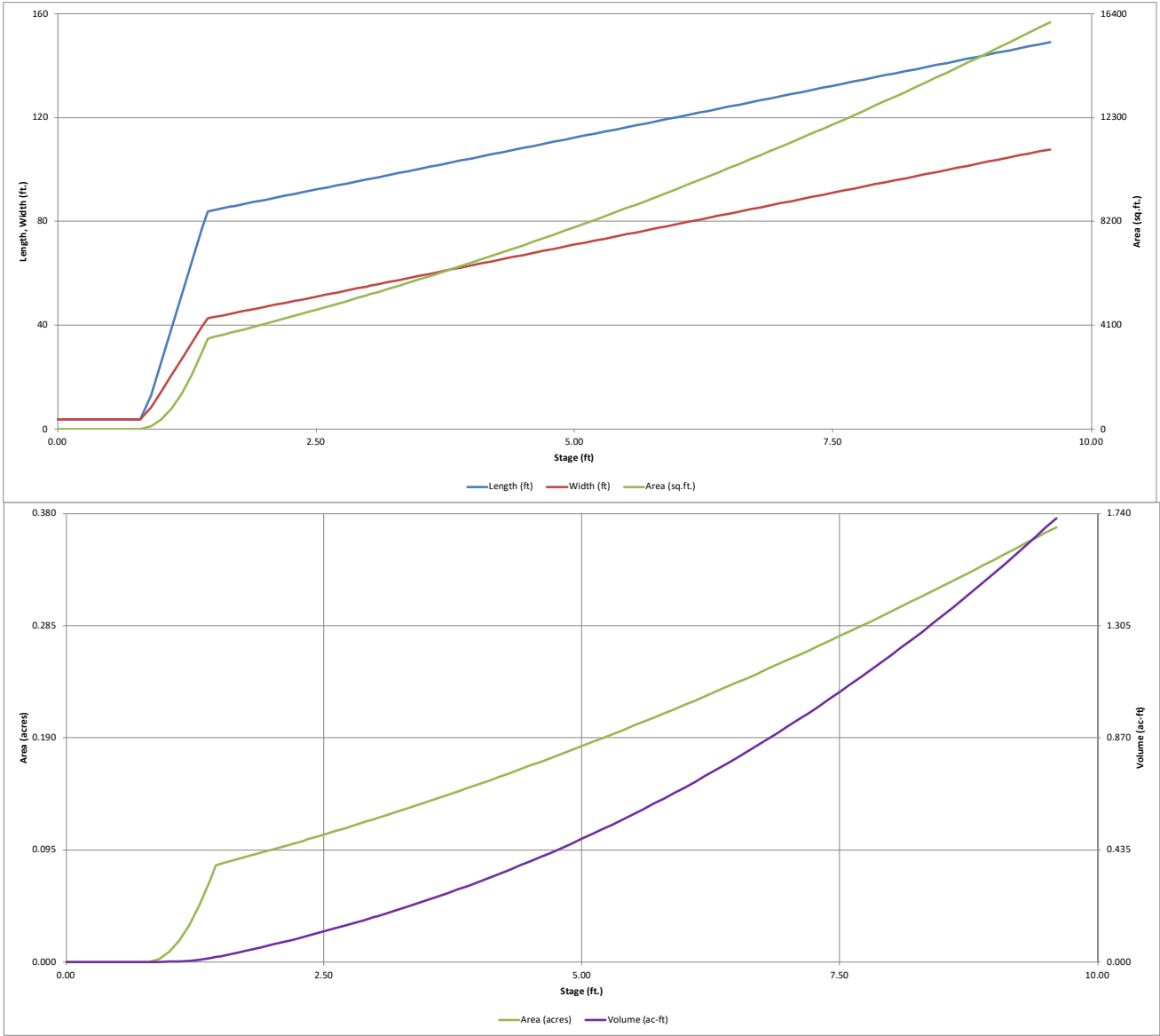
[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)

MHFD East Detention

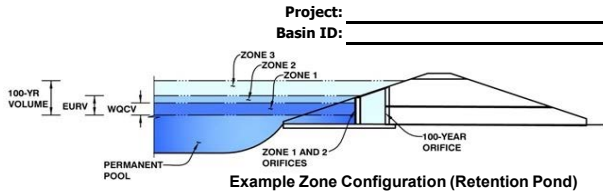
DETENTION BASIN STAGE-STORAGE TABLE BUILDER

MHFD-Detention, Version 4.05 (January 2022)



DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD-*Detention*, Version 4.05 (January 2022)



	Estimated Stage (ft)	Estimated Volume (ac-ft)	Outlet Type
Zone 1 (WQCV)	1.68	0.037	Orifice Plate
Zone 2 (EURV)	2.34	0.063	Circular Orifice
Zone 3 (100-year)	3.01	0.075	Weir (No Pipe)
Total (all zones)		0.175	

User Input: Orifice at Underdrain Outlet (typically used to drain WQCV in a Filtration BMP)

Underdrain Orifice Invert Depth =	N/A	ft (distance below the filtration media surface)
Underdrain Orifice Diameter =	N/A	inches

Calculated Parameters for Underdrain	
Underdrain Orifice Area =	N/A ft ²
Underdrain Orifice Centroid =	N/A feet

User Input: Orifice Plate with one or more orifices or Elliptical Slot Weir (typically used to drain WQCV and/or EURV in a sedimentation BMP)

Centroid of Lowest Orifice =	0.00	ft (relative to basin bottom at Stage = 0 ft)
Depth at top of Zone using Orifice Plate =	3.22	ft (relative to basin bottom at Stage = 0 ft)
Orifice Plate: Orifice Vertical Spacing =	12.90	inches
Orifice Plate: Orifice Area per Row =	0.19	sq. inches (diameter = 1/2 inch)

Calculated Parameters for Plate	
WQ Orifice Area per Row =	1.319E-03 ft ²
Elliptical Half-Width =	N/A feet
Elliptical Slot Centroid =	N/A feet
Elliptical Slot Area =	N/A ft ²

User Input: Stage and Total Area of Each Orifice Row (numbered from lowest to highest)

	Row 1 (required)	Row 2 (optional)	Row 3 (optional)	Row 4 (optional)	Row 5 (optional)	Row 6 (optional)	Row 7 (optional)	Row 8 (optional)
Stage of Orifice Centroid (ft)	0.00	1.07	2.15					
Orifice Area (sq. inches)	0.19	0.19	0.19					

	Row 9 (optional)	Row 10 (optional)	Row 11 (optional)	Row 12 (optional)	Row 13 (optional)	Row 14 (optional)	Row 15 (optional)	Row 16 (optional)
Stage of Orifice Centroid (ft)								
Orifice Area (sq. inches)								

User Input: Vertical Orifice (Circular or Rectangular)

	Zone 2 Circular	Not Selected	
Invert of Vertical Orifice =	1.68	N/A	ft (relative to basin bottom at Stage = 0 ft)
Depth at top of Zone using Vertical Orifice =	2.34	N/A	ft (relative to basin bottom at Stage = 0 ft)
Vertical Orifice Diameter =	3.29	N/A	inches

Calculated Parameters for Vertical Orif		
	Zone 2 Circular	Not Selected
Vertical Orifice Area =	0.06	N/A
Vertical Orifice Centroid =	0.14	N/A

User Input: Overflow Weir (Dropbox with Flat or Sloped Gate and Outlet Pipe OR Rectangular/Trapezoidal Weir and No Outlet Pipe)

	Zone 3 Weir	Not Selected	
Overflow Weir Front Edge Height, Ho =	2.60	N/A	ft (relative to basin bottom at Stage = 0 ft)
Overflow Weir Bottom Length =	4.00	N/A	feet
Overflow Weir Side Slopes =	0.00	N/A	H:V
Horiz. Length of Weir Sides =	N/A	N/A	feet
Overflow Gate Type =	N/A	N/A	
Debris Clogging % =	N/A	N/A	%

Calculated Parameters for Overflow Weir		
	Zone 3 Weir	Not Selected
Height of Gate Upper Edge, H _t =	N/A	N/A
Overflow Weir Slope Length =	N/A	N/A
Gate Open Area / 100-yr Orifice Area =	N/A	N/A
Overflow Gate Open Area w/o Debris =	N/A	N/A
Overflow Gate Open Area w/ Debris =	N/A	N/A

User Input: Outlet Pipe w/ Flow Restriction Plate (Circular Orifice, Restrictor Plate, or Rectangular Orifice)

	Not Selected	Not Selected	
Depth to Invert of Outlet Pipe =	N/A	N/A	ft (distance below basin bottom at Stage = 0 ft)
Circular Orifice Diameter =	N/A	N/A	inches

Calculated Parameters for Outlet Pipe w/ Flow Restriction Plate		
	Not Selected	Not Selected
Outlet Orifice Area =	N/A	N/A
Outlet Orifice Centroid =	N/A	N/A
Half-Central Angle of Restrictor Plate on Pipe =	N/A	N/A

User Input: Emergency Spillway (Rectangular or Trapezoidal)

Spillway Invert Stage =		ft (relative to basin bottom at Stage = 0 ft)
Spillway Crest Length =		feet
Spillway End Slopes =		H:V
Freeboard above Max Water Surface =		feet
Spillway position relative to Overflow Weir =		

Calculated Parameters for Spillway		
Spillway Design Flow Depth =		feet
Stage at Top of Freeboard =		feet
Basin Area at Top of Freeboard =		acres
Basin Volume at Top of Freeboard =		acre-ft

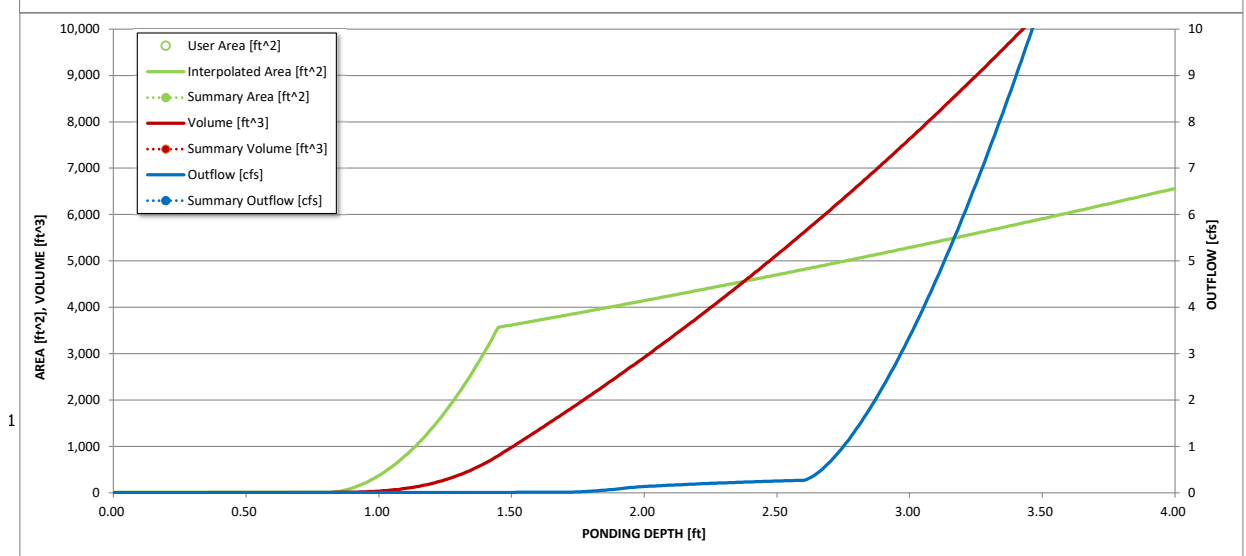
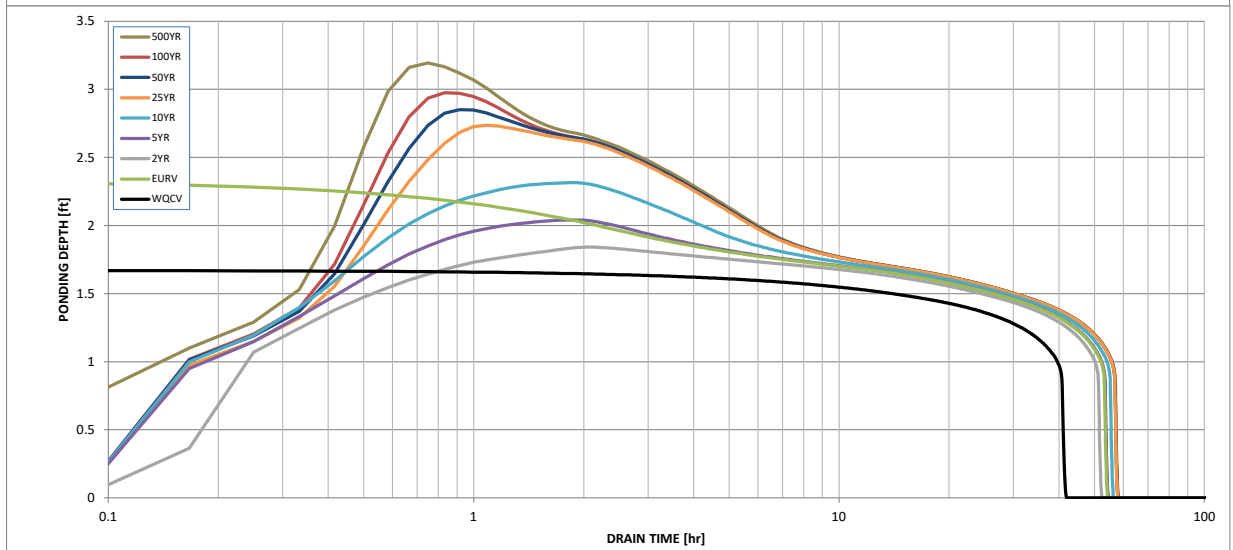
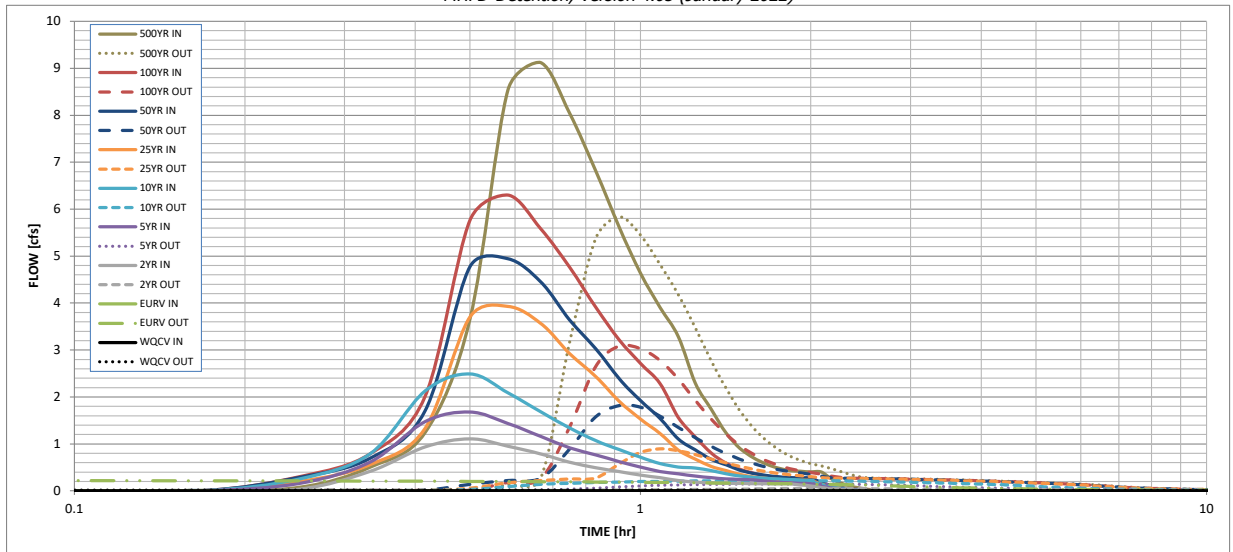
Routed Hydrograph Results

The user can override the default CUHP hydrographs and runoff volumes by entering new values in the Inflow Hydrographs table (Columns W through AA)

	WQCV	EURV	2 Year	5 Year	10 Year	25 Year	50 Year	100 Year
Design Storm Return Period =								
One-Hour Rainfall Depth (in) =	N/A	N/A	0.78	1.05	1.30	1.66	1.95	2.27
CUHP Runoff Volume (acre-ft) =	0.037	0.100	0.057	0.087	0.124	0.193	0.243	0.306
Inflow Hydrograph Volume (acre-ft) =	N/A	N/A	0.057	0.087	0.124	0.193	0.243	0.306
CUHP Predevelopment Peak Q (cfs) =	N/A	N/A	0.0	0.2	0.7	1.9	2.5	3.4
OPTIONAL Override Predevelopment Peak Q (cfs) =	N/A	N/A						
Predevelopment Unit Peak Flow, q (cfs/acre) =	N/A	N/A	0.01	0.08	0.32	0.84	1.15	1.55
Peak Inflow Q (cfs) =	N/A	N/A	1.1	1.7	2.5	3.9	4.9	6.3
Peak Outflow Q (cfs) =	0.0	0.2	0.1	0.1	0.2	0.9	1.8	3.1
Ratio Peak Outflow to Predevelopment Q =	N/A	N/A	N/A	0.8	0.3	0.5	0.7	0.9
Structure Controlling Flow =	Plate	Vertical Orifice 1	Vertical Orifice 1	Vertical Orifice 1	Vertical Orifice 1	Overflow Weir 1	Overflow Weir 1	Overflow Weir 1
Max Velocity through Gate 1 (fps) =	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Max Velocity through Gate 2 (fps) =	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Time to Drain 97% of Inflow Volume (hours) =	39	49	49	50	50	49	47	45
Time to Drain 99% of Inflow Volume (hours) =	41	52	51	53	54	54	53	52
Maximum Ponding Depth (ft) =	1.67	2.34	1.84	2.04	2.31	2.74	2.85	2.97
Area at Maximum Ponding Depth (acres) =	0.09	0.10	0.09	0.10	0.10	0.11	0.12	0.12
Maximum Volume Stored (acre-ft) =	0.037	0.101	0.052	0.070	0.098	0.143	0.157	0.171

DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD- Detention, Version 4.05 (January 2022)



S-A-V-D Chart Axis Override	X-axis	Left Y-Axis	Right Y-Axis
minimum bound			
maximum bound			

DETENTION BASIN OUTLET STRUCTURE DESIGN

Outflow Hydrograph Workbook Filename: _____

Inflow Hydrographs

The user can override the calculated inflow hydrographs from this workbook with inflow hydrographs developed in a separate program.

Time Interval	SOURCE	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP
	TIME	WQCV [cfs]	EURV [cfs]	2 Year [cfs]	5 Year [cfs]	10 Year [cfs]	25 Year [cfs]	50 Year [cfs]	100 Year [cfs]	500 Year [cfs]
5.00 min	0:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	0:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	0:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.07
	0:15:00	0.00	0.00	0.04	0.16	0.26	0.20	0.29	0.31	0.51
	0:20:00	0.00	0.00	0.42	0.62	0.80	0.56	0.70	0.79	1.24
	0:25:00	0.00	0.00	0.94	1.47	2.13	1.33	1.70	2.01	3.65
	0:30:00	0.00	0.00	1.11	1.68	2.49	3.70	4.77	5.76	8.54
	0:35:00	0.00	0.00	0.95	1.44	2.09	3.93	4.94	6.30	9.12
	0:40:00	0.00	0.00	0.79	1.16	1.68	3.57	4.45	5.58	8.03
	0:45:00	0.00	0.00	0.61	0.92	1.34	2.92	3.64	4.76	6.82
	0:50:00	0.00	0.00	0.49	0.77	1.07	2.44	3.03	3.91	5.62
	0:55:00	0.00	0.00	0.41	0.63	0.88	1.91	2.39	3.22	4.64
	1:00:00	0.00	0.00	0.34	0.51	0.72	1.53	1.92	2.71	3.91
	1:05:00	0.00	0.00	0.28	0.41	0.58	1.22	1.54	2.29	3.29
	1:10:00	0.00	0.00	0.22	0.36	0.51	0.87	1.10	1.56	2.30
	1:15:00	0.00	0.00	0.19	0.32	0.48	0.68	0.87	1.15	1.74
	1:20:00	0.00	0.00	0.17	0.28	0.43	0.52	0.67	0.81	1.23
	1:25:00	0.00	0.00	0.16	0.26	0.36	0.43	0.55	0.59	0.90
	1:30:00	0.00	0.00	0.16	0.24	0.32	0.35	0.44	0.46	0.71
	1:35:00	0.00	0.00	0.15	0.23	0.29	0.30	0.37	0.37	0.57
	1:40:00	0.00	0.00	0.15	0.21	0.27	0.27	0.33	0.32	0.49
	1:45:00	0.00	0.00	0.15	0.18	0.25	0.24	0.30	0.28	0.43
	1:50:00	0.00	0.00	0.15	0.17	0.24	0.23	0.28	0.27	0.42
	1:55:00	0.00	0.00	0.12	0.16	0.23	0.23	0.27	0.27	0.41
	2:00:00	0.00	0.00	0.11	0.15	0.21	0.22	0.27	0.27	0.41
	2:05:00	0.00	0.00	0.07	0.10	0.14	0.15	0.18	0.18	0.27
	2:10:00	0.00	0.00	0.05	0.06	0.09	0.10	0.12	0.12	0.18
	2:15:00	0.00	0.00	0.03	0.04	0.06	0.06	0.07	0.07	0.11
	2:20:00	0.00	0.00	0.02	0.02	0.03	0.04	0.05	0.05	0.07
	2:25:00	0.00	0.00	0.01	0.02	0.02	0.02	0.03	0.03	0.04
	2:30:00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	0.01	0.02
	2:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.01
	2:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	2:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	2:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	2:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:15:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:20:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:25:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:30:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:15:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:20:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:25:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:30:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:15:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:20:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:25:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:30:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
6:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	

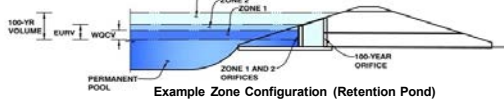
MHFD West Detention

DETENTION BASIN STAGE-STORAGE TABLE BUILDER

MHFD-*Detention*, Version 4.05 (January 2022)

Project: _____

Basin ID: _____



Watershed Information

Selected BMP Type =	EDB
Watershed Area =	6.34 acres
Watershed Length =	877 ft
Watershed Length to Centroid =	456 ft
Watershed Slope =	0.044 ft/ft
Watershed Imperviousness =	62.46% percent
Percentage Hydrologic Soil Group A =	0.0% percent
Percentage Hydrologic Soil Group B =	0.0% percent
Percentage Hydrologic Soil Groups C/D =	100.0% percent
Target WQCV Drain Time =	40.0 hours
Location for 1-hr Rainfall Depths =	Arvada - City Hall

After providing required inputs above including 1-hour rainfall depths, click 'Run CUHP' to generate runoff hydrographs using the embedded Colorado Urban Hydrograph Procedure.

Water Quality Capture Volume (WQCV) =	0.129 acre-feet	Optional User Overrides	
Excess Urban Runoff Volume (EURV) =	0.381 acre-feet		
2-yr Runoff Volume (P1 = 0.78 in.) =	0.226 acre-feet		
5-yr Runoff Volume (P1 = 1.05 in.) =	0.330 acre-feet		
10-yr Runoff Volume (P1 = 1.3 in.) =	0.447 acre-feet		
25-yr Runoff Volume (P1 = 1.66 in.) =	0.649 acre-feet		
50-yr Runoff Volume (P1 = 1.95 in.) =	0.799 acre-feet		
100-yr Runoff Volume (P1 = 2.27 in.) =	0.982 acre-feet		
500-yr Runoff Volume (P1 = 3.08 in.) =	1.418 acre-feet		
Approximate 2-yr Detention Volume =	0.224 acre-feet		
Approximate 5-yr Detention Volume =	0.340 acre-feet		
Approximate 10-yr Detention Volume =	0.412 acre-feet		
Approximate 25-yr Detention Volume =	0.492 acre-feet		
Approximate 50-yr Detention Volume =	0.529 acre-feet		
Approximate 100-yr Detention Volume =	0.605 acre-feet		

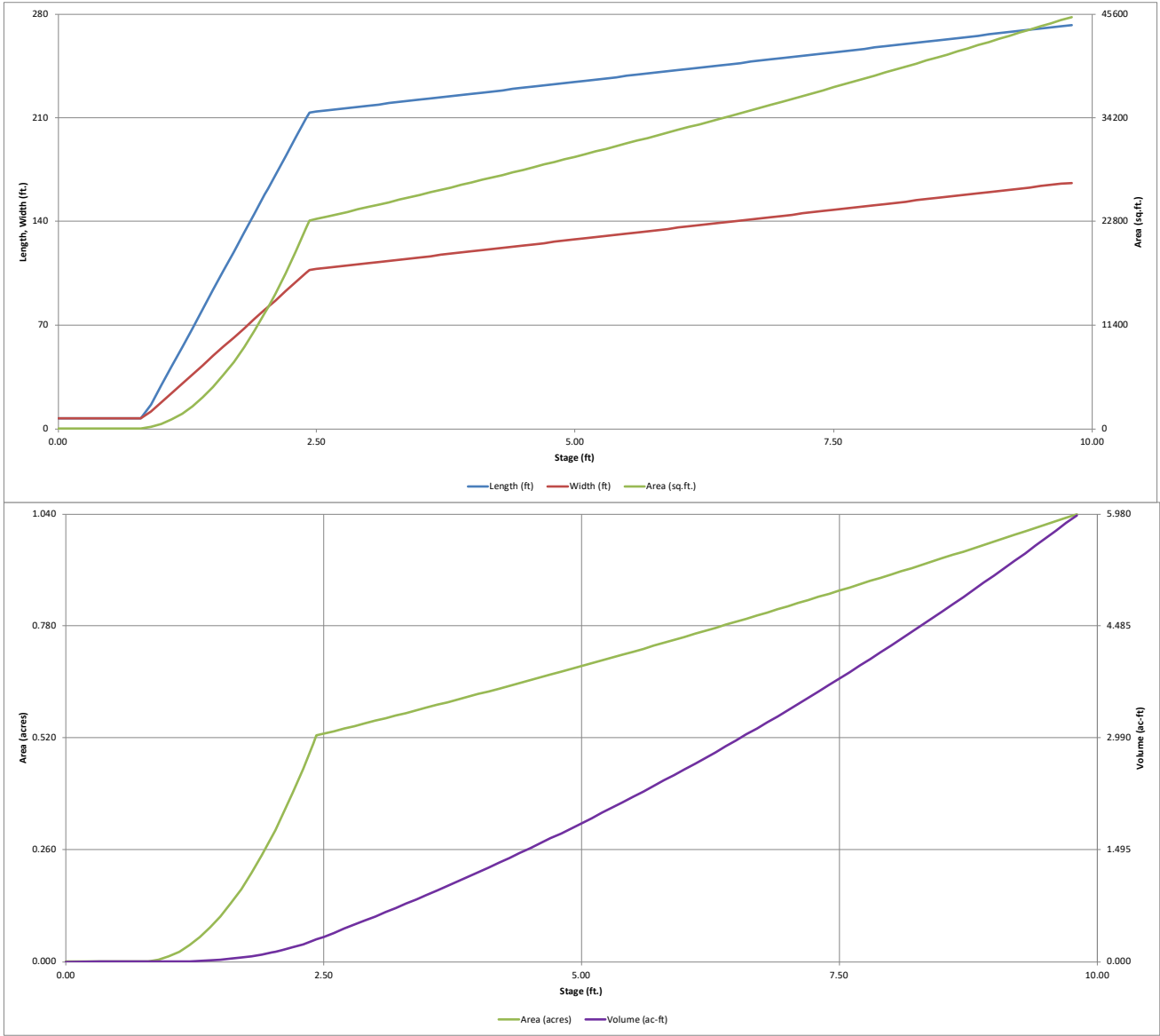
Define Zones and Basin Geometry

Zone 1 Volume (WQCV) =	0.129 acre-feet
Zone 2 Volume (EURV - Zone 1) =	0.252 acre-feet
Zone 3 Volume (100-year - Zones 1 & 2) =	0.224 acre-feet
Total Detention Basin Volume =	0.605 acre-feet
Initial Surcharge Volume (ISV) =	17 ft ³
Initial Surcharge Depth (ISD) =	0.33 ft
Total Available Detention Depth (H _{total}) =	3.00 ft
Depth of Trickle Channel (H _{TC}) =	0.50 ft
Slope of Trickle Channel (S _{TC}) =	0.008 ft/ft
Slopes of Main Basin Sides (S _{main}) =	4 H:V
Basin Length-to-Width Ratio (R _{L/W}) =	2
Initial Surcharge Area (A _{ISV}) =	51 ft ²
Surcharge Volume Length (L _{ISV}) =	7.2 ft
Surcharge Volume Width (W _{ISV}) =	7.2 ft
Depth of Basin Floor (H _{FLOOR}) =	1.60 ft
Length of Basin Floor (L _{FLOOR}) =	213.6 ft
Width of Basin Floor (W _{FLOOR}) =	107.2 ft
Area of Basin Floor (A _{FLOOR}) =	22,883 ft ²
Volume of Basin Floor (V _{FLOOR}) =	12,809 ft ³
Depth of Main Basin (H _{MAIN}) =	0.57 ft
Length of Main Basin (L _{MAIN}) =	218.1 ft
Width of Main Basin (W _{MAIN}) =	111.7 ft
Area of Main Basin (A _{MAIN}) =	24,366 ft ²
Volume of Main Basin (V _{MAIN}) =	13,464 ft ³
Calculated Total Basin Volume (V _{total}) =	0.604 acre-feet

Stage - Storage Description	Stage (ft)	Optional Override Stage (ft)	Length (ft)	Width (ft)	Area (ft ²)	Optional Override Area (ft ²)	Area (acre)	Volume (ft ³)	Volume (ac-ft)
Top of Micropool	0.00		7.2	7.2	51		0.001		
ISV	0.33		7.2	7.2	51		0.001	17	0.000
	0.40		7.2	7.2	51		0.001	20	0.000
	0.50		7.2	7.2	51		0.001	26	0.001
	0.60		7.2	7.2	51		0.001	31	0.001
	0.70		7.2	7.2	51		0.001	36	0.001
	0.80		7.2	7.2	51		0.001	41	0.001
	0.90		16.2	11.5	187		0.004	50	0.001
	1.00		29.1	17.8	517		0.012	84	0.002
	1.10		42.0	24.0	1,009		0.023	159	0.004
	1.20		54.9	30.3	1,662		0.038	291	0.007
	1.30		67.8	36.5	2,476		0.057	497	0.011
	1.40		80.7	42.8	3,452		0.079	792	0.018
	1.50		93.6	49.0	4,588		0.105	1,193	0.027
	1.60		106.5	55.3	5,886		0.135	1,715	0.039
	1.70		119.4	61.5	7,346		0.169	2,375	0.055
	1.80		132.3	67.8	8,966		0.206	3,189	0.073
	1.90		145.2	74.0	10,748		0.247	4,174	0.096
	2.00		158.1	80.3	12,691		0.291	5,344	0.123
Zone 1 (WQCV)	2.03		162.0	82.2	13,305		0.305	5,734	0.132
	2.10		171.0	86.5	14,795		0.340	6,717	0.154
	2.20		183.9	92.8	17,061		0.392	8,309	0.191
	2.30		196.8	99.0	19,487		0.447	10,135	0.233
	2.40		209.7	105.3	22,075		0.507	12,212	0.280
Floor	2.43		213.6	107.2	22,883		0.525	12,886	0.296
	2.50		214.1	107.7	23,063		0.529	14,494	0.333
Zone 2 (EURV)	2.60		214.9	108.5	23,321		0.535	16,813	0.386
	2.70		215.7	109.3	23,580		0.541	19,158	0.440
	2.80		216.5	110.1	23,841		0.547	21,529	0.494
	2.90		217.3	110.9	24,103		0.553	23,927	0.549
Zone 3 (100-year)	3.00		218.1	111.7	24,366		0.559	26,350	0.605
	3.10		218.9	112.5	24,631		0.565	28,800	0.661
	3.20		219.7	113.3	24,897		0.572	31,276	0.718
	3.30		220.5	114.1	25,164		0.578	33,779	0.775
	3.40		221.3	114.9	25,432		0.584	36,309	0.834
	3.50		222.1	115.7	25,702		0.590	38,866	0.892
	3.60		222.9	116.5	25,973		0.596	41,449	0.952
	3.70		223.7	117.3	26,245		0.602	44,060	1.011
	3.80		224.5	118.1	26,518		0.609	46,698	1.072
	3.90		225.3	118.9	26,793		0.615	49,364	1.133
	4.00		226.1	119.7	27,069		0.621	52,057	1.195
	4.10		226.9	120.5	27,346		0.628	54,778	1.258
	4.20		227.7	121.3	27,625		0.634	57,526	1.321
	4.30		228.5	122.1	27,905		0.641	60,303	1.384
	4.40		229.3	122.9	28,186		0.647	63,107	1.449
	4.50		230.1	123.7	28,468		0.654	65,940	1.514
	4.60		230.9	124.5	28,752		0.660	68,801	1.579
	4.70		231.7	125.3	29,037		0.667	71,690	1.646
	4.80		232.5	126.1	29,323		0.673	74,608	1.713
	4.90		233.3	126.9	29,611		0.680	77,555	1.780
	5.00		234.1	127.7	29,900		0.686	80,530	1.849
	5.10		234.9	128.5	30,190		0.693	83,535	1.918
	5.20		235.7	129.3	30,481		0.700	86,568	1.987
	5.30		236.5	130.1	30,774		0.706	89,631	2.058
	5.40		237.3	130.9	31,068		0.713	92,723	2.129
	5.50		238.1	131.7	31,363		0.720	95,845	2.200
	5.60		238.9	132.5	31,659		0.727	98,996	2.273
	5.70		239.7	133.3	31,957		0.734	102,177	2.346
	5.80		240.5	134.1	32,256		0.741	105,387	2.419
	5.90		241.3	134.9	32,557		0.747	108,628	2.494
	6.00		242.1	135.7	32,858		0.754	111,899	2.569
	6.10		242.9	136.5	33,161		0.761	115,200	2.645
	6.20		243.7	137.3	33,465		0.768	118,531	2.721
	6.30		244.5	138.1	33,771		0.775	121,893	2.798
	6.40		245.3	138.9	34,077		0.782	125,285	2.876
	6.50		246.1	139.7	34,385		0.789	128,708	2.955
	6.60		246.9	140.5	34,695		0.796	132,162	3.034
	6.70		247.7	141.3	35,005		0.804	135,647	3.114
	6.80		248.5	142.1	35,317		0.811	139,163	3.195
	6.90		249.3	142.9	35,630		0.818	142,711	3.276
	7.00		250.1	143.7	35,945		0.825	146,289	3.358
	7.10		250.9	144.5	36,260		0.832	149,900	3.441
	7.20		251.7	145.3	36,577		0.840	153,542	3.525
	7.30		252.5	146.1	36,896		0.847	157,215	3.609
	7.40		253.3	146.9	37,215		0.854	160,921	3.694
	7.50		254.1	147.7	37,536		0.862	164,658	3.780
	7.60		254.9	148.5	37,858		0.869	168,428	3.867
	7.70		255.7	149.3	38,182		0.877	172,230	3.954
	7.80		256.5	150.1	38,506		0.884	176,064	4.042
	7.90		257.3	150.9	38,832		0.891	179,929	4.131
	8.00		258.1	151.7	39,159		0.899	183,831	4.220
	8.10		258.9	152.5	39,488		0.907	187,763	4.310
	8.20		259.7	153.3	39,818		0.914	191,729	4.401
	8.30		260.5	154.1	40,149		0.922	195,727	4.493
	8.40		261.3	154.9	40,481		0.929	199,758	4.586
	8.50		262.1	155.7	40,815		0.937	203,823	4.679
	8.60		262.9	156.5	41,150		0.945	207,921	4.773
	8.70		263.7	157.3	41,486		0.952	212,053	4.868
	8.80		264.5	158.1	41,823		0.960	216,218	4.964
	8.90		265.3	158.9	42,162		0.968	220,418	5.060
	9.00		266.1	159.7	42,502		0.976	224,651	5.157
	9.10		266.9	160.5	42,843		0.984	228,918	5.255
	9.20		267.7	161.3	43,186		0.991	233,220	5.354
	9.30		268.5	162.1	43,530		0.999	237,555	5.454
	9.40		269.3	162.9	43,875		1.007	241,926	5.554
	9.50		270.1	163.7	44,221		1.015	246,330	5.655
	9.60		270.9	164.5	44,569		1.023	250,770	5.757
	9.70		271.7	165.3	44,918		1.031	255,244	5.860
	9.80		272.5	166.1	45,268		1.039	259,754	5.963

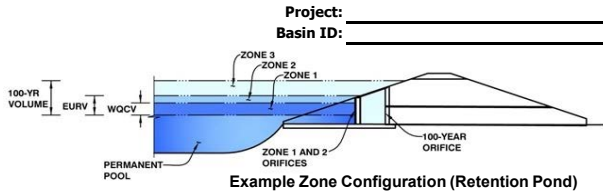
DETENTION BASIN STAGE-STORAGE TABLE BUILDER

MHFD-Detention, Version 4.05 (January 2022)



DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD- Detention, Version 4.05 (January 2022)



	Estimated Stage (ft)	Estimated Volume (ac-ft)	Outlet Type
Zone 1 (WQCV)	2.03	0.129	Orifice Plate
Zone 2 (EURV)	2.60	0.252	Circular Orifice
Zone 3 (100-year)	3.00	0.224	Weir (No Pipe)
Total (all zones)		0.605	

User Input: Orifice at Underdrain Outlet (typically used to drain WQCV in a Filtration BMP)

Underdrain Orifice Invert Depth =	N/A	ft (distance below the filtration media surface)
Underdrain Orifice Diameter =	N/A	inches

Underdrain Orifice Area =	N/A	ft ²
Underdrain Orifice Centroid =	N/A	feet

User Input: Orifice Plate with one or more orifices or Elliptical Slot Weir (typically used to drain WQCV and/or EURV in a sedimentation BMP)

Centroid of Lowest Orifice =	0.00	ft (relative to basin bottom at Stage = 0 ft)
Depth at top of Zone using Orifice Plate =	3.22	ft (relative to basin bottom at Stage = 0 ft)
Orifice Plate: Orifice Vertical Spacing =	12.90	inches
Orifice Plate: Orifice Area per Row =	0.58	sq. inches (diameter = 7/8 inch)

WQ Orifice Area per Row =	4.028E-03	ft ²
Elliptical Half-Width =	N/A	feet
Elliptical Slot Centroid =	N/A	feet
Elliptical Slot Area =	N/A	ft ²

User Input: Stage and Total Area of Each Orifice Row (numbered from lowest to highest)

	Row 1 (required)	Row 2 (optional)	Row 3 (optional)	Row 4 (optional)	Row 5 (optional)	Row 6 (optional)	Row 7 (optional)	Row 8 (optional)
Stage of Orifice Centroid (ft)	0.00	1.07	2.15					
Orifice Area (sq. inches)	0.58	0.58	0.58					

	Row 9 (optional)	Row 10 (optional)	Row 11 (optional)	Row 12 (optional)	Row 13 (optional)	Row 14 (optional)	Row 15 (optional)	Row 16 (optional)
Stage of Orifice Centroid (ft)								
Orifice Area (sq. inches)								

User Input: Vertical Orifice (Circular or Rectangular)

	Zone 2 Circular	Not Selected	
Invert of Vertical Orifice =	2.03	N/A	ft (relative to basin bottom at Stage = 0 ft)
Depth at top of Zone using Vertical Orifice =	2.60	N/A	ft (relative to basin bottom at Stage = 0 ft)
Vertical Orifice Diameter =	15.45	N/A	inches

	Zone 2 Circular	Not Selected
Vertical Orifice Area =	1.30	N/A
Vertical Orifice Centroid =	0.64	N/A

User Input: Overflow Weir (Dropbox with Flat or Sloped Gate and Outlet Pipe OR Rectangular/Trapezoidal Weir and No Outlet Pipe)

	Zone 3 Weir	Not Selected	
Overflow Weir Front Edge Height, Ho =	2.60	N/A	ft (relative to basin bottom at Stage = 0 ft)
Overflow Weir Bottom Length =	5.60	N/A	feet
Overflow Weir Side Slopes =	0.00	N/A	H:V
Horiz. Length of Weir Sides =	N/A	N/A	feet
Overflow Gate Type =	N/A	N/A	
Debris Clogging % =	N/A	N/A	%

	Zone 3 Weir	Not Selected
Height of Gate Upper Edge, H _t =	N/A	N/A
Overflow Weir Slope Length =	N/A	N/A
Gate Open Area / 100-yr Orifice Area =	N/A	N/A
Overflow Gate Open Area w/o Debris =	N/A	N/A
Overflow Gate Open Area w/ Debris =	N/A	N/A

User Input: Outlet Pipe w/ Flow Restriction Plate (Circular Orifice, Restrictor Plate, or Rectangular Orifice)

	Not Selected	Not Selected	
Depth to Invert of Outlet Pipe =	N/A	N/A	ft (distance below basin bottom at Stage = 0 ft)
Circular Orifice Diameter =	N/A	N/A	inches

	Not Selected	Not Selected
Outlet Orifice Area =	N/A	N/A
Outlet Orifice Centroid =	N/A	N/A
Half-Central Angle of Restrictor Plate on Pipe =	N/A	N/A

User Input: Emergency Spillway (Rectangular or Trapezoidal)

Spillway Invert Stage =		ft (relative to basin bottom at Stage = 0 ft)
Spillway Crest Length =		feet
Spillway End Slopes =		H:V
Freeboard above Max Water Surface =		feet
Spillway position relative to Overflow Weir =		

Spillway Design Flow Depth =		feet
Stage at Top of Freeboard =		feet
Basin Area at Top of Freeboard =		acres
Basin Volume at Top of Freeboard =		acre-ft

Routed Hydrograph Results

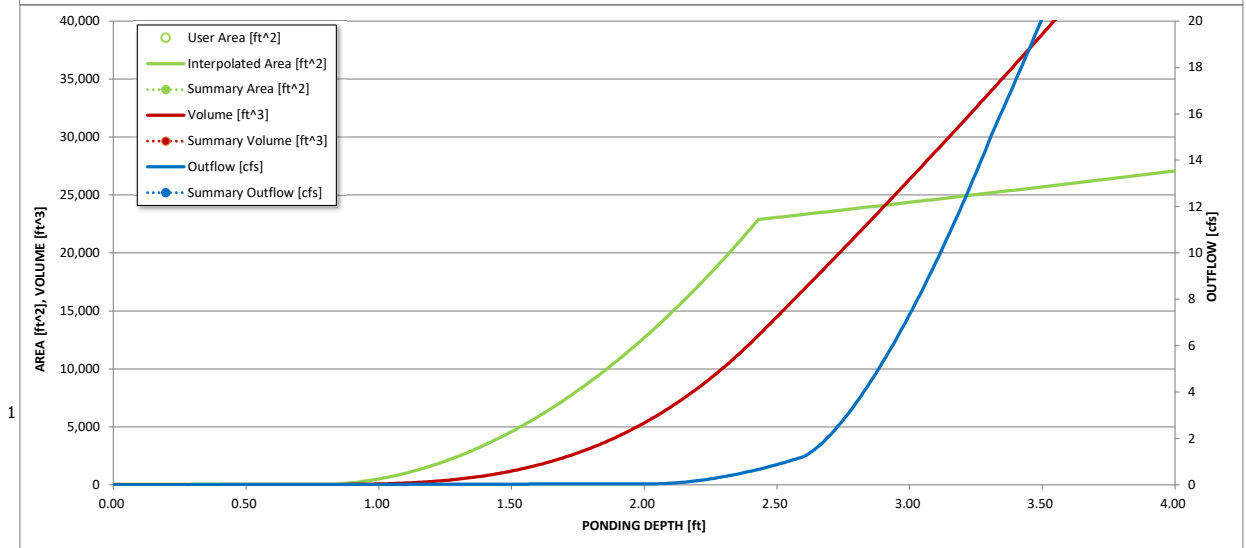
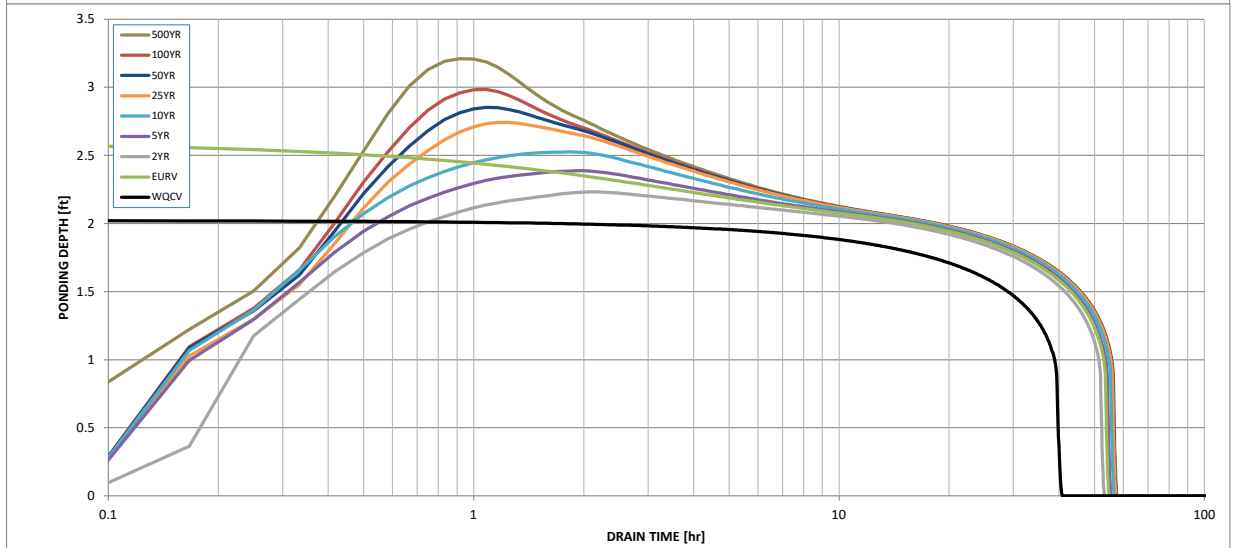
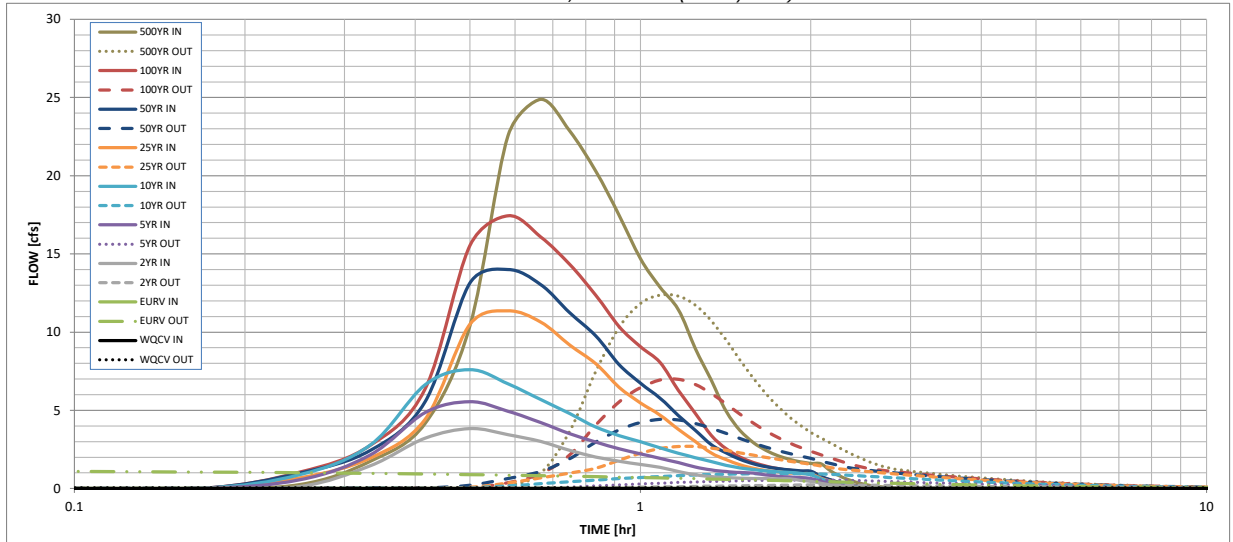
The user can override the default CUHP hydrographs and runoff volumes by entering new values in the Inflow Hydrographs table (Columns W through X)

	WQCV	EURV	2 Year	5 Year	10 Year	25 Year	50 Year	100 Year
Design Storm Return Period								
One-Hour Rainfall Depth (in)	N/A	N/A	0.78	1.05	1.30	1.66	1.95	2.27
CUHP Runoff Volume (acre-ft)	0.129	0.381	0.226	0.330	0.447	0.649	0.799	0.982
Inflow Hydrograph Volume (acre-ft)	N/A	N/A	0.226	0.330	0.447	0.649	0.799	0.982
CUHP Predevelopment Peak Q (cfs)	N/A	N/A	0.1	0.4	1.5	4.1	5.7	7.7
OPTIONAL Override Predevelopment Peak Q (cfs)	N/A	N/A						
Predevelopment Unit Peak Flow, q (cfs/acre)	N/A	N/A	0.01	0.06	0.24	0.65	0.90	1.22
Peak Inflow Q (cfs)	N/A	N/A	3.8	5.8	7.6	11.4	14.0	17.4
Peak Outflow Q (cfs)	0.0	1.2	0.2	0.6	1.0	2.7	4.4	7.0
Ratio Peak Outflow to Predevelopment Q	N/A	N/A	N/A	1.4	0.6	0.7	0.8	0.9
Structure Controlling Flow	Vertical Orifice 1	Overflow Weir 1	Vertical Orifice 1	Vertical Orifice 1	Vertical Orifice 1	Overflow Weir 1	Overflow Weir 1	Overflow Weir 1
Max Velocity through Gate 1 (fps)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Max Velocity through Gate 2 (fps)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Time to Drain 97% of Inflow Volume (hours)	38	49	49	50	50	48	47	45
Time to Drain 99% of Inflow Volume (hours)	39	52	51	53	54	53	53	52
Maximum Ponding Depth (ft)	2.03	2.60	2.23	2.39	2.52	2.74	2.85	2.98
Area at Maximum Ponding Depth (acres)	0.31	0.54	0.41	0.49	0.53	0.54	0.55	0.56
Maximum Volume Stored (acre-ft)	0.132	0.386	0.203	0.270	0.343	0.462	0.522	0.594

We can play with the orifice holes a bit to try to get this number closer to 1, even if that results in the 10, 25, or 50-year increase a bit. Impact at the 5 year is much more noticeable than larger events.

DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD-Detention, Version 4.05 (January 2022)



S-A-V-D Chart Axis Override	X-axis	Left Y-Axis	Right Y-Axis
minimum bound			
maximum bound			

DETENTION BASIN OUTLET STRUCTURE DESIGN

Outflow Hydrograph Workbook Filename: _____

Inflow Hydrographs

The user can override the calculated inflow hydrographs from this workbook with inflow hydrographs developed in a separate program.

Time Interval	SOURCE	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP
	TIME	WQCV [cfs]	EURV [cfs]	2 Year [cfs]	5 Year [cfs]	10 Year [cfs]	25 Year [cfs]	50 Year [cfs]	100 Year [cfs]	500 Year [cfs]
5.00 min	0:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	0:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	0:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.25
	0:15:00	0.00	0.00	0.14	0.56	0.88	0.68	1.00	1.04	1.74
	0:20:00	0.00	0.00	1.45	2.16	2.78	1.96	2.45	2.77	4.16
	0:25:00	0.00	0.00	3.22	4.86	6.63	4.43	5.56	6.37	10.41
	0:30:00	0.00	0.00	3.83	5.55	7.60	10.50	13.14	15.54	22.56
	0:35:00	0.00	0.00	3.44	4.95	6.69	11.36	14.01	17.45	24.88
	0:40:00	0.00	0.00	3.00	4.22	5.69	10.65	13.05	16.09	22.86
	0:45:00	0.00	0.00	2.44	3.51	4.78	9.17	11.23	14.33	20.30
	0:50:00	0.00	0.00	2.02	2.97	3.94	7.99	9.77	12.36	17.48
	0:55:00	0.00	0.00	1.74	2.54	3.39	6.47	7.93	10.36	14.70
	1:00:00	0.00	0.00	1.54	2.22	2.99	5.47	6.73	9.06	12.87
	1:05:00	0.00	0.00	1.35	1.93	2.61	4.70	5.79	8.06	11.45
	1:10:00	0.00	0.00	1.08	1.66	2.26	3.79	4.68	6.28	8.97
	1:15:00	0.00	0.00	0.88	1.37	1.98	3.01	3.73	4.82	6.93
	1:20:00	0.00	0.00	0.76	1.19	1.73	2.27	2.81	3.41	4.94
	1:25:00	0.00	0.00	0.70	1.09	1.49	1.85	2.29	2.54	3.71
	1:30:00	0.00	0.00	0.66	1.02	1.33	1.51	1.86	2.01	2.94
	1:35:00	0.00	0.00	0.65	0.98	1.21	1.30	1.59	1.67	2.44
	1:40:00	0.00	0.00	0.63	0.87	1.13	1.15	1.39	1.43	2.10
	1:45:00	0.00	0.00	0.62	0.79	1.08	1.06	1.28	1.28	1.87
	1:50:00	0.00	0.00	0.62	0.74	1.04	1.00	1.19	1.16	1.71
	1:55:00	0.00	0.00	0.53	0.69	0.98	0.96	1.14	1.10	1.61
	2:00:00	0.00	0.00	0.46	0.64	0.88	0.93	1.10	1.08	1.58
	2:05:00	0.00	0.00	0.33	0.46	0.62	0.66	0.78	0.77	1.12
	2:10:00	0.00	0.00	0.23	0.32	0.44	0.47	0.55	0.55	0.80
	2:15:00	0.00	0.00	0.16	0.22	0.30	0.33	0.38	0.38	0.56
	2:20:00	0.00	0.00	0.11	0.15	0.21	0.22	0.26	0.26	0.38
	2:25:00	0.00	0.00	0.07	0.10	0.14	0.15	0.17	0.17	0.25
	2:30:00	0.00	0.00	0.05	0.06	0.09	0.10	0.12	0.11	0.17
	2:35:00	0.00	0.00	0.02	0.04	0.05	0.06	0.07	0.07	0.10
	2:40:00	0.00	0.00	0.01	0.02	0.02	0.03	0.03	0.03	0.05
	2:45:00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	0.01	0.02
	2:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	2:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:15:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:20:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:25:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:30:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:15:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:20:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:25:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:30:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:15:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:20:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:25:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:30:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	6:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Hydrograph Report

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

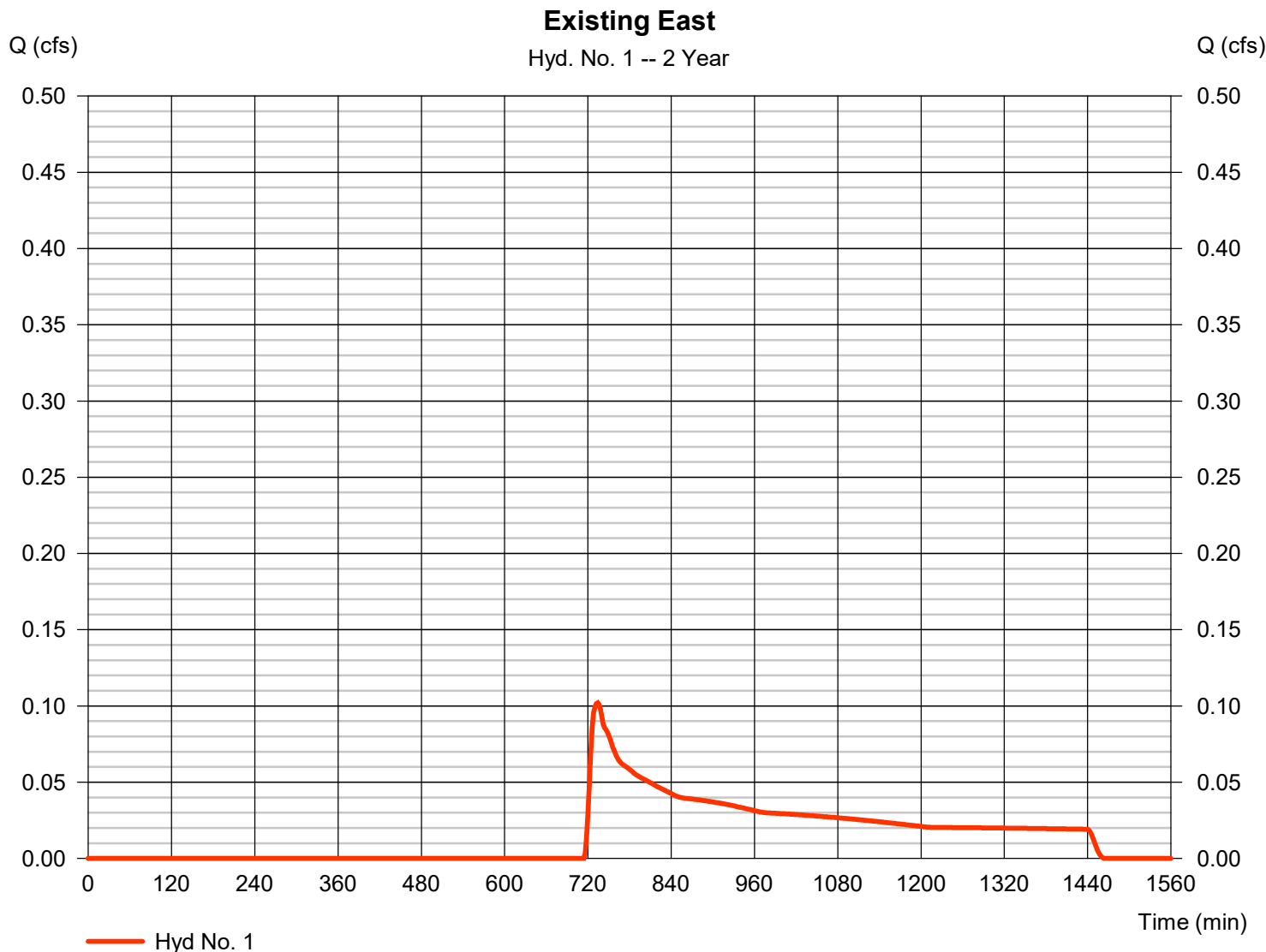
Tuesday, 04 / 19 / 2022

Hyd. No. 1

Existing East

Hydrograph type	= SCS Runoff	Peak discharge	= 0.102 cfs
Storm frequency	= 2 yrs	Time to peak	= 734 min
Time interval	= 2 min	Hyd. volume	= 1,399 cuft
Drainage area	= 3.980 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 16.10 min
Total precip.	= 1.86 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.940 x 65) + (0.040 x 98)] / 3.980



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 1

Existing East

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.240	0.011	0.011	
Flow length (ft)	= 121.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 1.86	0.00	0.00	
Land slope (%)	= 5.78	0.00	0.00	
Travel Time (min)	= 14.26	+ 0.00	+ 0.00	= 14.26
Shallow Concentrated Flow				
Flow length (ft)	= 280.00	0.00	0.00	
Watercourse slope (%)	= 2.50	0.00	0.00	
Surface description	= Unpaved	Paved	Paved	
Average velocity (ft/s)	=2.55	0.00	0.00	
Travel Time (min)	= 1.83	+ 0.00	+ 0.00	= 1.83
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	{{0}}0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				16.10 min

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

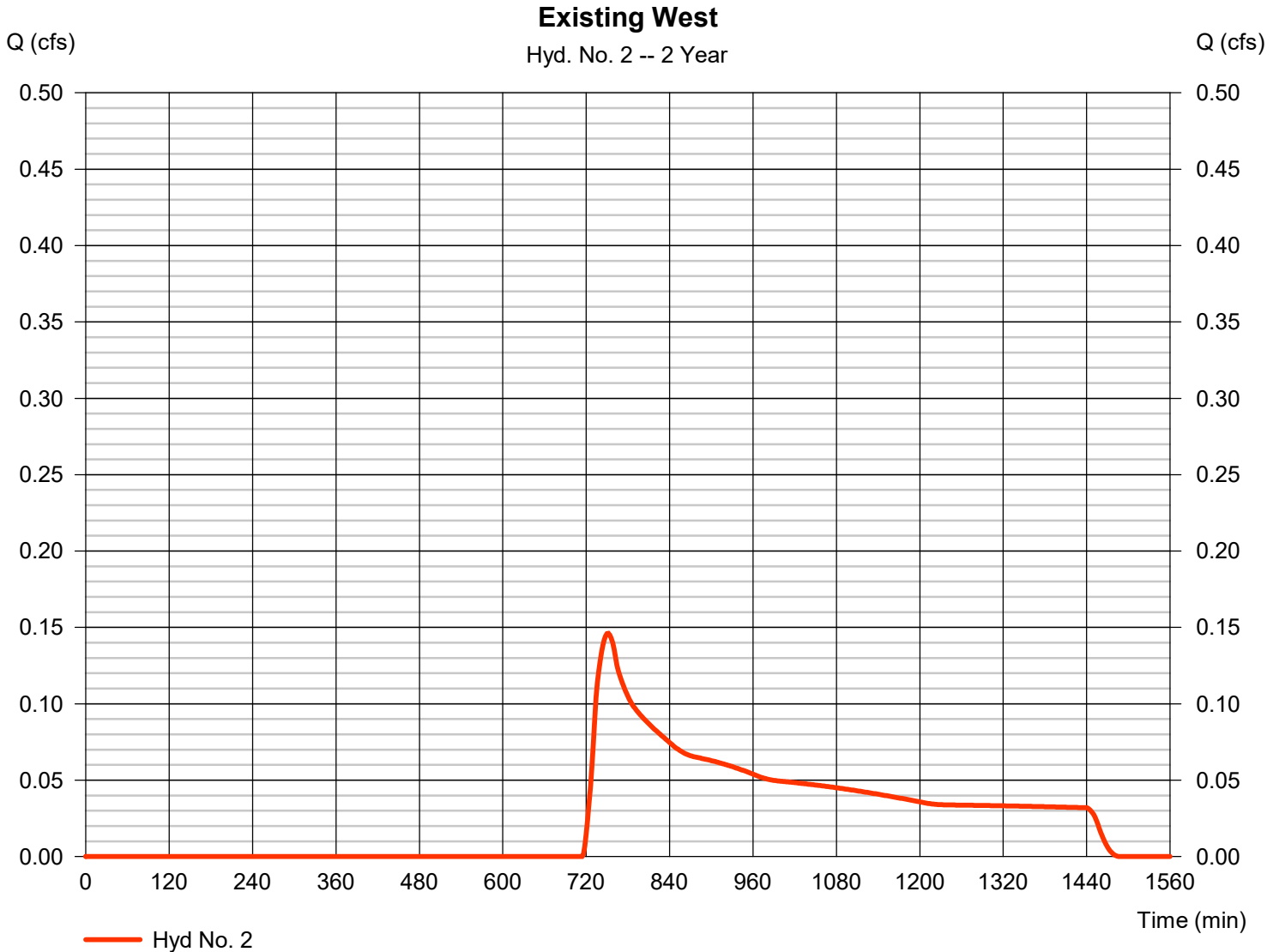
Tuesday, 04 / 19 / 2022

Hyd. No. 2

Existing West

Hydrograph type	= SCS Runoff	Peak discharge	= 0.146 cfs
Storm frequency	= 2 yrs	Time to peak	= 752 min
Time interval	= 2 min	Hyd. volume	= 2,330 cuft
Drainage area	= 6.460 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 27.30 min
Total precip.	= 1.86 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(6.457 x 65)] / 6.460



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 2

Existing West

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>
Sheet Flow							
Manning's n-value	= 0.240		0.011		0.011		
Flow length (ft)	= 150.0		0.0		0.0		
Two-year 24-hr precip. (in)	= 1.86		0.00		0.00		
Land slope (%)	= 2.50		0.00		0.00		
Travel Time (min)	= 23.68	+	0.00	+	0.00	=	23.68
Shallow Concentrated Flow							
Flow length (ft)	= 560.00		0.00		0.00		
Watercourse slope (%)	= 2.50		0.00		0.00		
Surface description	= Unpaved		Paved		Paved		
Average velocity (ft/s)	=2.55		0.00		0.00		
Travel Time (min)	= 3.66	+	0.00	+	0.00	=	3.66
Channel Flow							
X sectional flow area (sqft)	= 0.00		0.00		0.00		
Wetted perimeter (ft)	= 0.00		0.00		0.00		
Channel slope (%)	= 0.00		0.00		0.00		
Manning's n-value	= 0.015		0.015		0.015		
Velocity (ft/s)	=0.00		0.00		0.00		
Flow length (ft)	{{0}}0.0		0.0		0.0		
Travel Time (min)	= 0.00	+	0.00	+	0.00	=	0.00
Total Travel Time, Tc							27.30 min

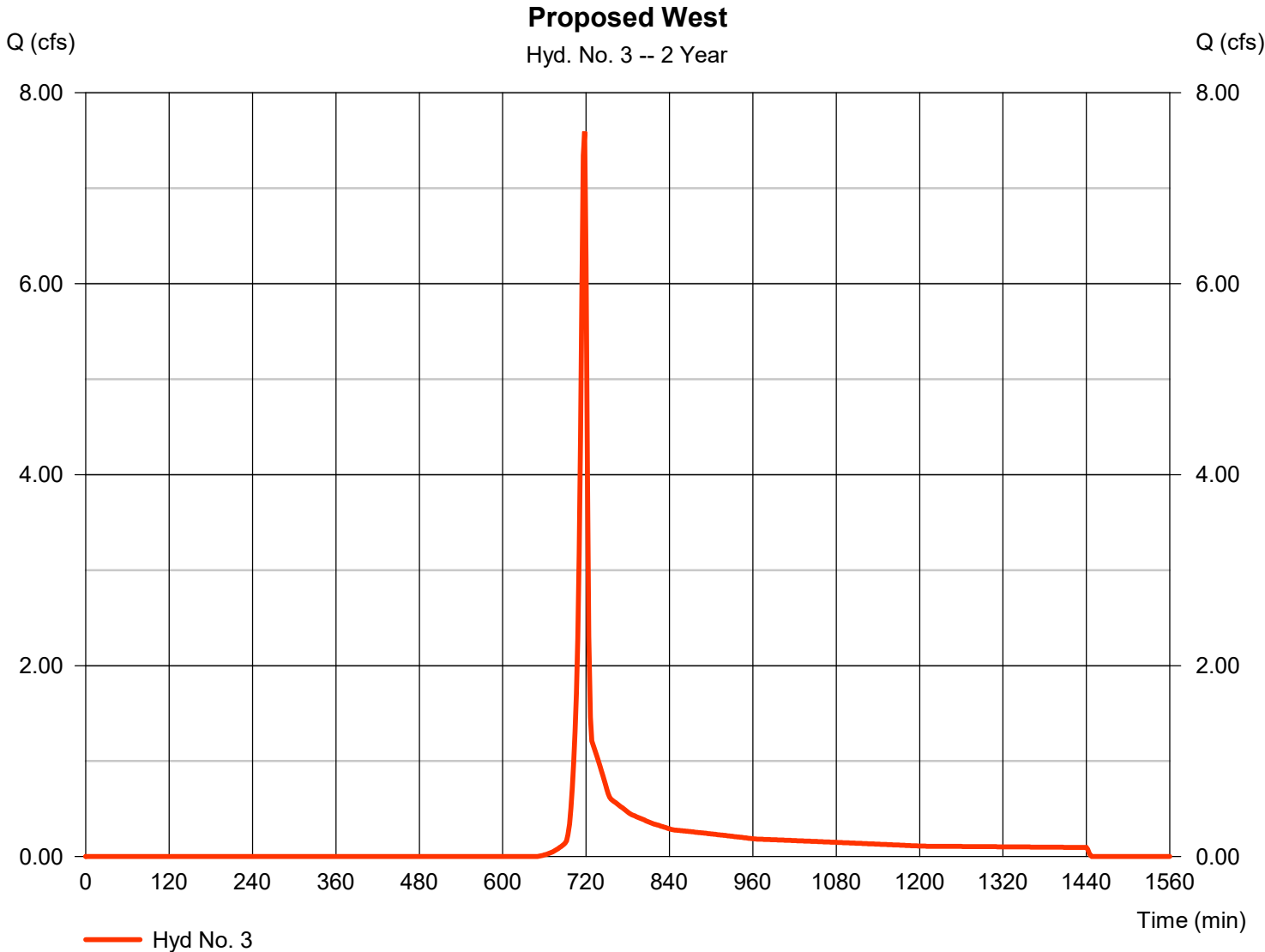
Hydrograph Report

Hyd. No. 3

Proposed West

Hydrograph type	= SCS Runoff	Peak discharge	= 7.594 cfs
Storm frequency	= 2 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 15,223 cuft
Drainage area	= 7.440 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 1.86 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.960 x 98) + (0.688 x 75) + (2.795 x 65)] / 7.440



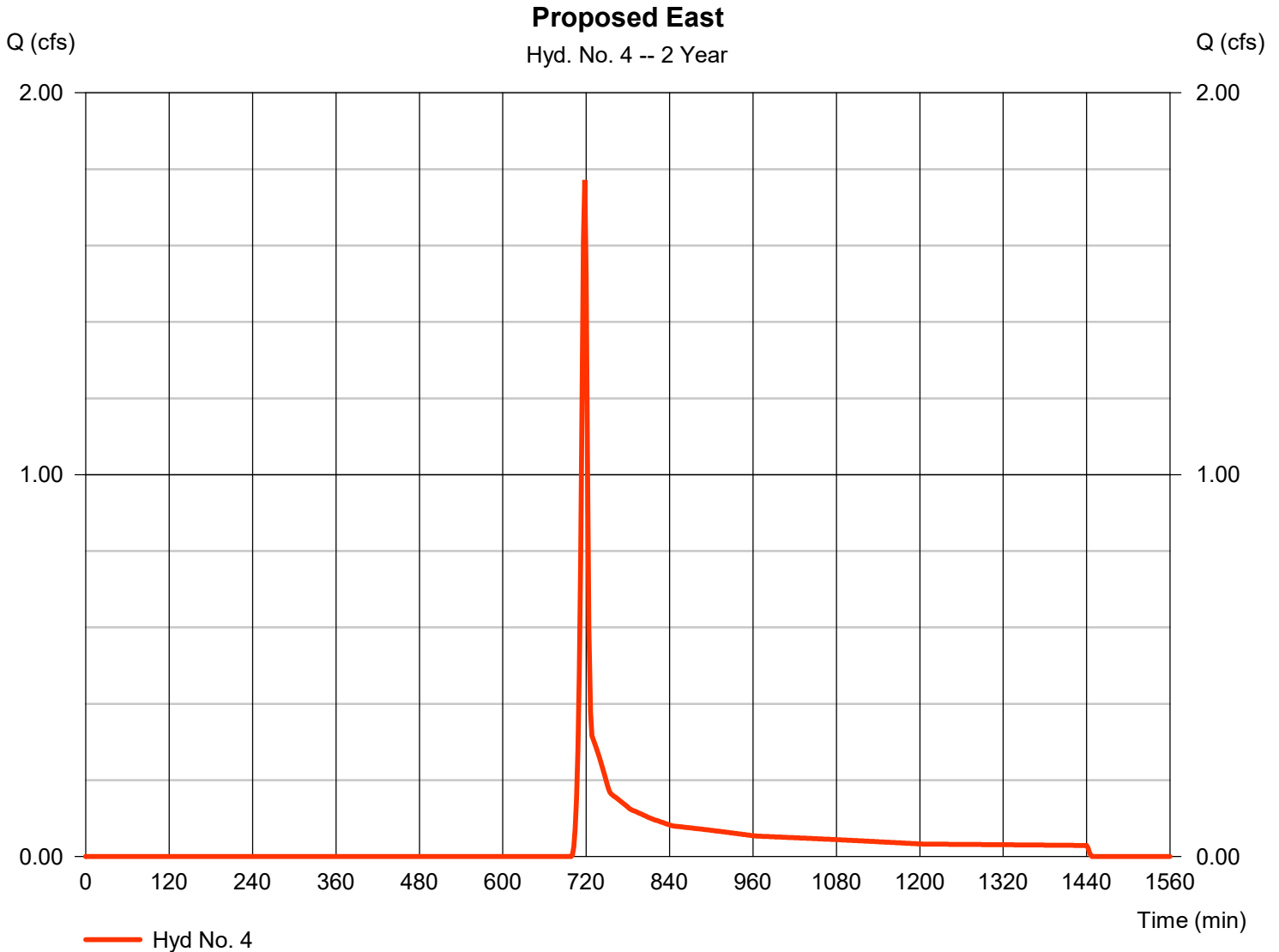
Hydrograph Report

Hyd. No. 4

Proposed East

Hydrograph type	= SCS Runoff	Peak discharge	= 1.772 cfs
Storm frequency	= 2 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 3,766 cuft
Drainage area	= 2.950 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 1.86 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(1.060 x 98) + (1.890 x 65)] / 2.950



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

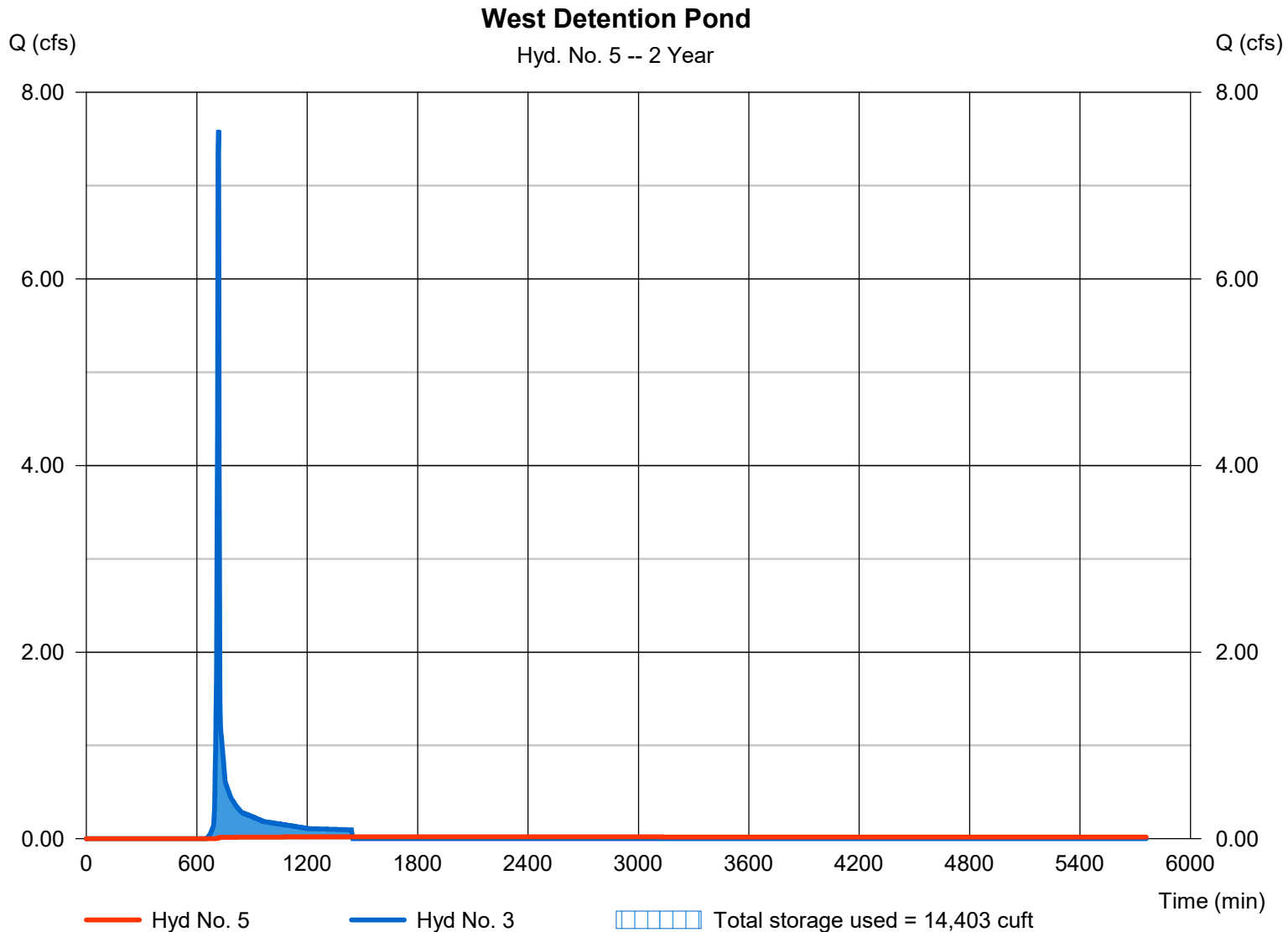
Tuesday, 04 / 19 / 2022

Hyd. No. 5

West Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.021 cfs
Storm frequency	= 2 yrs	Time to peak	= 1446 min
Time interval	= 2 min	Hyd. volume	= 5,671 cuft
Inflow hyd. No.	= 3 - Proposed West	Max. Elevation	= 5381.69 ft
Reservoir name	= West Detention Pond	Max. Storage	= 14,403 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

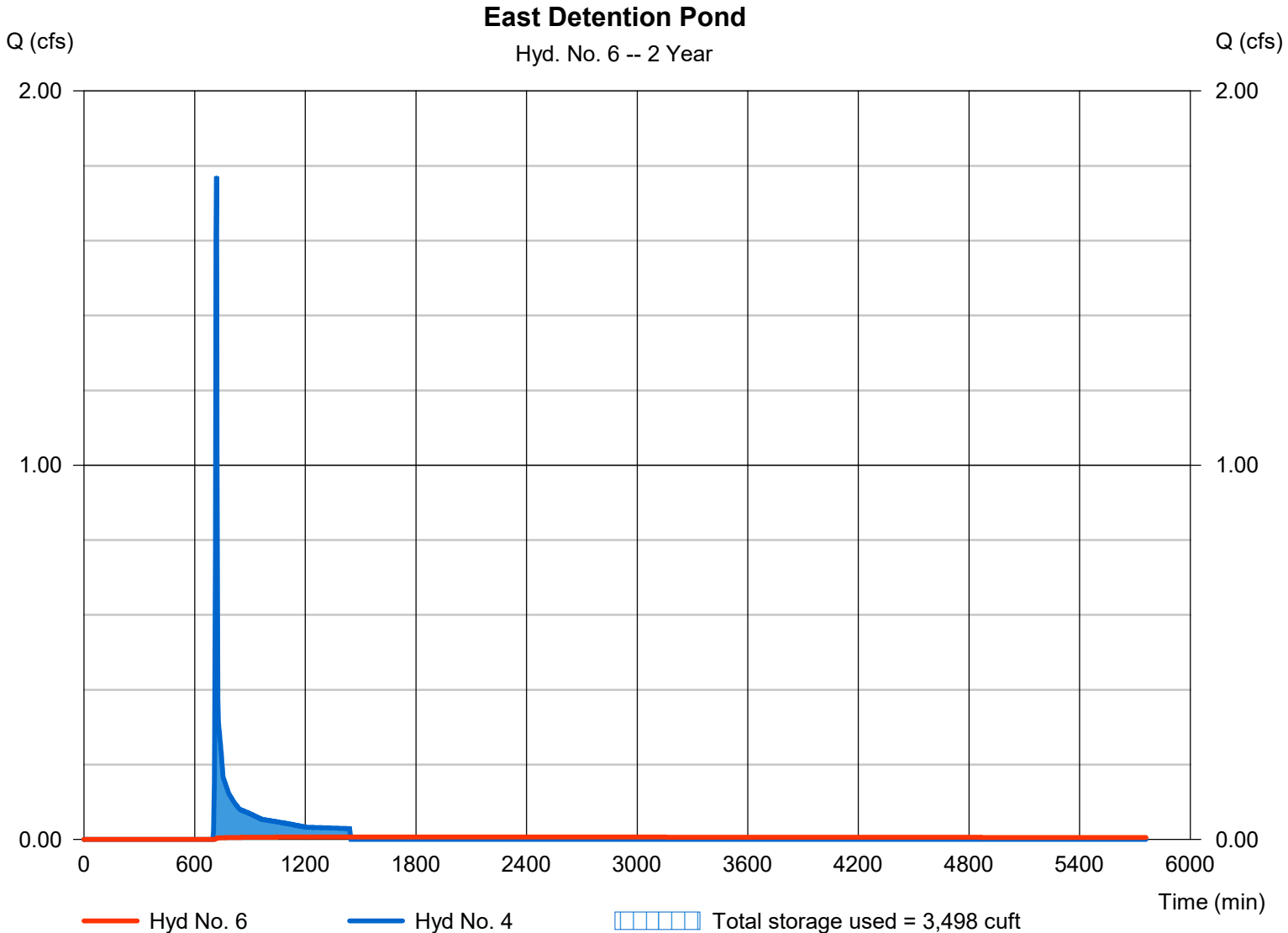
Tuesday, 04 / 19 / 2022

Hyd. No. 6

East Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.007 cfs
Storm frequency	= 2 yrs	Time to peak	= 1446 min
Time interval	= 2 min	Hyd. volume	= 1,830 cuft
Inflow hyd. No.	= 4 - Proposed East	Max. Elevation	= 5388.12 ft
Reservoir name	= East Detention Pond	Max. Storage	= 3,498 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

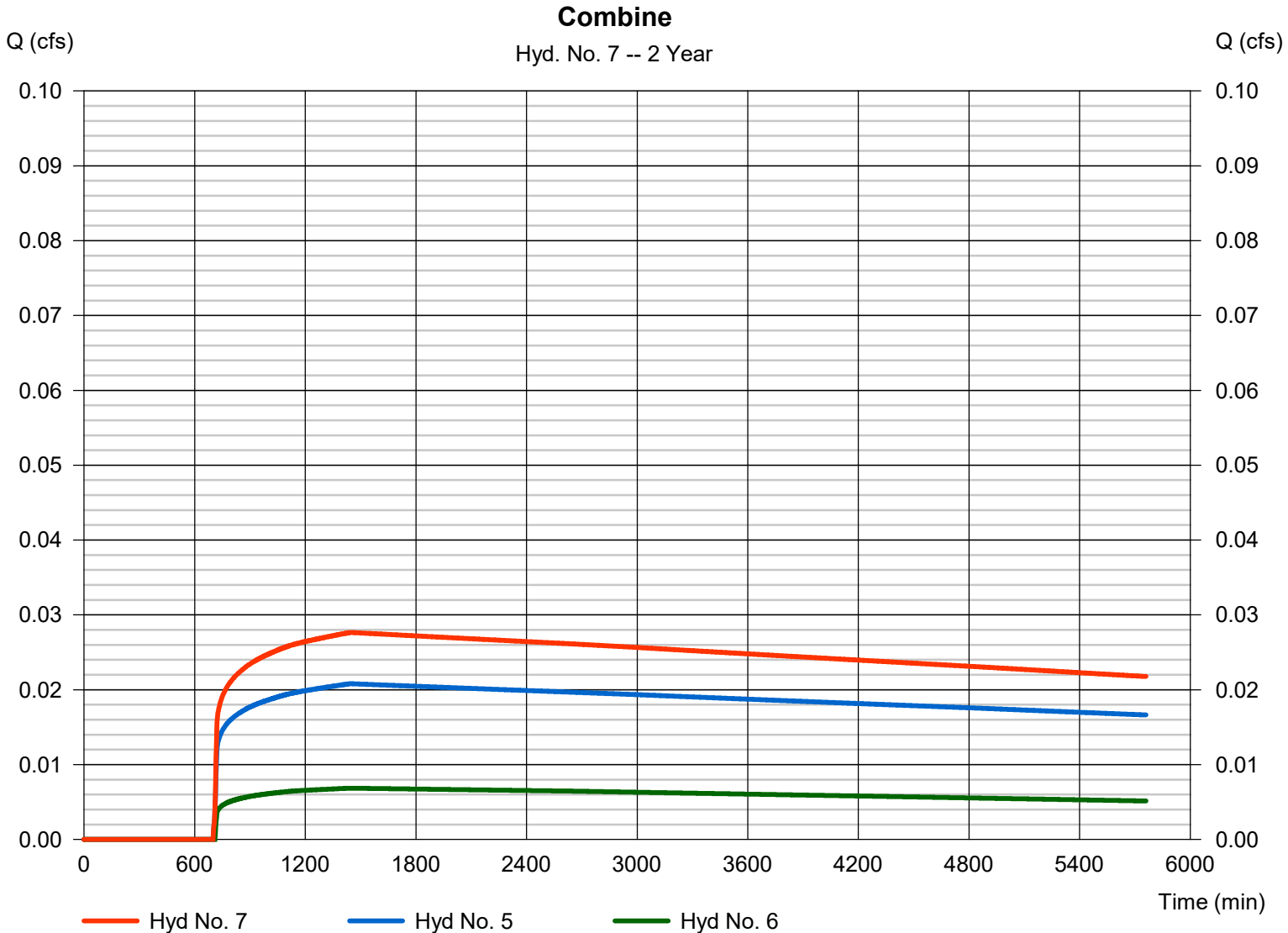
Tuesday, 04 / 19 / 2022

Hyd. No. 7

Combine

Hydrograph type = Combine
Storm frequency = 2 yrs
Time interval = 2 min
Inflow hyds. = 5, 6

Peak discharge = 0.028 cfs
Time to peak = 1446 min
Hyd. volume = 7,501 cuft
Contrib. drain. area = 0.000 ac



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

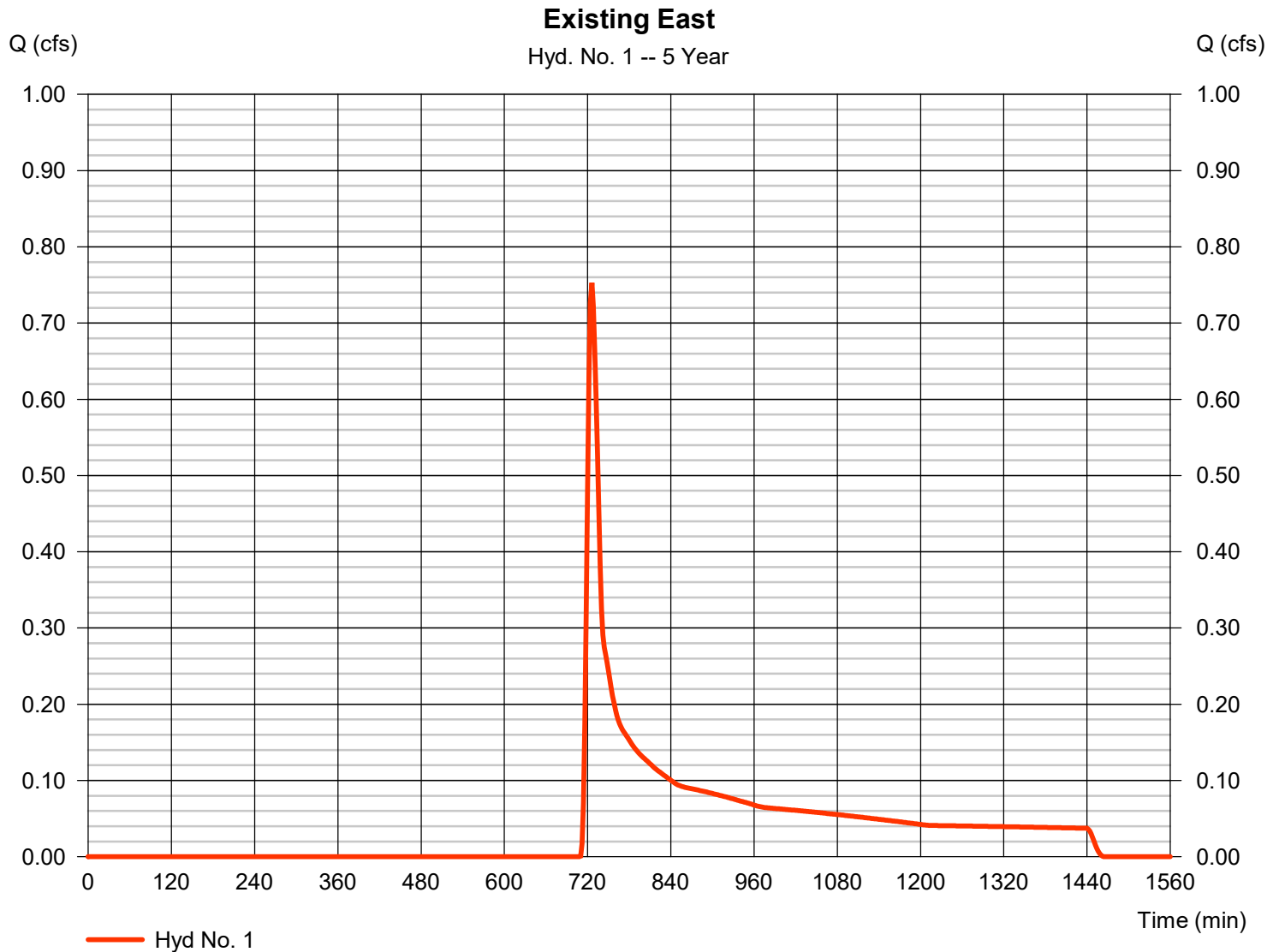
Tuesday, 04 / 19 / 2022

Hyd. No. 1

Existing East

Hydrograph type	= SCS Runoff	Peak discharge	= 0.753 cfs
Storm frequency	= 5 yrs	Time to peak	= 726 min
Time interval	= 2 min	Hyd. volume	= 3,722 cuft
Drainage area	= 3.980 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 16.10 min
Total precip.	= 2.41 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.940 x 65) + (0.040 x 98)] / 3.980



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

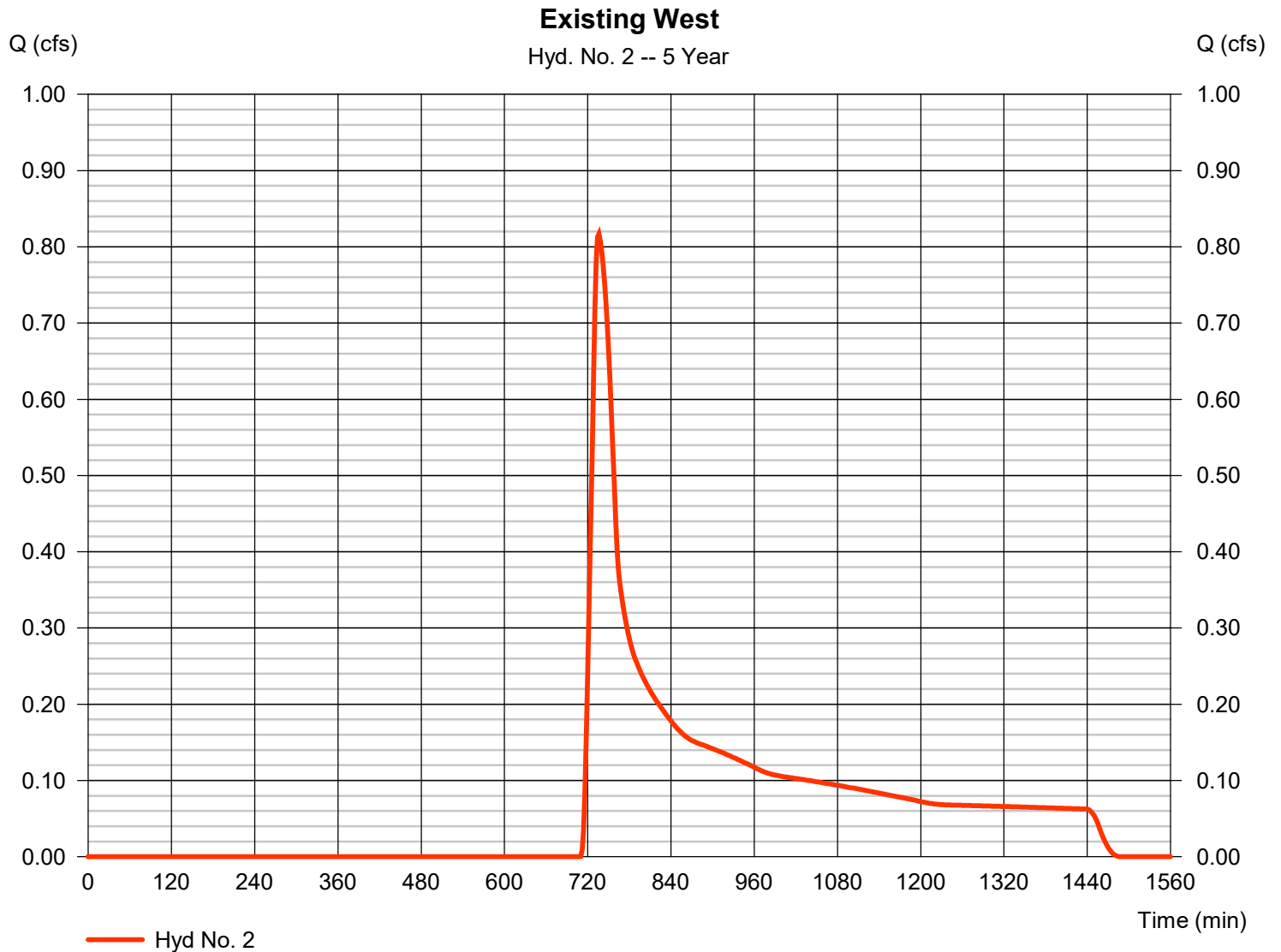
Tuesday, 04 / 19 / 2022

Hyd. No. 2

Existing West

Hydrograph type	= SCS Runoff	Peak discharge	= 0.817 cfs
Storm frequency	= 5 yrs	Time to peak	= 736 min
Time interval	= 2 min	Hyd. volume	= 6,197 cuft
Drainage area	= 6.460 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 27.30 min
Total precip.	= 2.41 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(6.457 x 65)] / 6.460



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

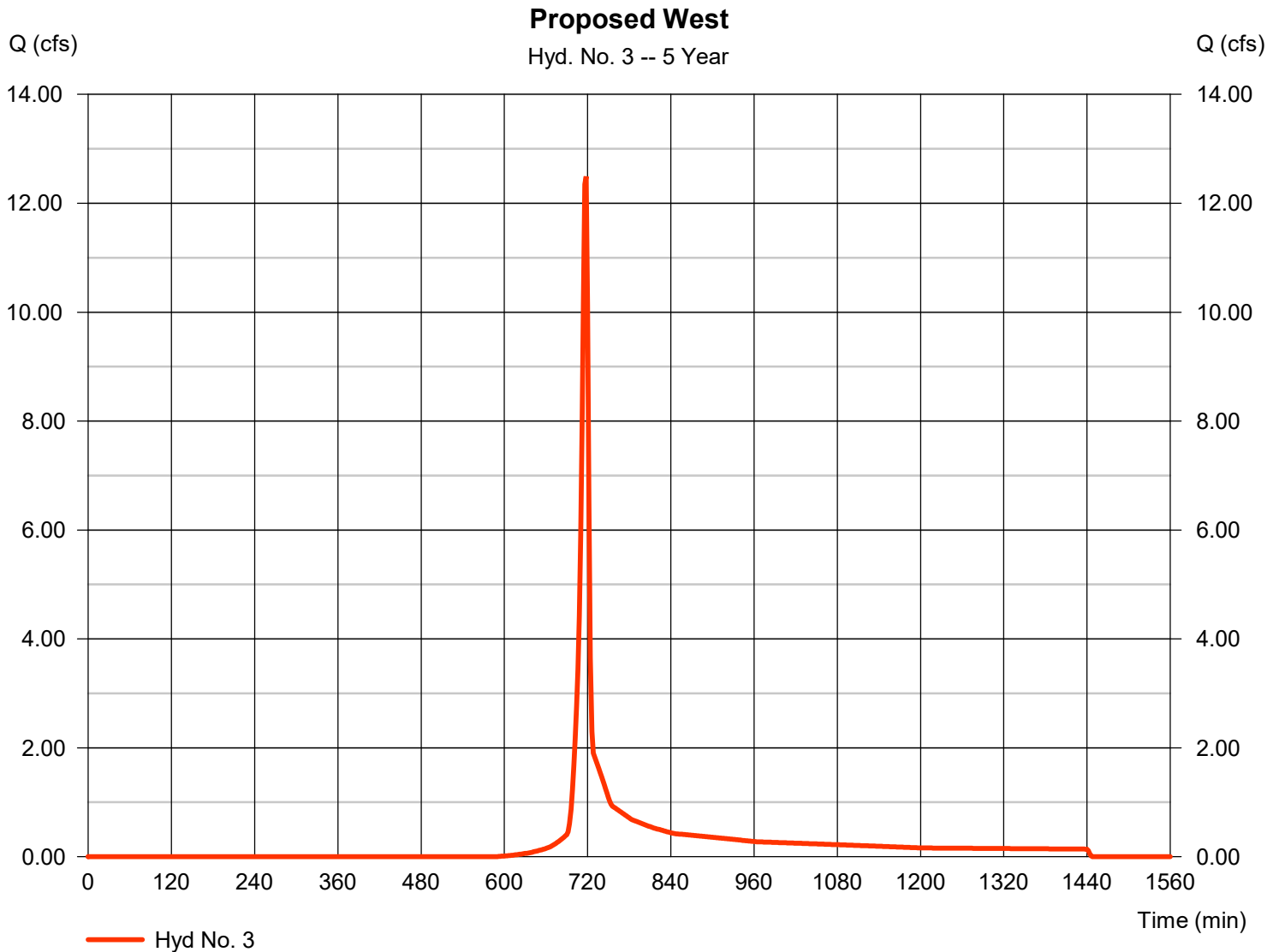
Tuesday, 04 / 19 / 2022

Hyd. No. 3

Proposed West

Hydrograph type	= SCS Runoff	Peak discharge	= 12.49 cfs
Storm frequency	= 5 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 25,025 cuft
Drainage area	= 7.440 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 2.41 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.960 x 98) + (0.688 x 75) + (2.795 x 65)] / 7.440



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

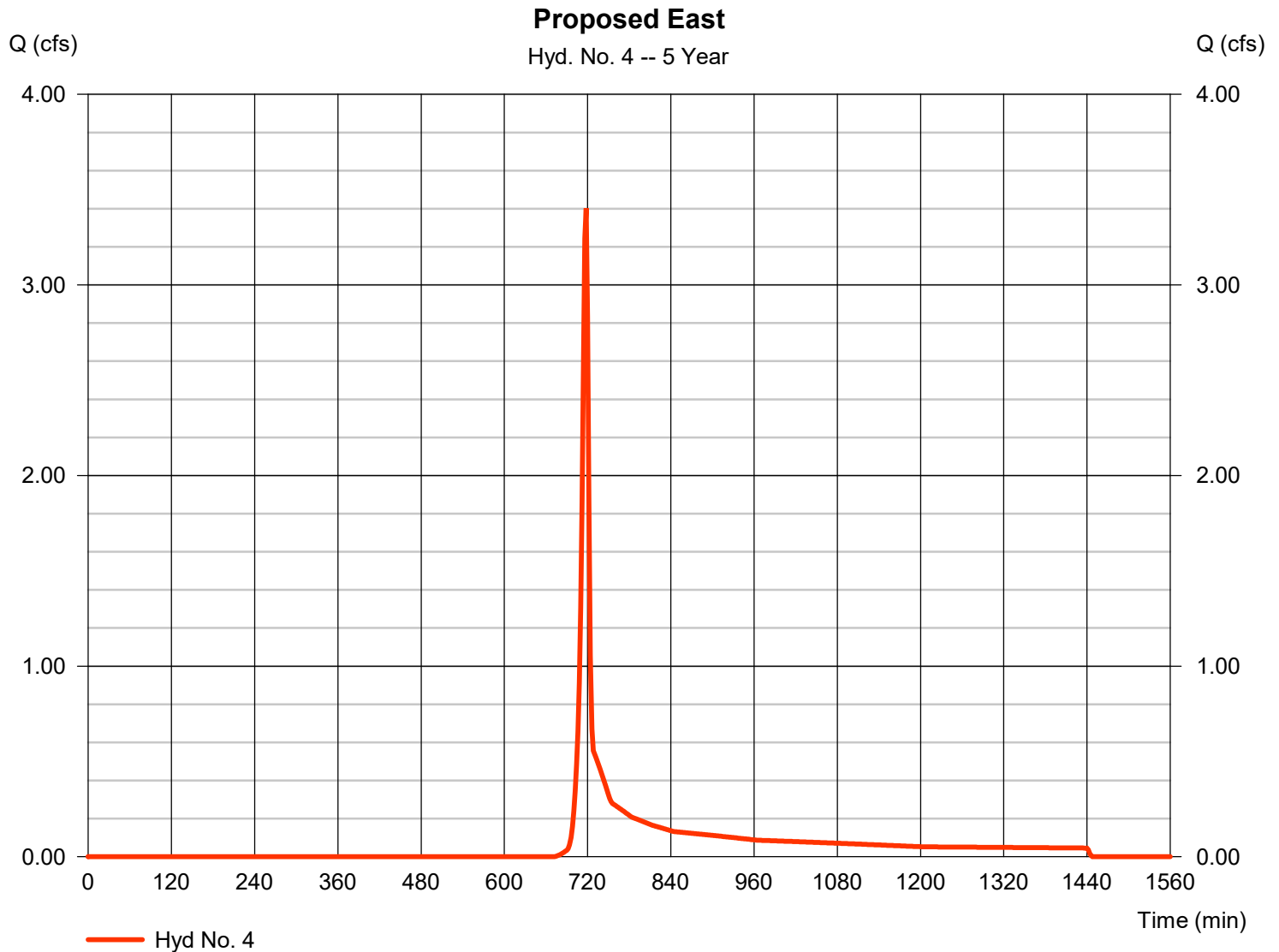
Tuesday, 04 / 19 / 2022

Hyd. No. 4

Proposed East

Hydrograph type	= SCS Runoff	Peak discharge	= 3.402 cfs
Storm frequency	= 5 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 6,872 cuft
Drainage area	= 2.950 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 2.41 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(1.060 x 98) + (1.890 x 65)] / 2.950



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

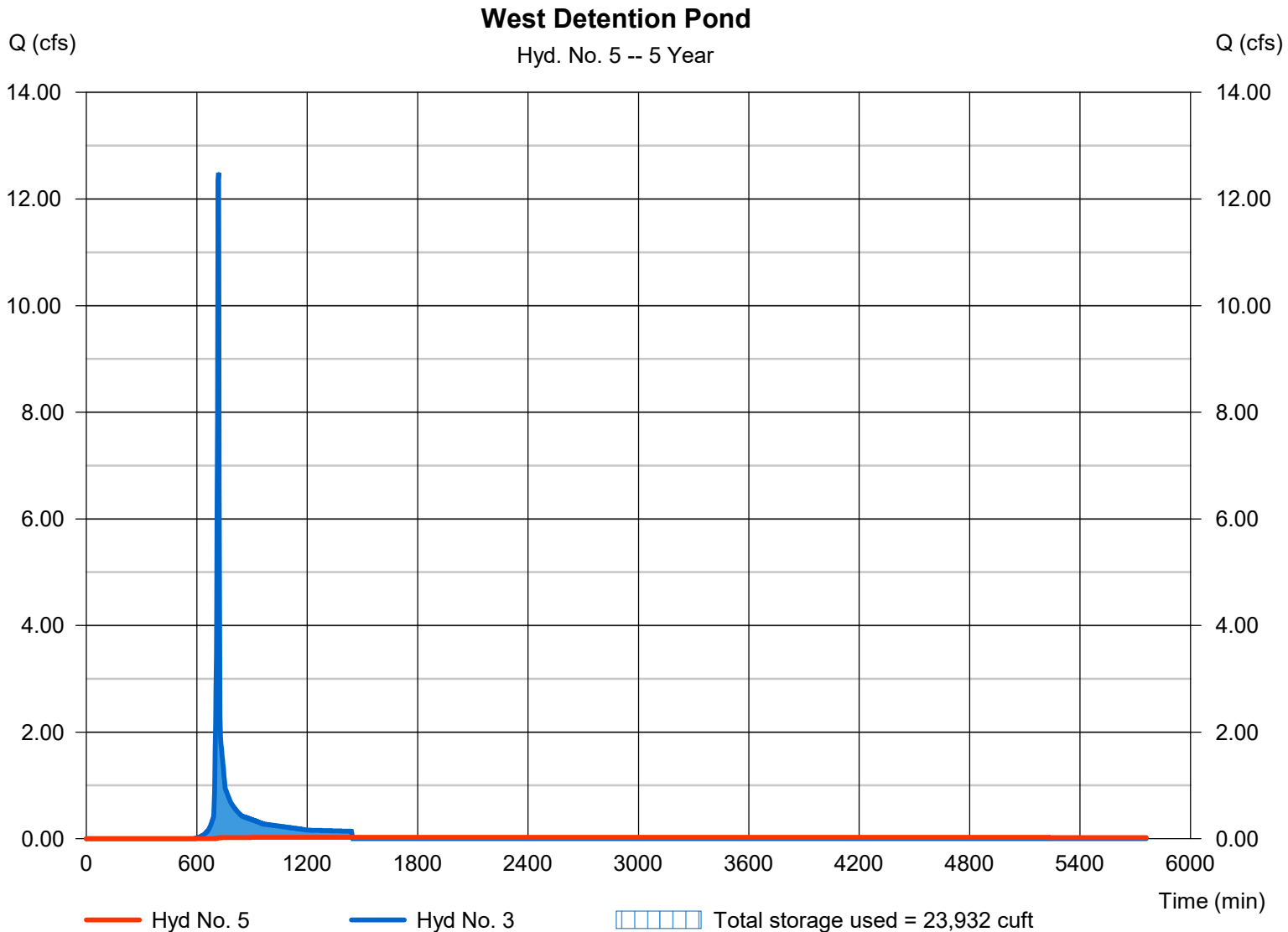
Tuesday, 04 / 19 / 2022

Hyd. No. 5

West Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.027 cfs
Storm frequency	= 5 yrs	Time to peak	= 1446 min
Time interval	= 2 min	Hyd. volume	= 7,588 cuft
Inflow hyd. No.	= 3 - Proposed West	Max. Elevation	= 5382.13 ft
Reservoir name	= West Detention Pond	Max. Storage	= 23,932 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

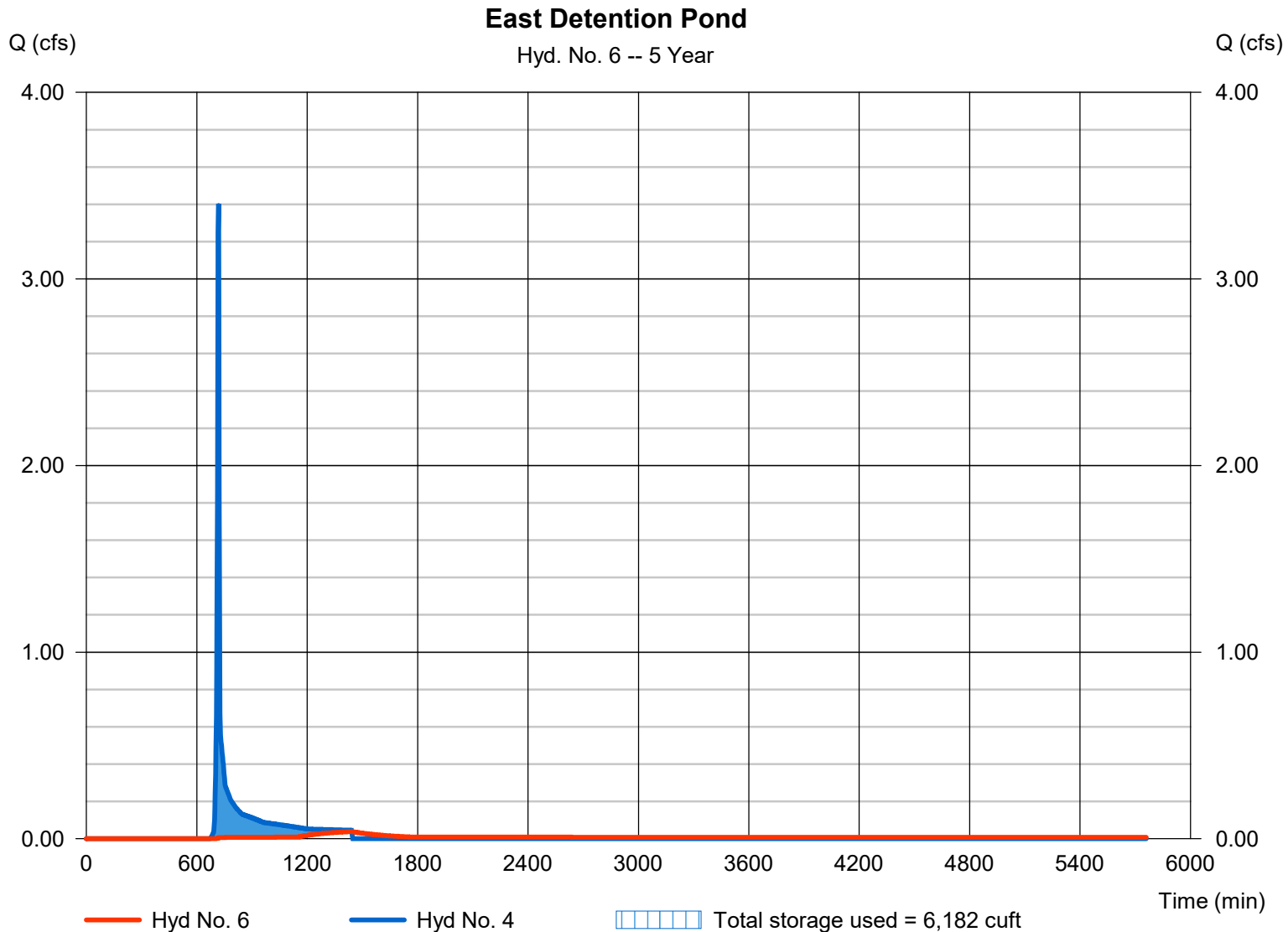
Tuesday, 04 / 19 / 2022

Hyd. No. 6

East Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.038 cfs
Storm frequency	= 5 yrs	Time to peak	= 1442 min
Time interval	= 2 min	Hyd. volume	= 2,971 cuft
Inflow hyd. No.	= 4 - Proposed East	Max. Elevation	= 5388.80 ft
Reservoir name	= East Detention Pond	Max. Storage	= 6,182 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

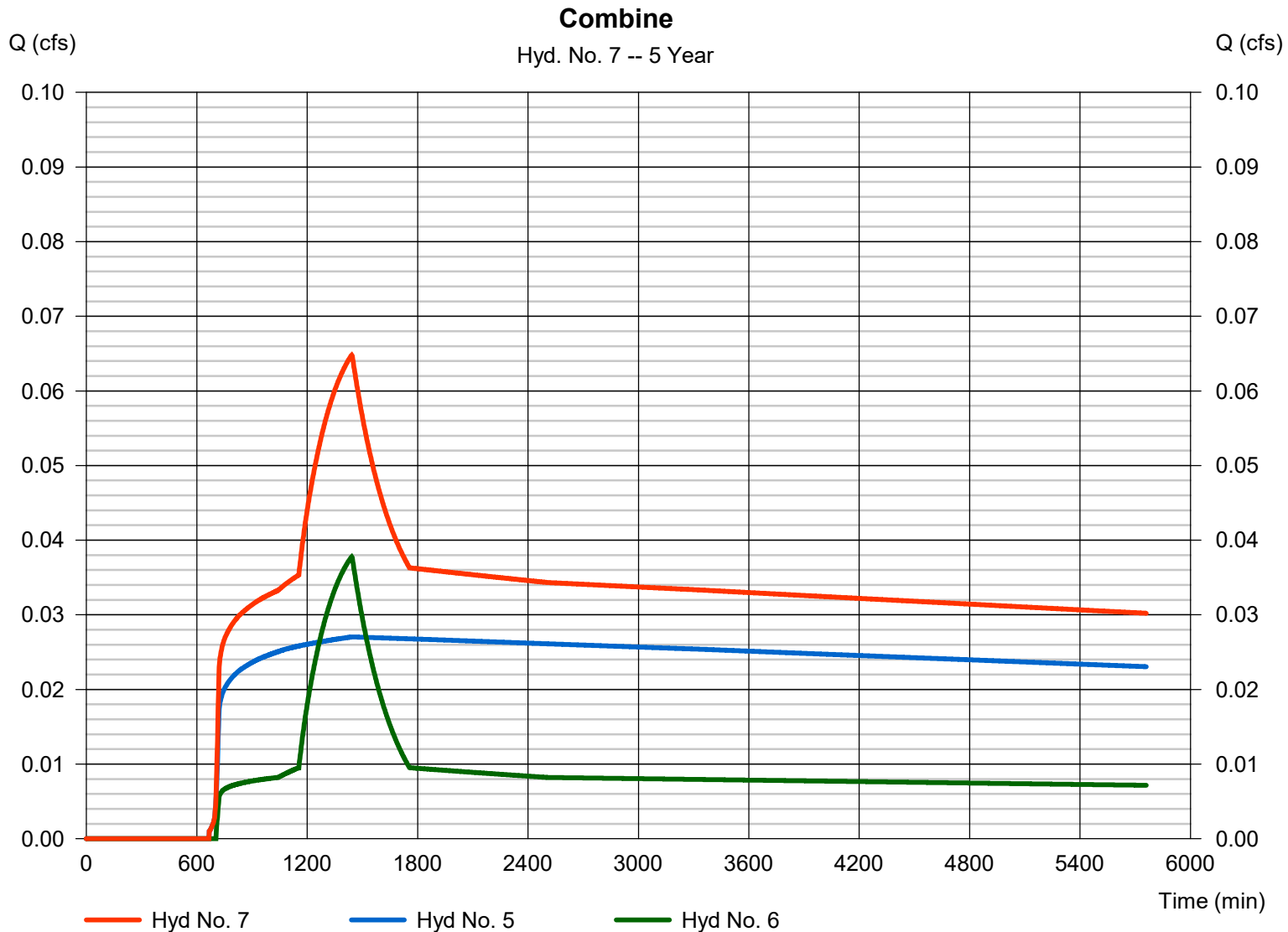
Tuesday, 04 / 19 / 2022

Hyd. No. 7

Combine

Hydrograph type = Combine
Storm frequency = 5 yrs
Time interval = 2 min
Inflow hyds. = 5, 6

Peak discharge = 0.065 cfs
Time to peak = 1442 min
Hyd. volume = 10,559 cuft
Contrib. drain. area = 0.000 ac



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

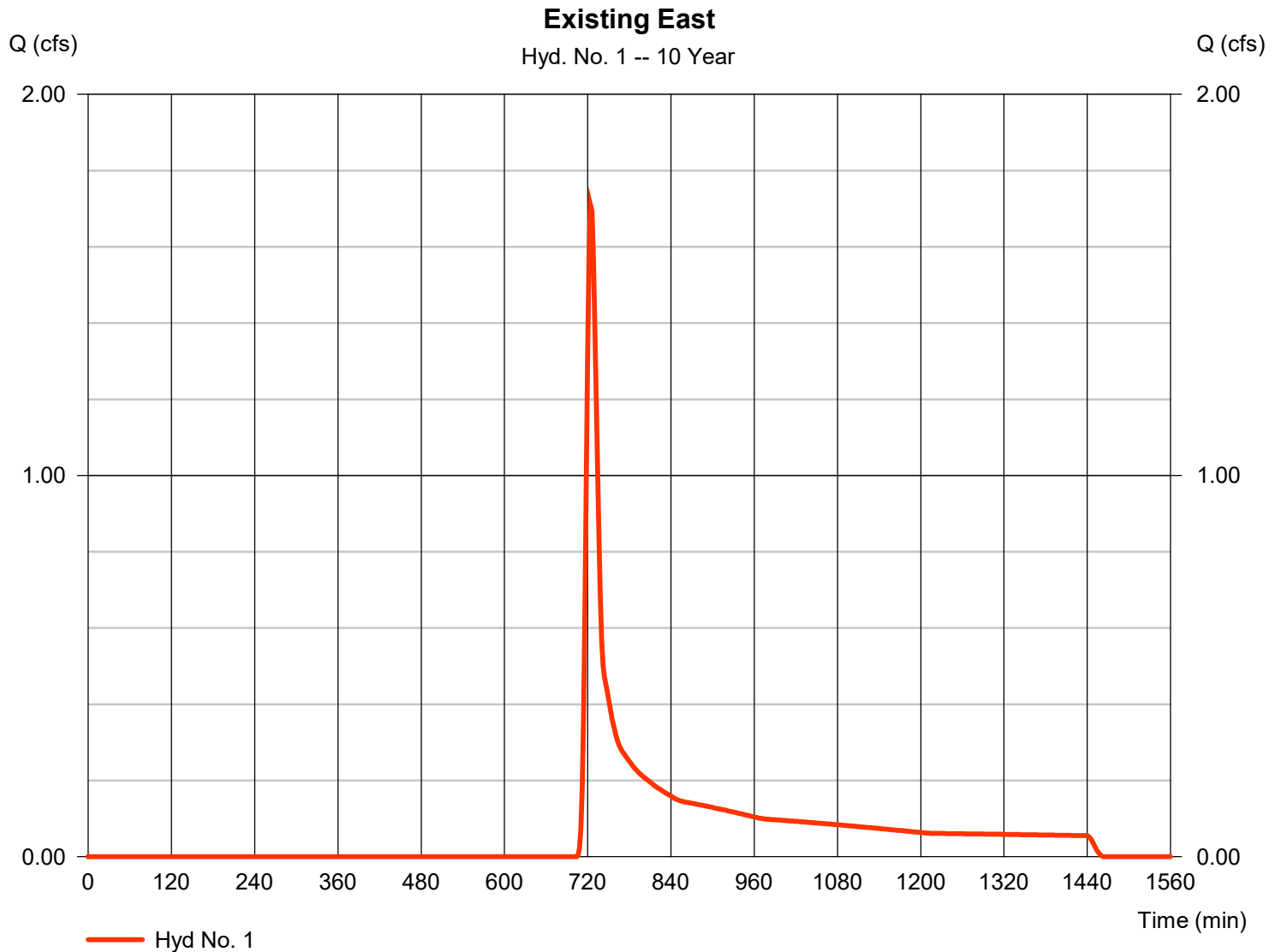
Tuesday, 04 / 19 / 2022

Hyd. No. 1

Existing East

Hydrograph type	= SCS Runoff	Peak discharge	= 1.710 cfs
Storm frequency	= 10 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 6,433 cuft
Drainage area	= 3.980 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 16.10 min
Total precip.	= 2.89 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.940 x 65) + (0.040 x 98)] / 3.980



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

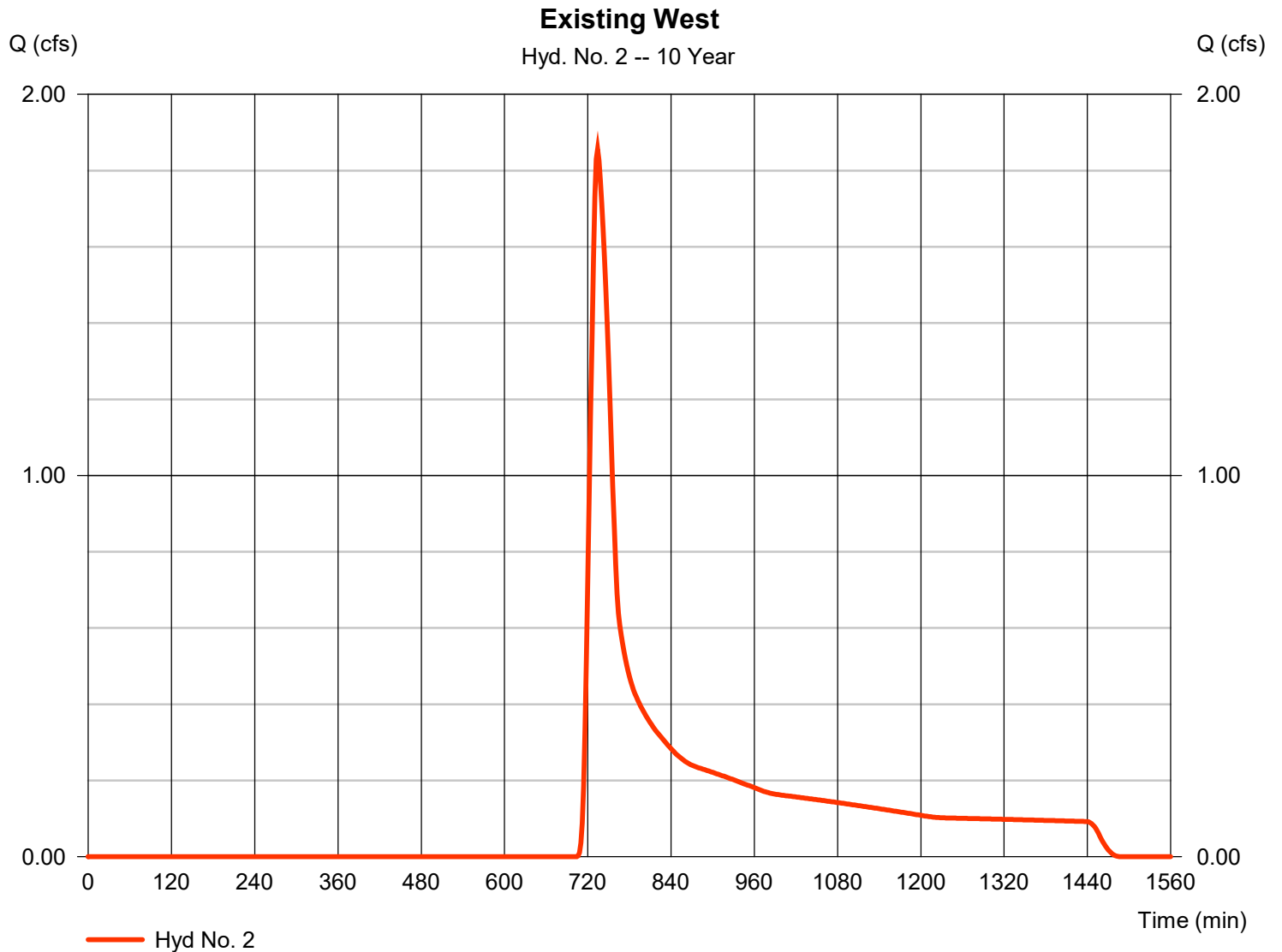
Tuesday, 04 / 19 / 2022

Hyd. No. 2

Existing West

Hydrograph type	= SCS Runoff	Peak discharge	= 1.856 cfs
Storm frequency	= 10 yrs	Time to peak	= 734 min
Time interval	= 2 min	Hyd. volume	= 10,709 cuft
Drainage area	= 6.460 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 27.30 min
Total precip.	= 2.89 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(6.457 x 65)] / 6.460



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

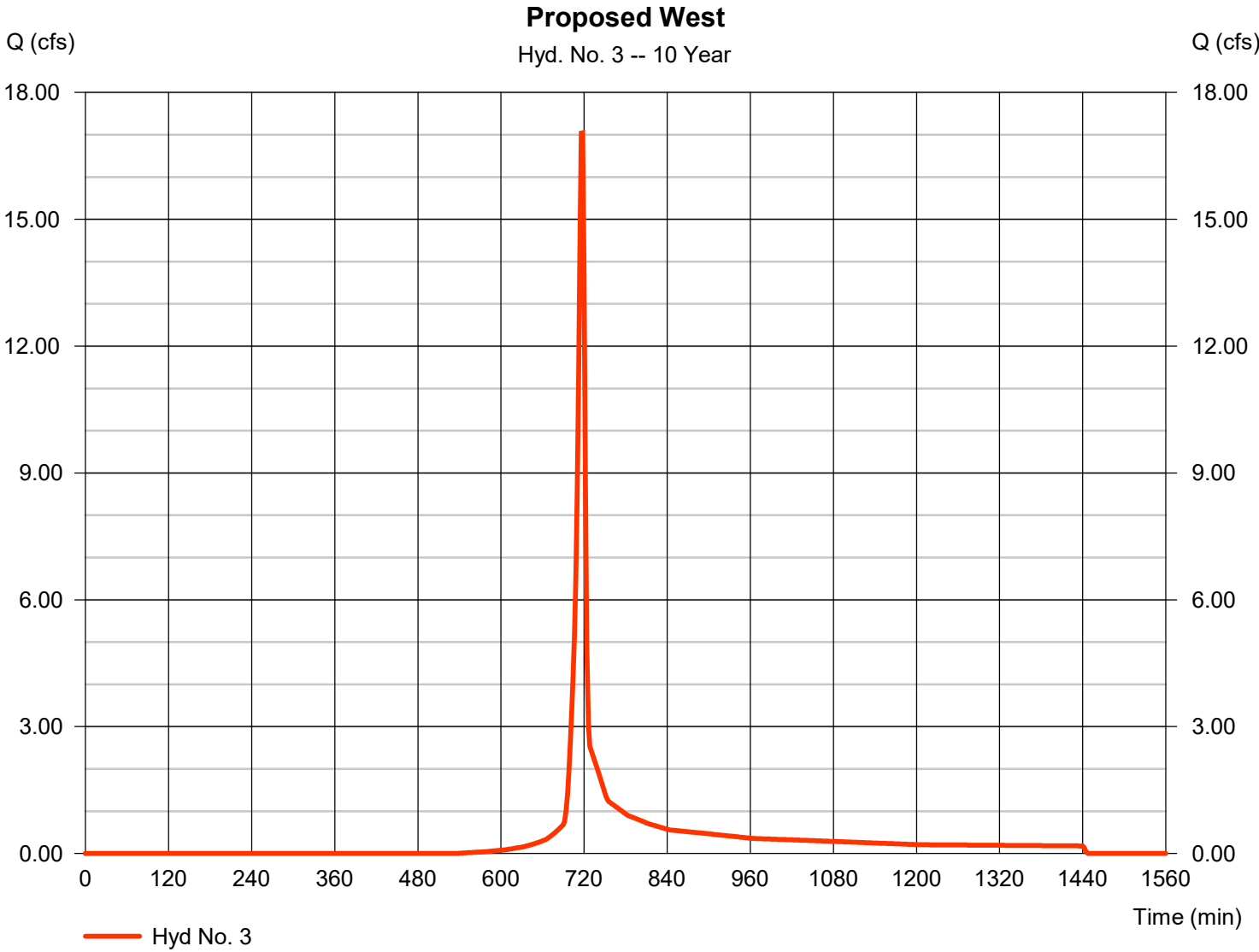
Tuesday, 04 / 19 / 2022

Hyd. No. 3

Proposed West

Hydrograph type	= SCS Runoff	Peak discharge	= 17.05 cfs
Storm frequency	= 10 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 34,397 cuft
Drainage area	= 7.440 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 2.89 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.960 x 98) + (0.688 x 75) + (2.795 x 65)] / 7.440



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

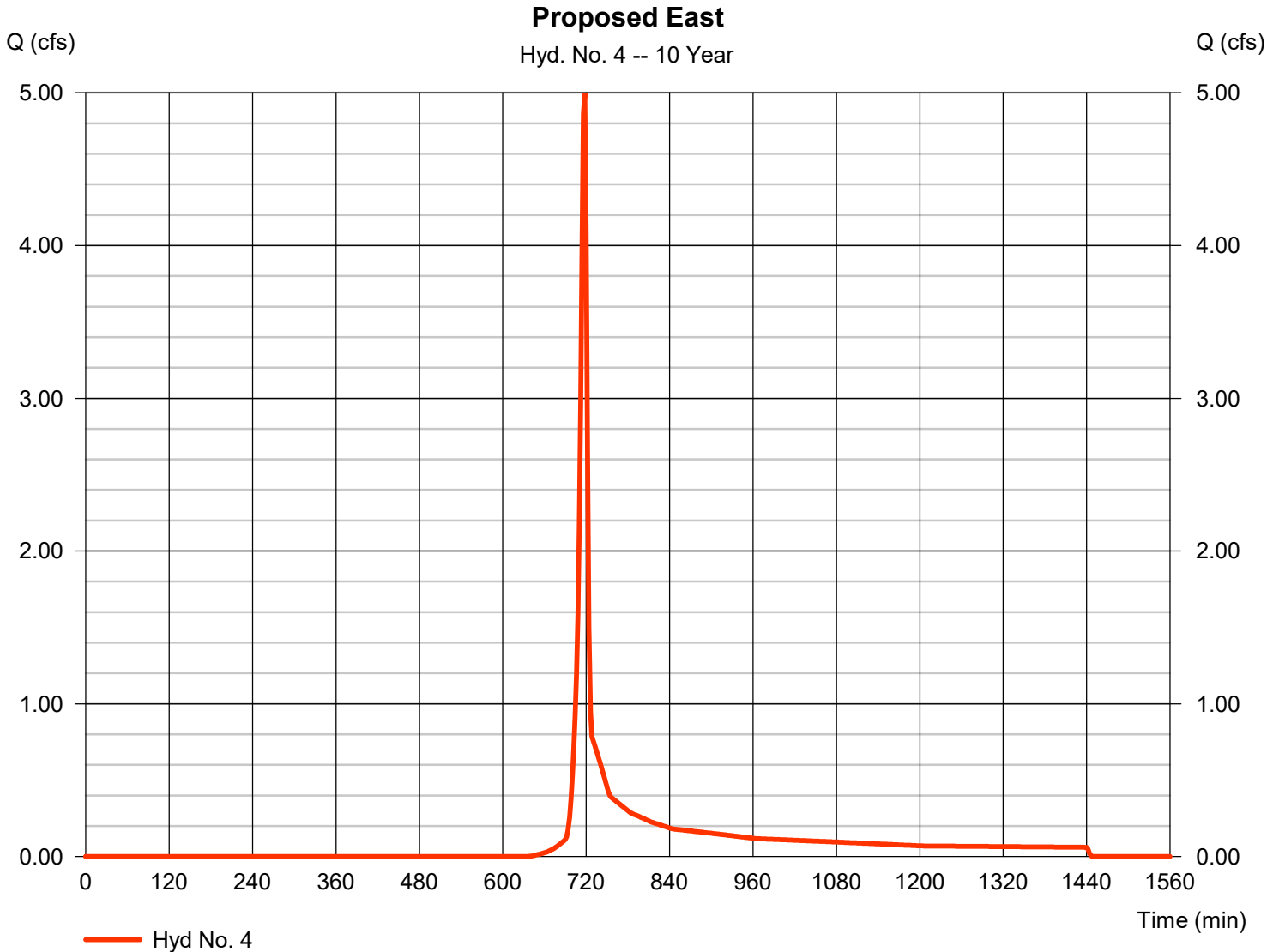
Tuesday, 04 / 19 / 2022

Hyd. No. 4

Proposed East

Hydrograph type	= SCS Runoff	Peak discharge	= 4.995 cfs
Storm frequency	= 10 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 9,994 cuft
Drainage area	= 2.950 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 2.89 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(1.060 x 98) + (1.890 x 65)] / 2.950



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

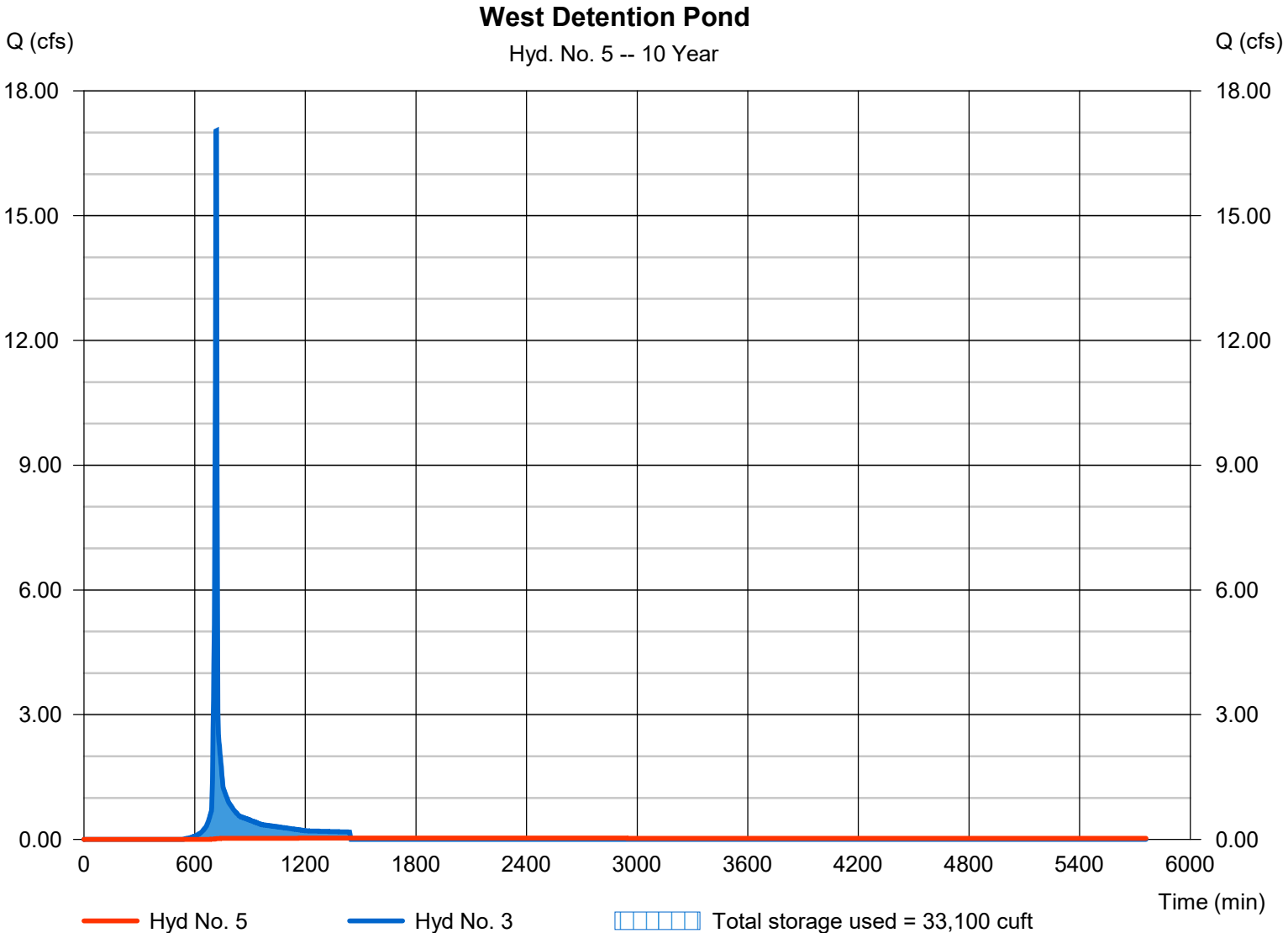
Tuesday, 04 / 19 / 2022

Hyd. No. 5

West Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.032 cfs
Storm frequency	= 10 yrs	Time to peak	= 1446 min
Time interval	= 2 min	Hyd. volume	= 8,983 cuft
Inflow hyd. No.	= 3 - Proposed West	Max. Elevation	= 5382.52 ft
Reservoir name	= West Detention Pond	Max. Storage	= 33,100 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

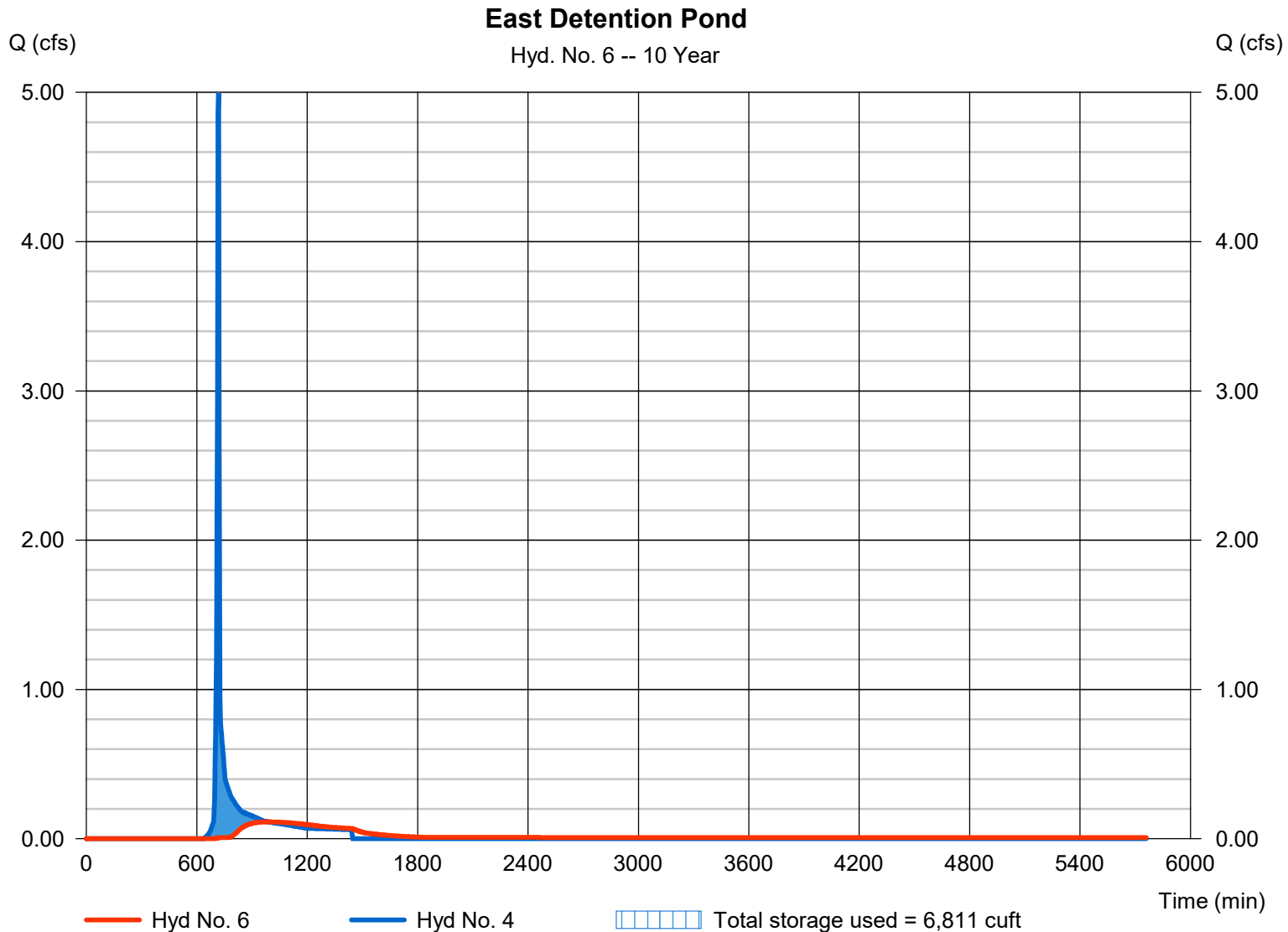
Tuesday, 04 / 19 / 2022

Hyd. No. 6

East Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.113 cfs
Storm frequency	= 10 yrs	Time to peak	= 988 min
Time interval	= 2 min	Hyd. volume	= 6,060 cuft
Inflow hyd. No.	= 4 - Proposed East	Max. Elevation	= 5388.96 ft
Reservoir name	= East Detention Pond	Max. Storage	= 6,811 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

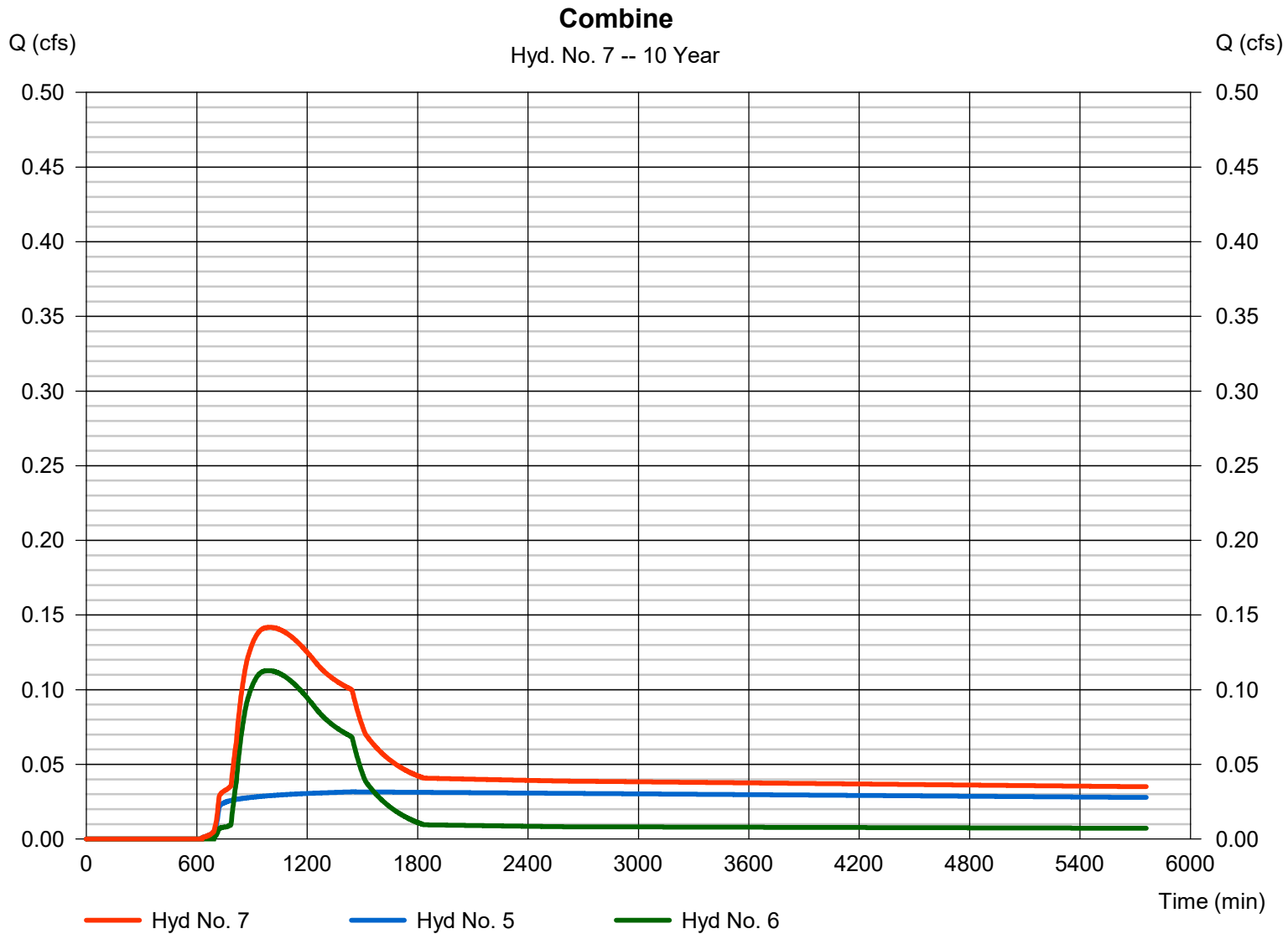
Tuesday, 04 / 19 / 2022

Hyd. No. 7

Combine

Hydrograph type = Combine
Storm frequency = 10 yrs
Time interval = 2 min
Inflow hyds. = 5, 6

Peak discharge = 0.142 cfs
Time to peak = 998 min
Hyd. volume = 15,043 cuft
Contrib. drain. area = 0.000 ac



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

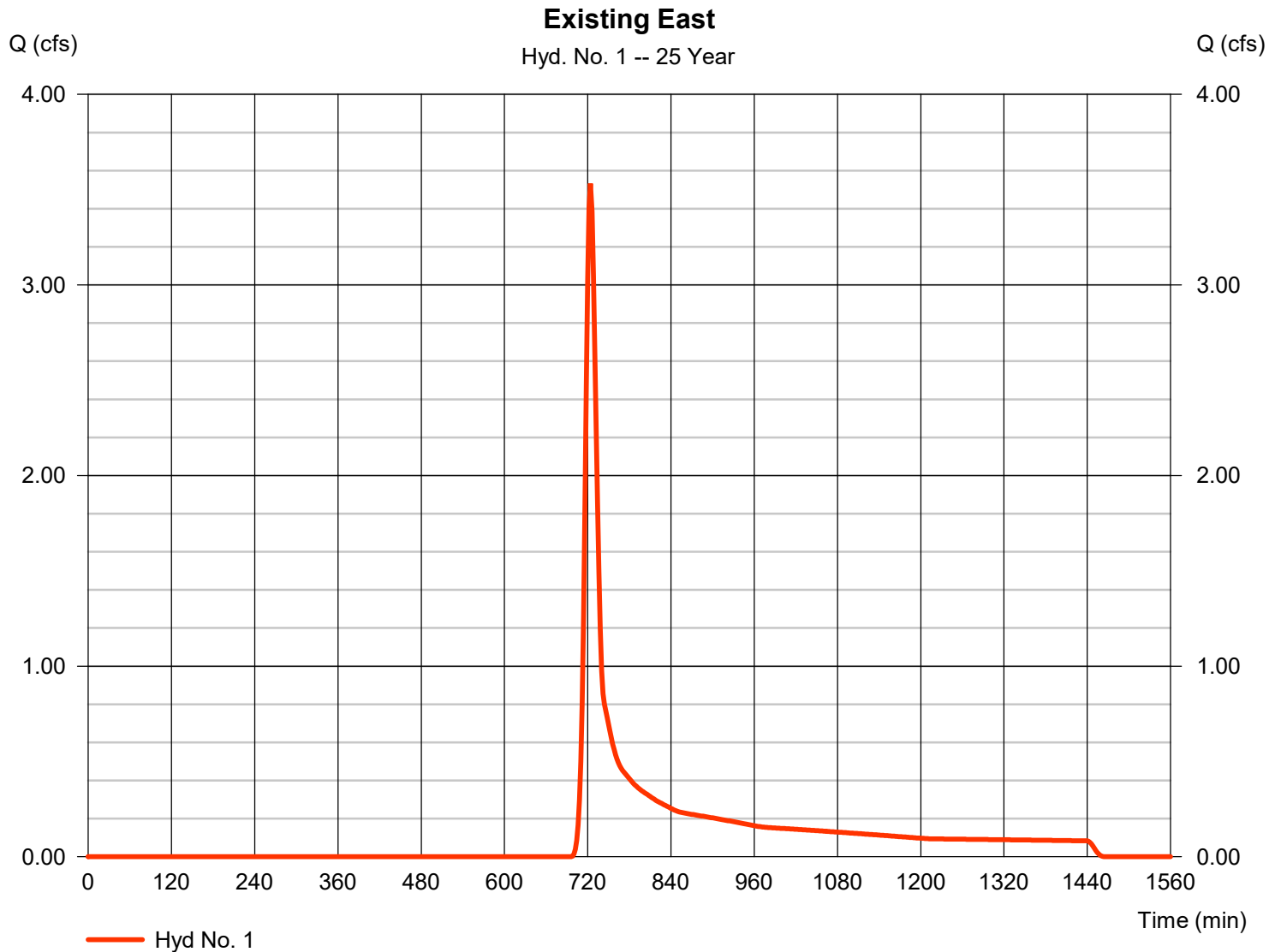
Tuesday, 04 / 19 / 2022

Hyd. No. 1

Existing East

Hydrograph type	= SCS Runoff	Peak discharge	= 3.532 cfs
Storm frequency	= 25 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 11,264 cuft
Drainage area	= 3.980 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 16.10 min
Total precip.	= 3.59 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.940 x 65) + (0.040 x 98)] / 3.980



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

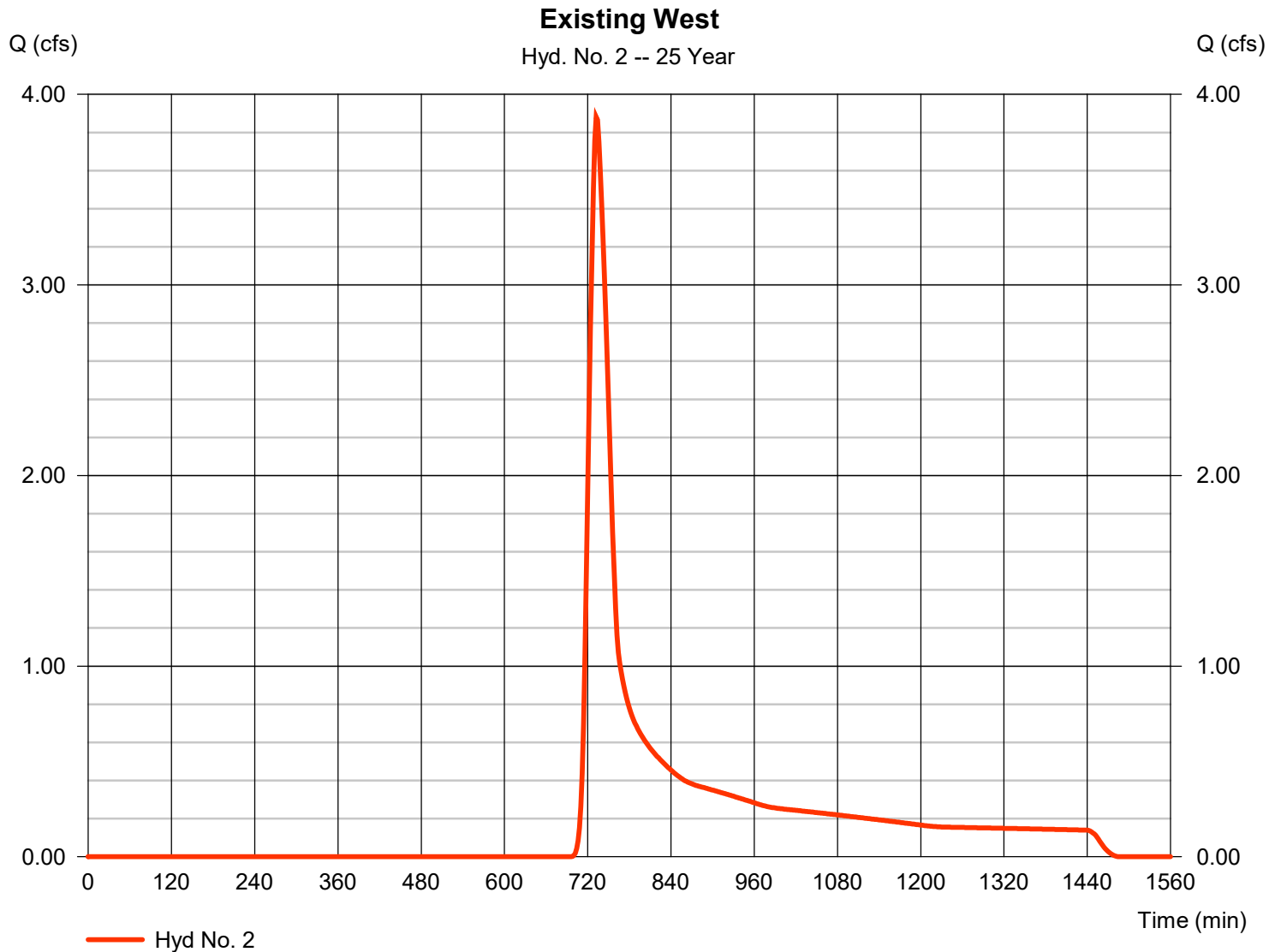
Tuesday, 04 / 19 / 2022

Hyd. No. 2

Existing West

Hydrograph type	= SCS Runoff	Peak discharge	= 3.881 cfs
Storm frequency	= 25 yrs	Time to peak	= 732 min
Time interval	= 2 min	Hyd. volume	= 18,751 cuft
Drainage area	= 6.460 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 27.30 min
Total precip.	= 3.59 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(6.457 x 65)] / 6.460



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

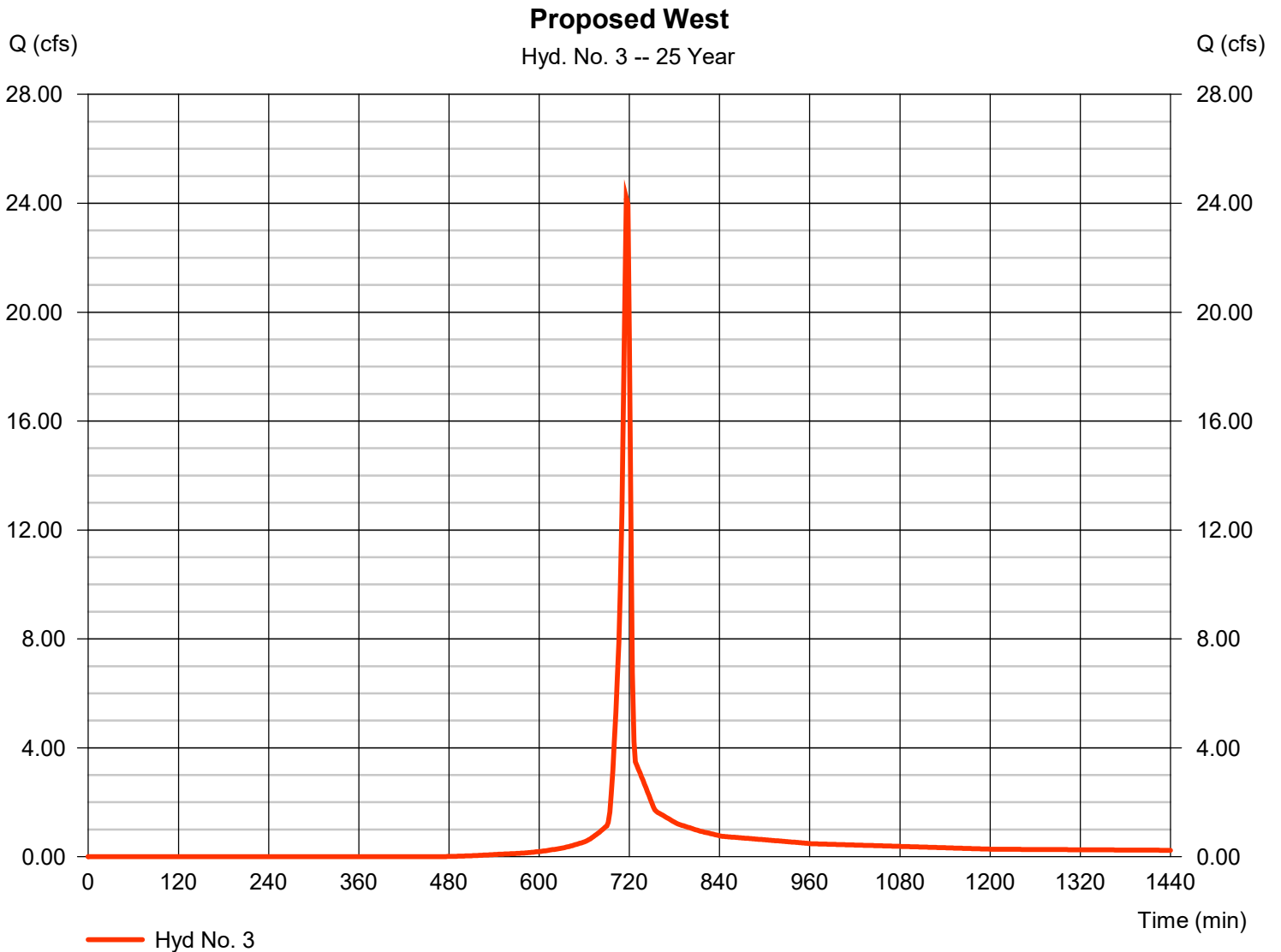
Tuesday, 04 / 19 / 2022

Hyd. No. 3

Proposed West

Hydrograph type	= SCS Runoff	Peak discharge	= 24.19 cfs
Storm frequency	= 25 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 48,980 cuft
Drainage area	= 7.440 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 3.59 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.960 x 98) + (0.688 x 75) + (2.795 x 65)] / 7.440



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

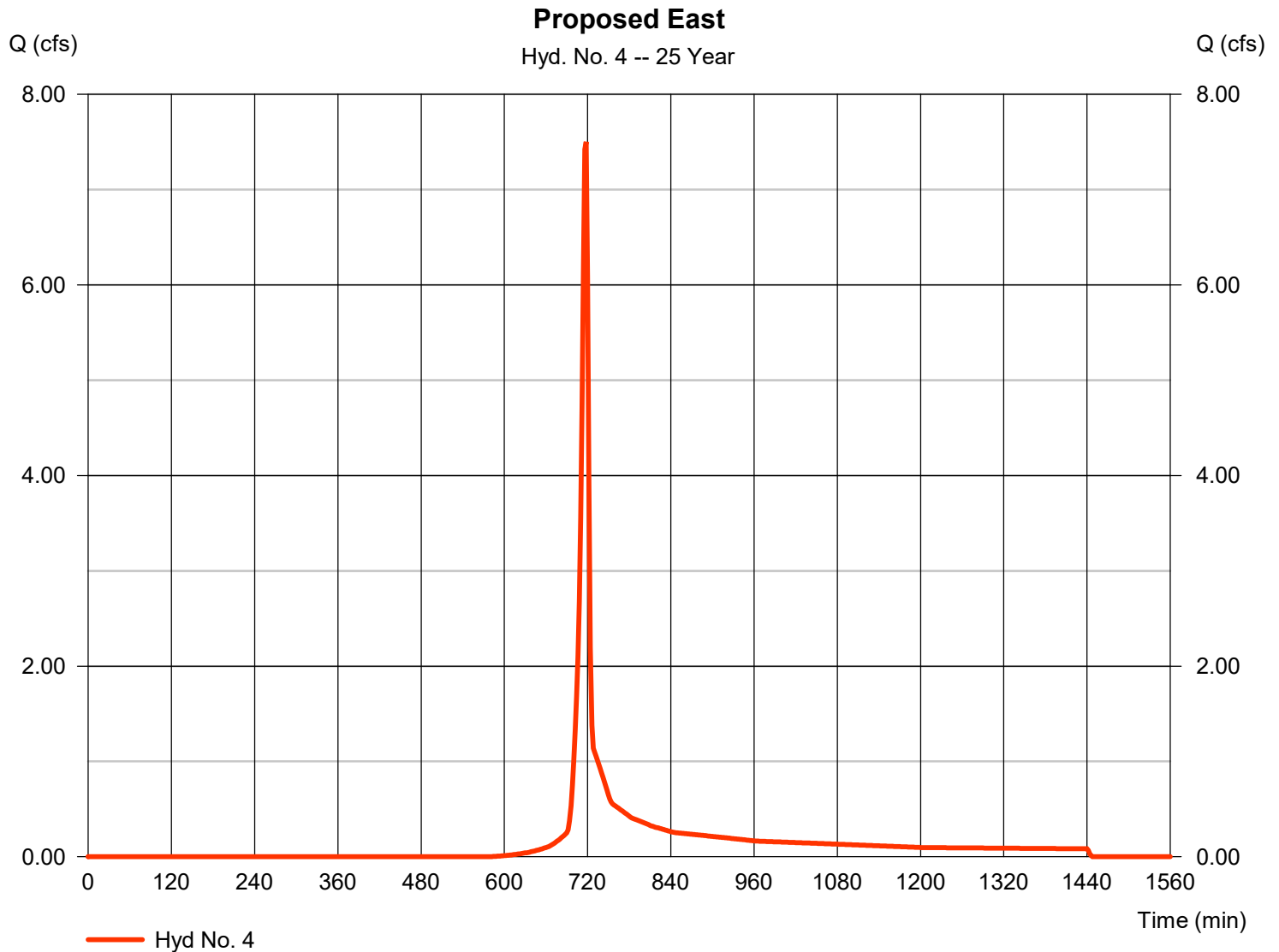
Tuesday, 04 / 19 / 2022

Hyd. No. 4

Proposed East

Hydrograph type	= SCS Runoff	Peak discharge	= 7.502 cfs
Storm frequency	= 25 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 15,036 cuft
Drainage area	= 2.950 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 3.59 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(1.060 x 98) + (1.890 x 65)] / 2.950



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

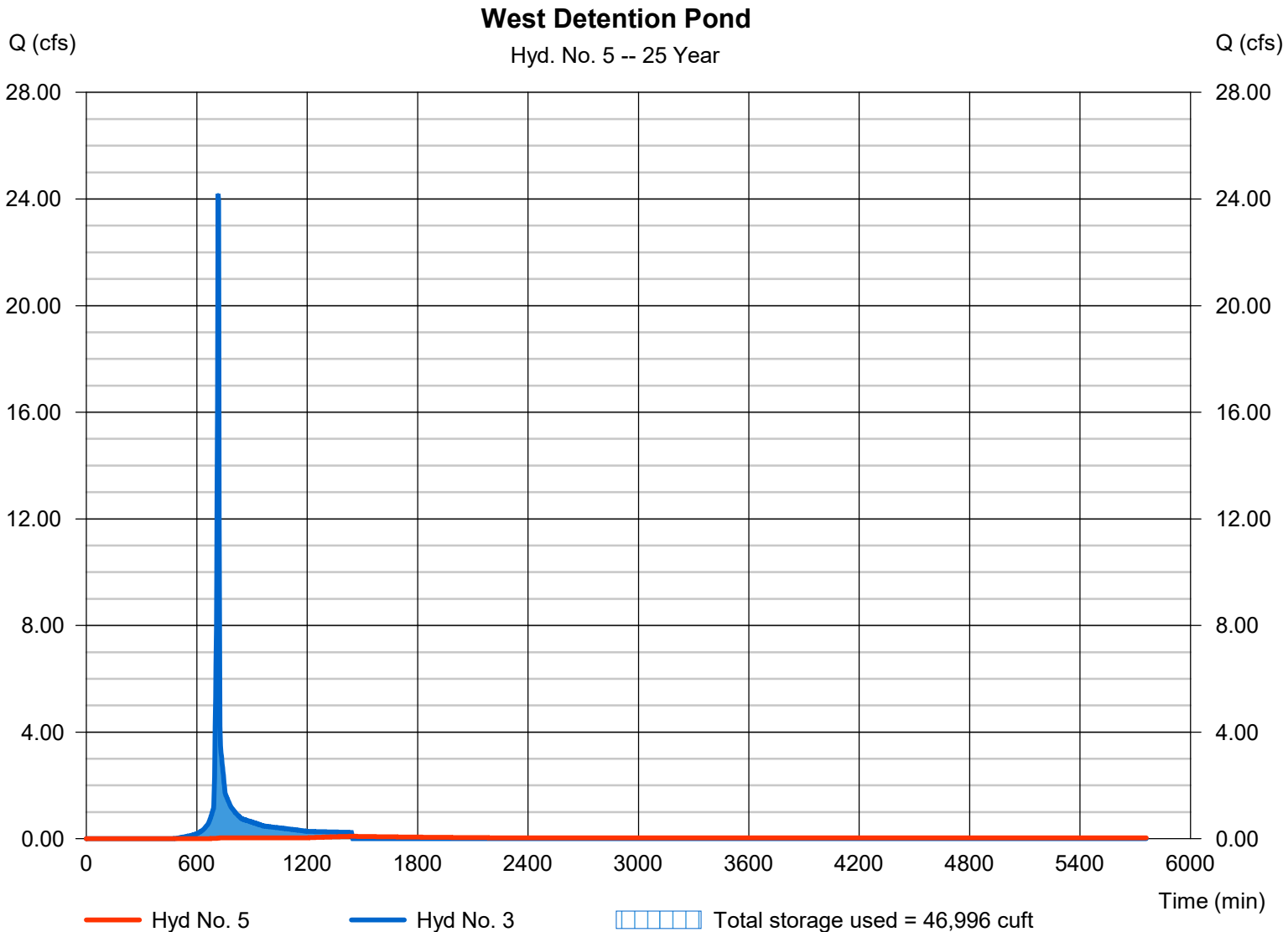
Tuesday, 04 / 19 / 2022

Hyd. No. 5

West Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.093 cfs
Storm frequency	= 25 yrs	Time to peak	= 1444 min
Time interval	= 2 min	Hyd. volume	= 12,110 cuft
Inflow hyd. No.	= 3 - Proposed West	Max. Elevation	= 5383.10 ft
Reservoir name	= West Detention Pond	Max. Storage	= 46,996 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

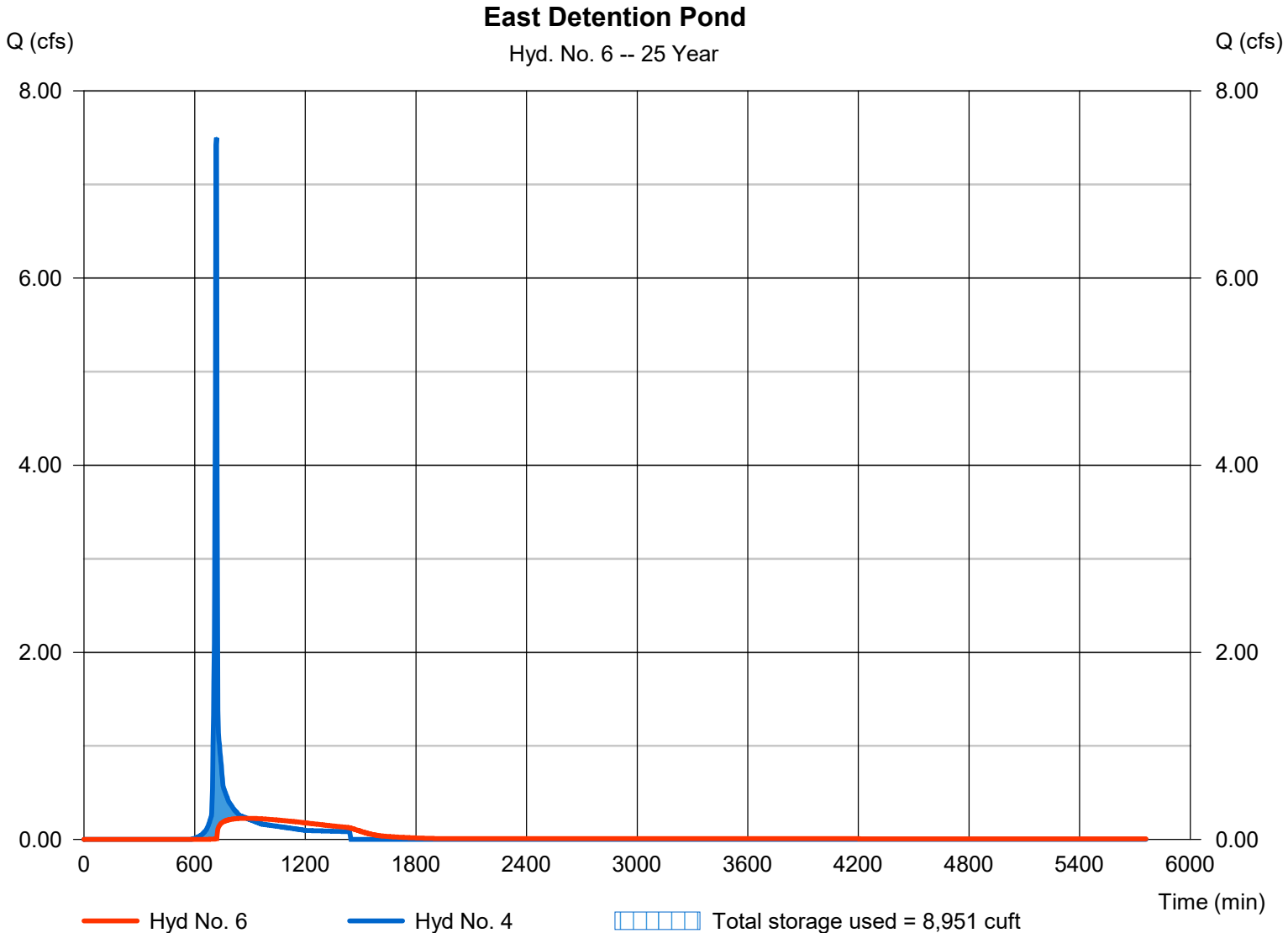
Tuesday, 04 / 19 / 2022

Hyd. No. 6

East Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.226 cfs
Storm frequency	= 25 yrs	Time to peak	= 884 min
Time interval	= 2 min	Hyd. volume	= 11,063 cuft
Inflow hyd. No.	= 4 - Proposed East	Max. Elevation	= 5389.39 ft
Reservoir name	= East Detention Pond	Max. Storage	= 8,951 cuft

Storage Indication method used.



Hydrograph Report

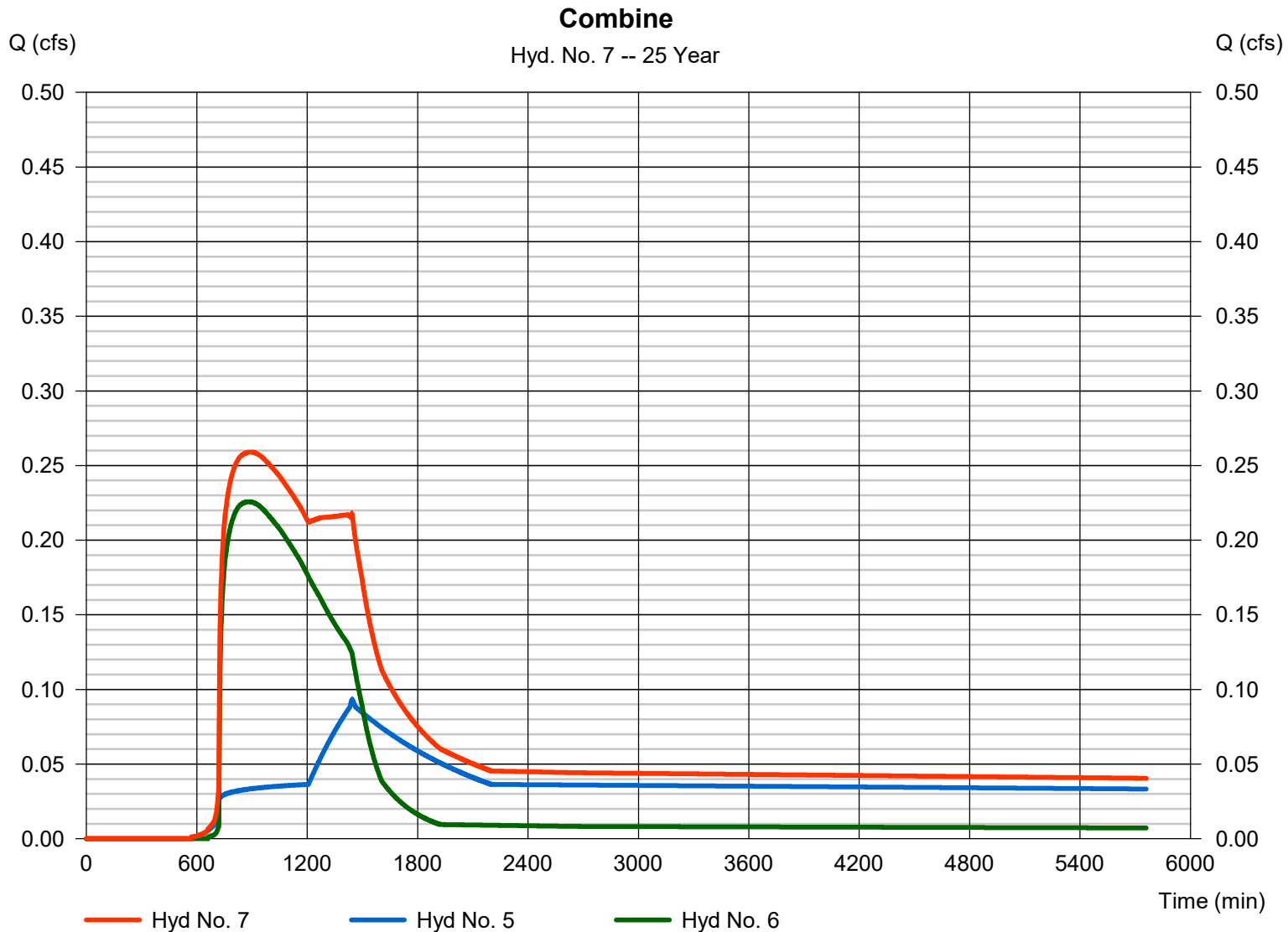
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Tuesday, 04 / 19 / 2022

Hyd. No. 7

Combine

Hydrograph type	= Combine	Peak discharge	= 0.259 cfs
Storm frequency	= 25 yrs	Time to peak	= 892 min
Time interval	= 2 min	Hyd. volume	= 23,173 cuft
Inflow hyds.	= 5, 6	Contrib. drain. area	= 0.000 ac



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

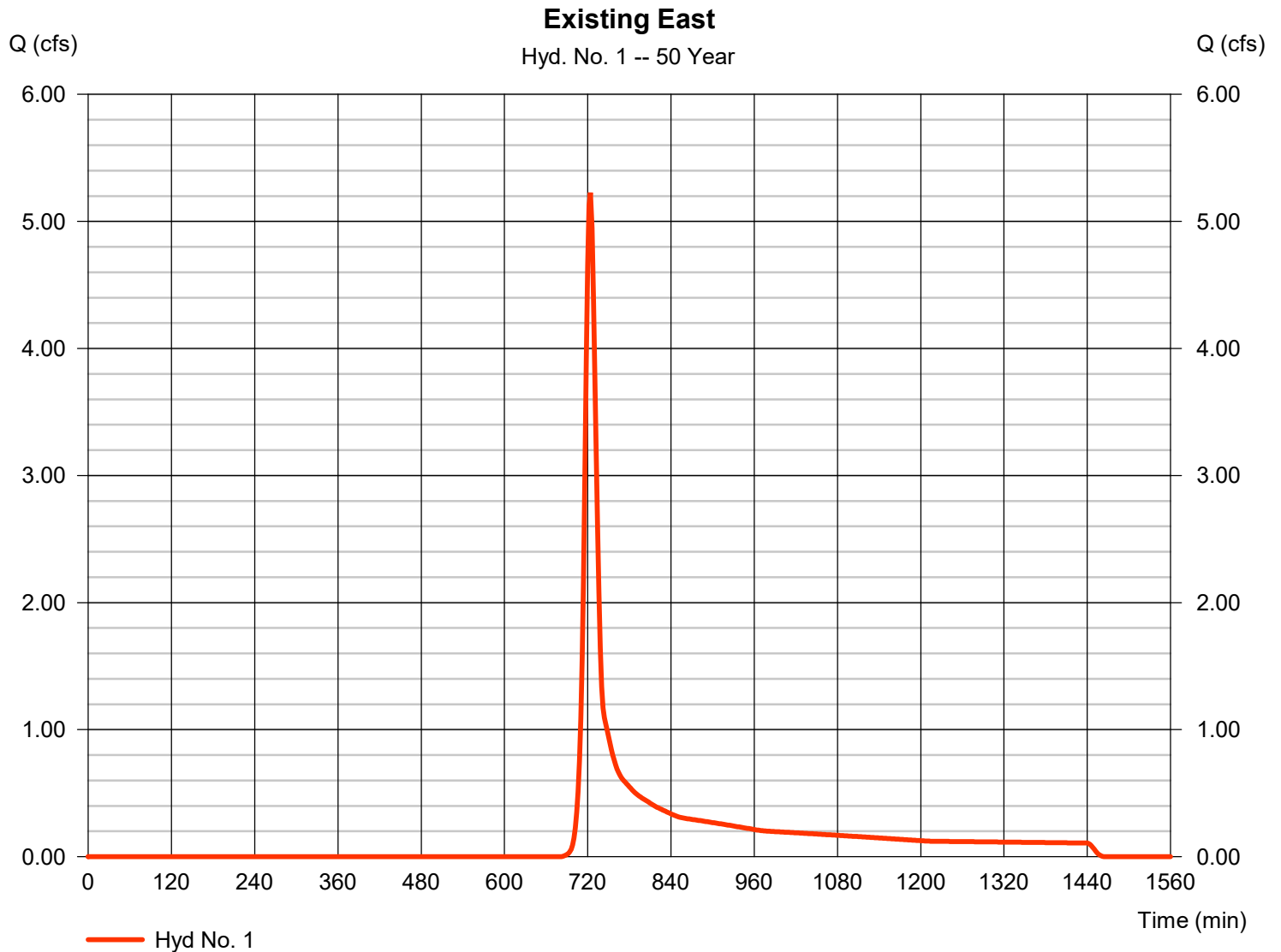
Tuesday, 04 / 19 / 2022

Hyd. No. 1

Existing East

Hydrograph type	= SCS Runoff	Peak discharge	= 5.226 cfs
Storm frequency	= 50 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 15,812 cuft
Drainage area	= 3.980 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 16.10 min
Total precip.	= 4.16 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.940 x 65) + (0.040 x 98)] / 3.980



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

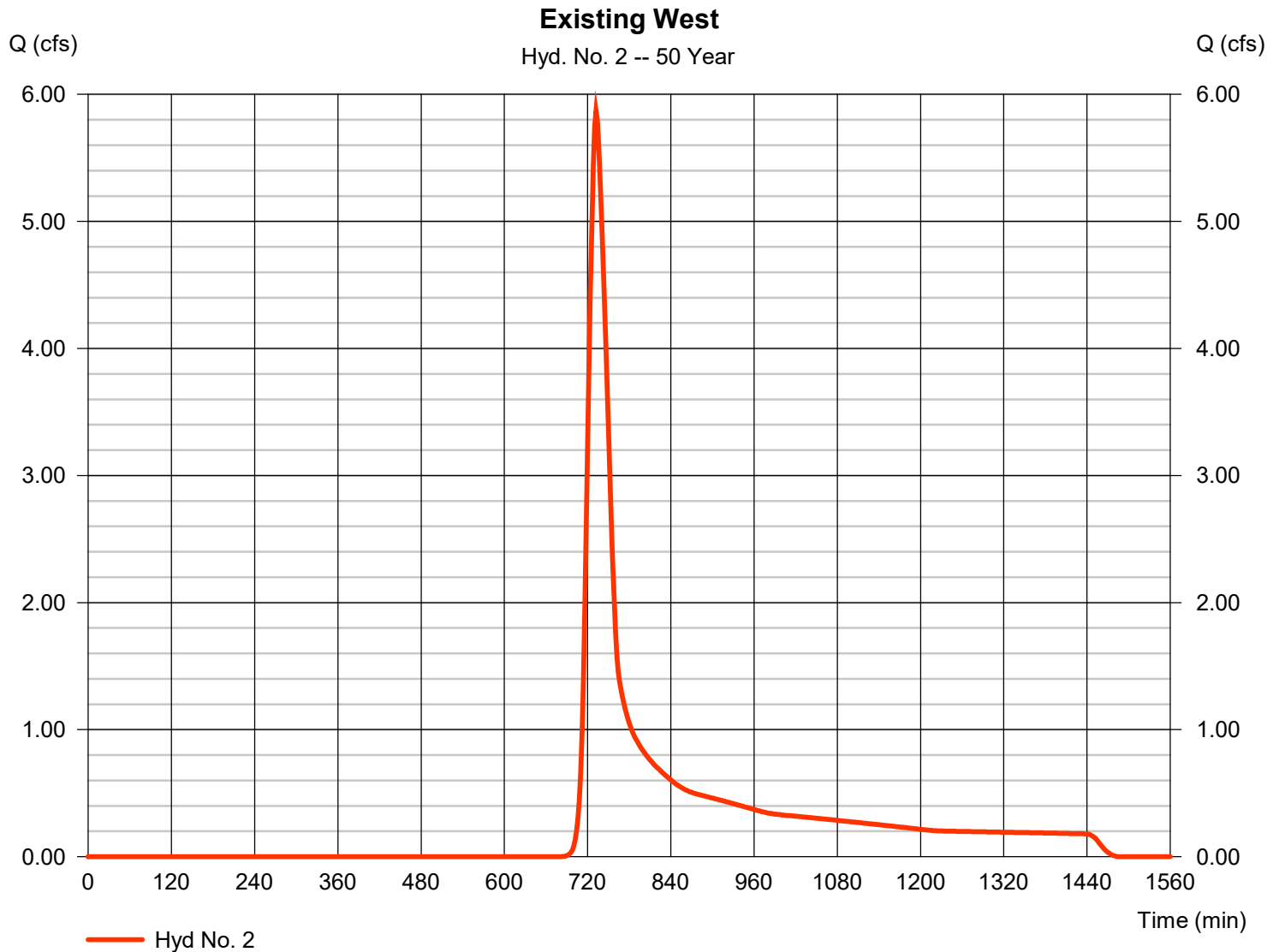
Tuesday, 04 / 19 / 2022

Hyd. No. 2

Existing West

Hydrograph type	= SCS Runoff	Peak discharge	= 5.870 cfs
Storm frequency	= 50 yrs	Time to peak	= 732 min
Time interval	= 2 min	Hyd. volume	= 26,323 cuft
Drainage area	= 6.460 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 27.30 min
Total precip.	= 4.16 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(6.457 x 65)] / 6.460



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

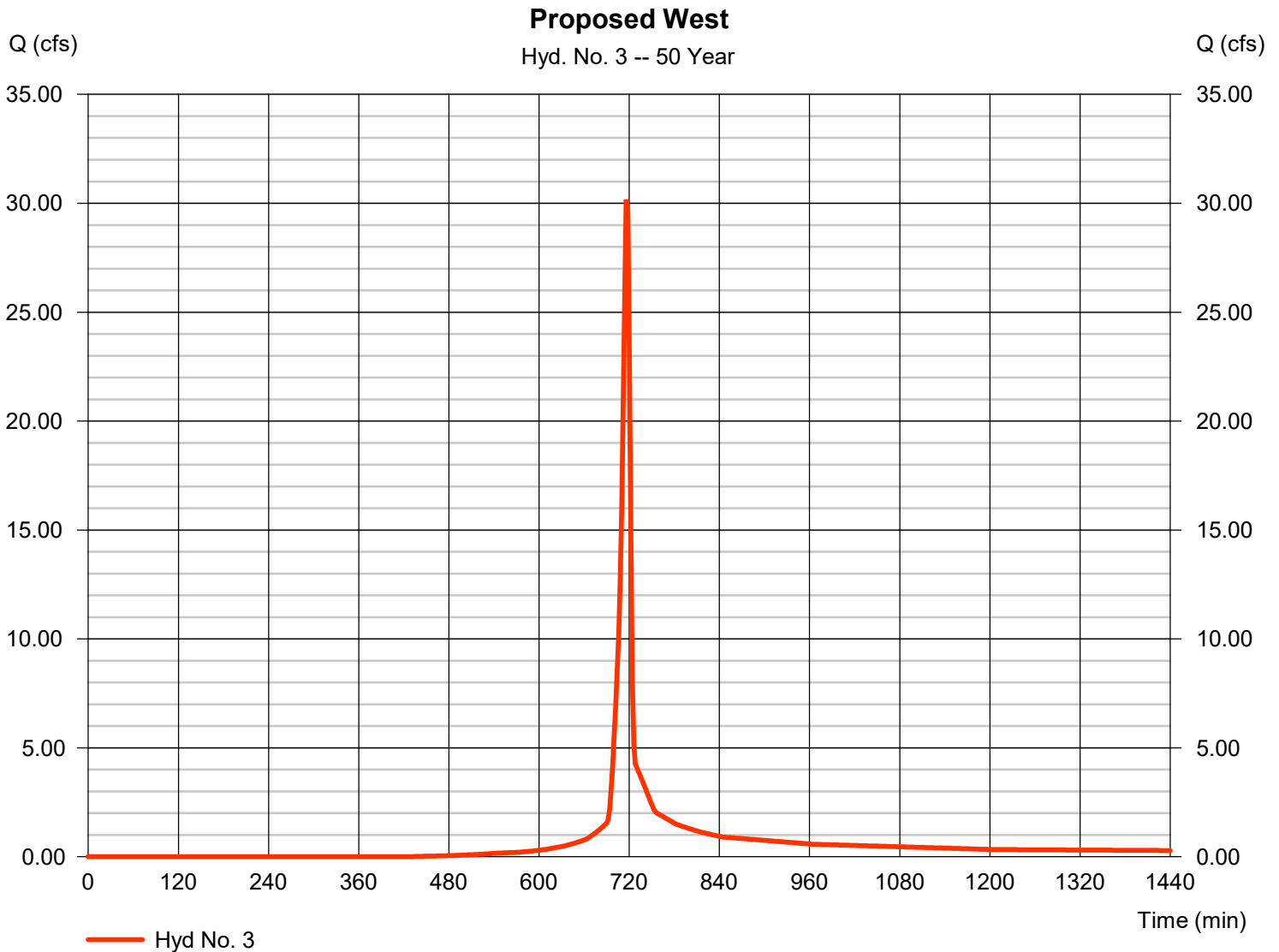
Tuesday, 04 / 19 / 2022

Hyd. No. 3

Proposed West

Hydrograph type	= SCS Runoff	Peak discharge	= 30.17 cfs
Storm frequency	= 50 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 61,415 cuft
Drainage area	= 7.440 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 4.16 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.960 x 98) + (0.688 x 75) + (2.795 x 65)] / 7.440



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

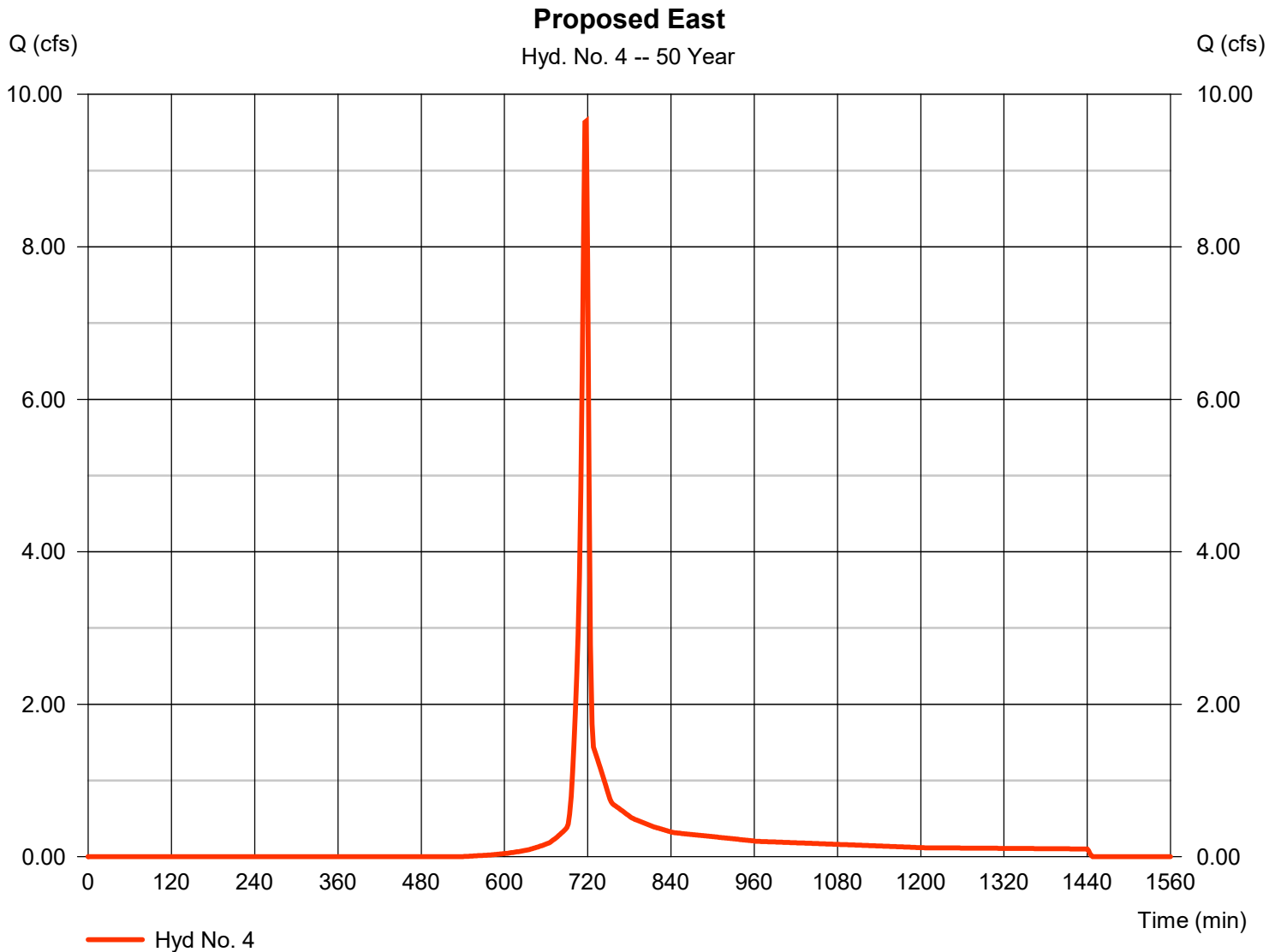
Tuesday, 04 / 19 / 2022

Hyd. No. 4

Proposed East

Hydrograph type	= SCS Runoff	Peak discharge	= 9.649 cfs
Storm frequency	= 50 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 19,454 cuft
Drainage area	= 2.950 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 4.16 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(1.060 x 98) + (1.890 x 65)] / 2.950



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

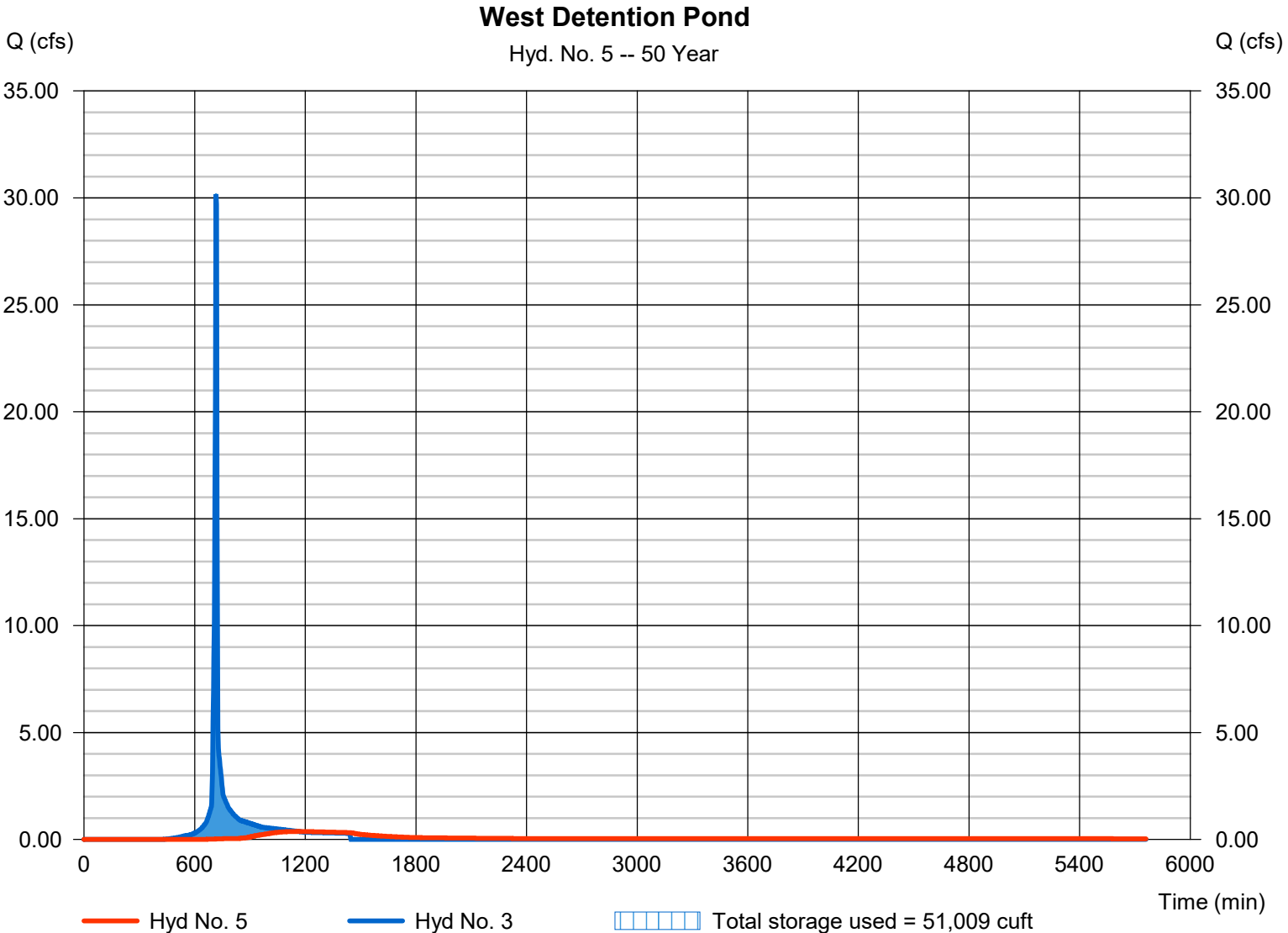
Tuesday, 04 / 19 / 2022

Hyd. No. 5

West Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.374 cfs
Storm frequency	= 50 yrs	Time to peak	= 1162 min
Time interval	= 2 min	Hyd. volume	= 23,895 cuft
Inflow hyd. No.	= 3 - Proposed West	Max. Elevation	= 5383.26 ft
Reservoir name	= West Detention Pond	Max. Storage	= 51,009 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

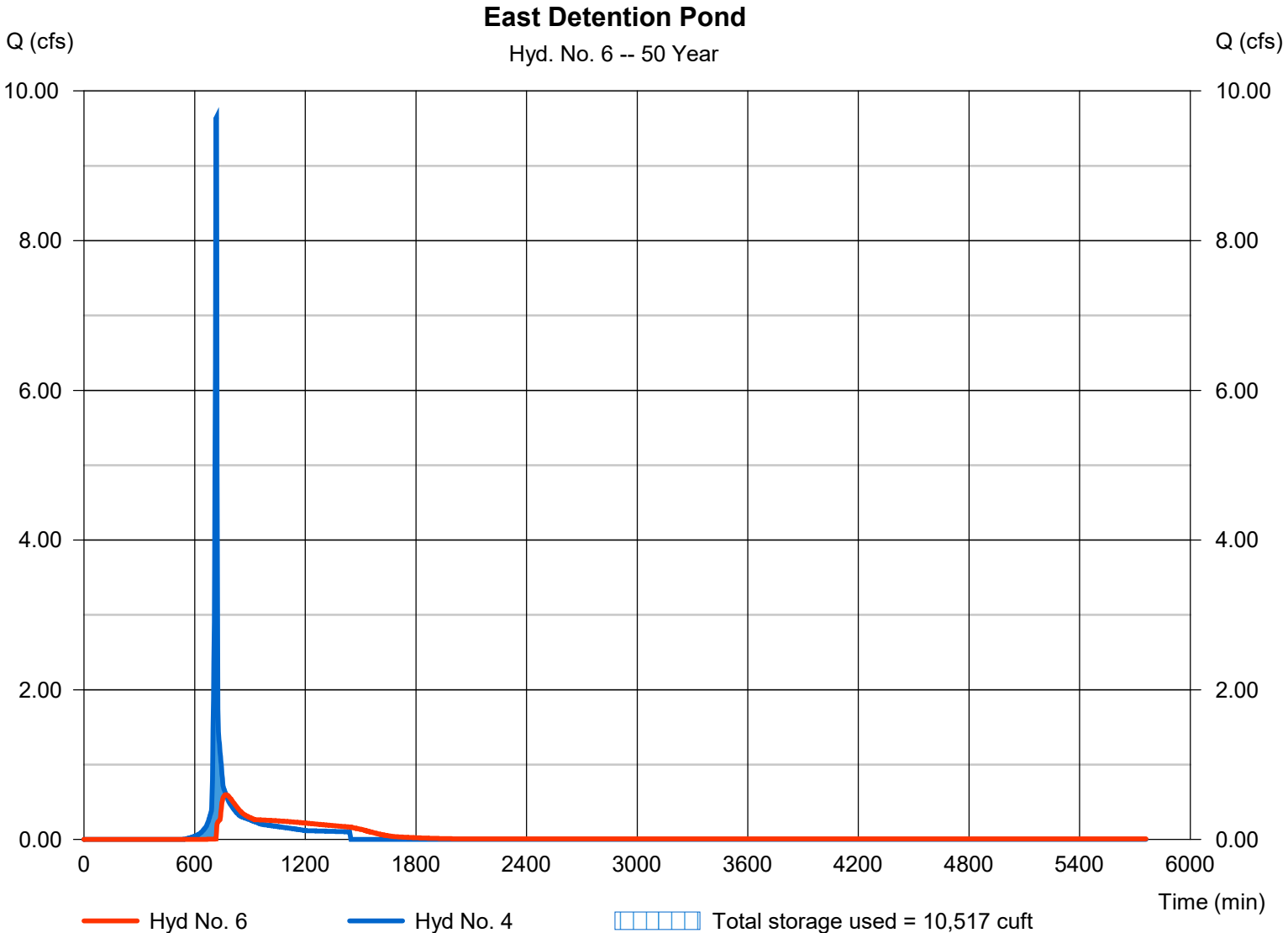
Tuesday, 04 / 19 / 2022

Hyd. No. 6

East Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.599 cfs
Storm frequency	= 50 yrs	Time to peak	= 770 min
Time interval	= 2 min	Hyd. volume	= 15,449 cuft
Inflow hyd. No.	= 4 - Proposed East	Max. Elevation	= 5389.70 ft
Reservoir name	= East Detention Pond	Max. Storage	= 10,517 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

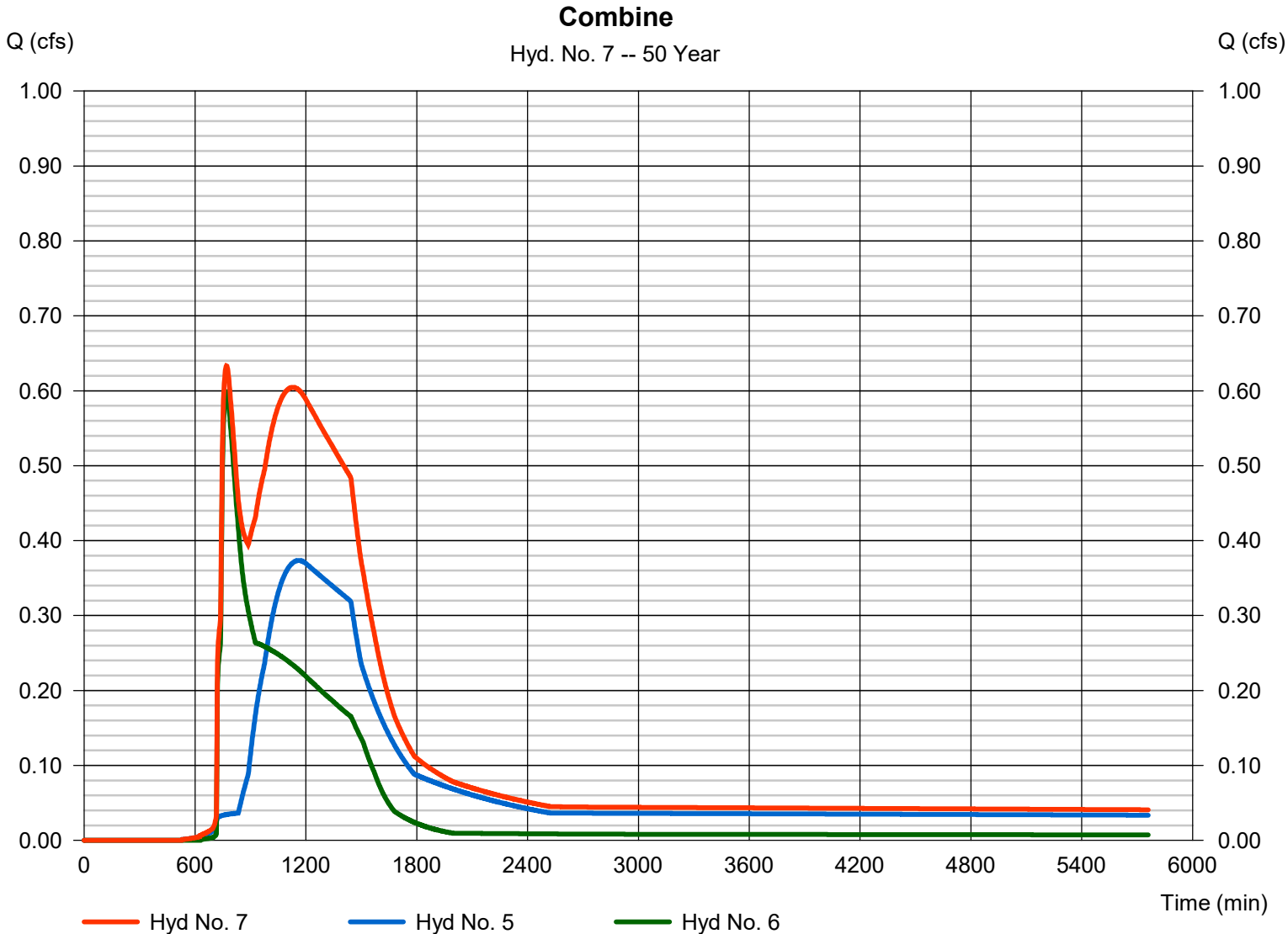
Tuesday, 04 / 19 / 2022

Hyd. No. 7

Combine

Hydrograph type = Combine
Storm frequency = 50 yrs
Time interval = 2 min
Inflow hyds. = 5, 6

Peak discharge = 0.633 cfs
Time to peak = 770 min
Hyd. volume = 39,344 cuft
Contrib. drain. area = 0.000 ac



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

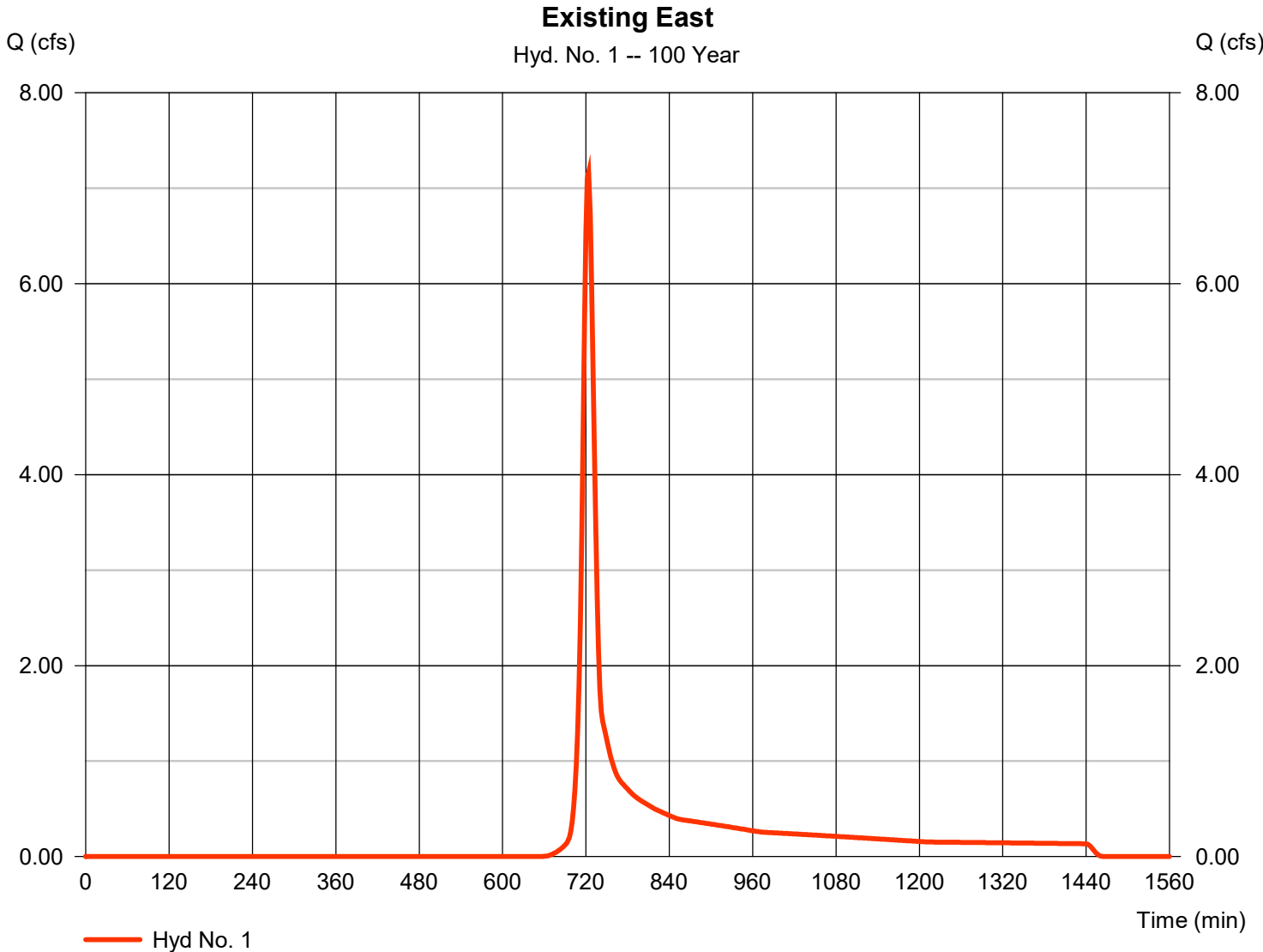
Tuesday, 04 / 19 / 2022

Hyd. No. 1

Existing East

Hydrograph type	= SCS Runoff	Peak discharge	= 7.165 cfs
Storm frequency	= 100 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 21,073 cuft
Drainage area	= 3.980 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 16.10 min
Total precip.	= 4.76 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.940 x 65) + (0.040 x 98)] / 3.980



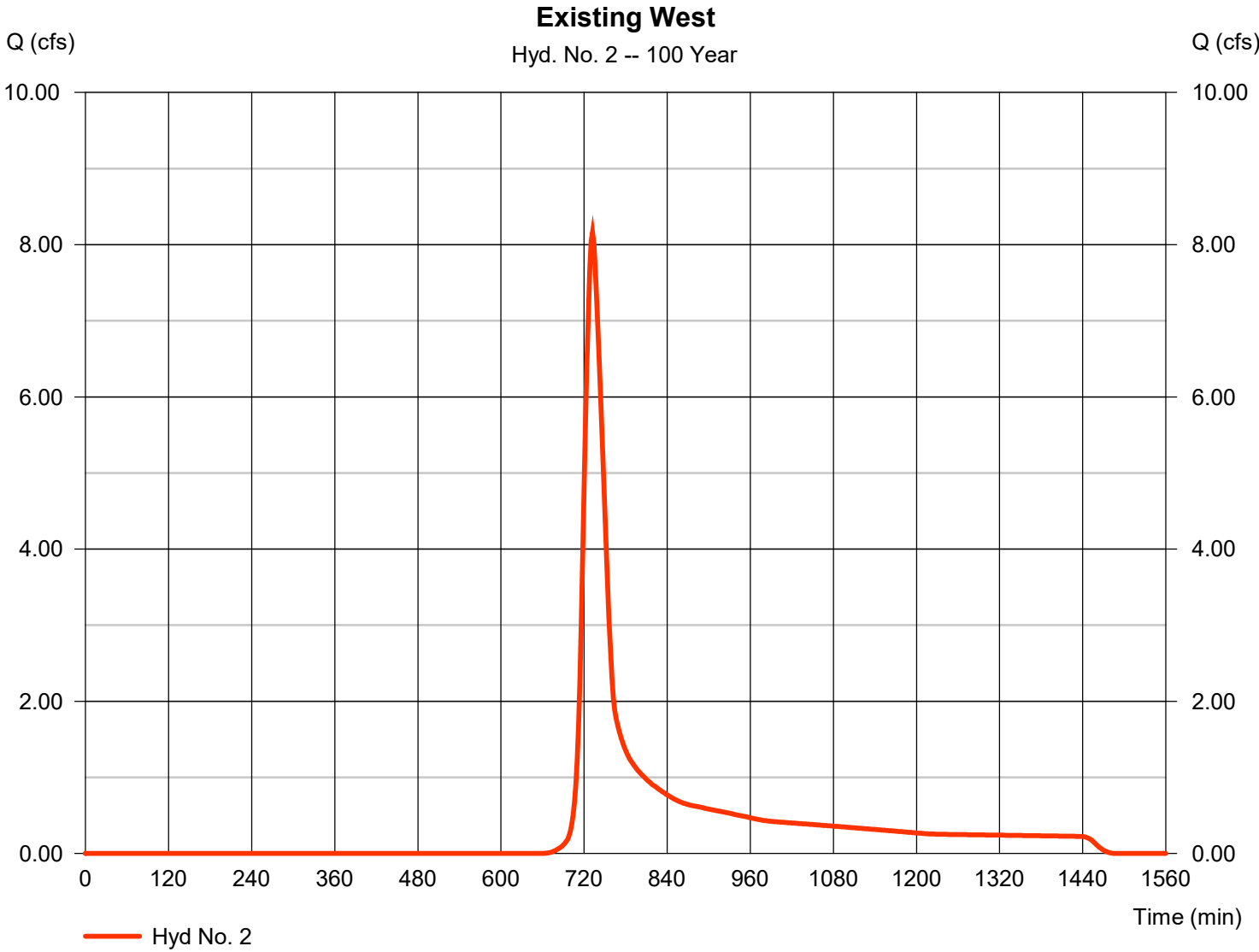
Hydrograph Report

Hyd. No. 2

Existing West

Hydrograph type	= SCS Runoff	Peak discharge	= 8.162 cfs
Storm frequency	= 100 yrs	Time to peak	= 732 min
Time interval	= 2 min	Hyd. volume	= 35,080 cuft
Drainage area	= 6.460 ac	Curve number	= 65*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 27.30 min
Total precip.	= 4.76 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(6.457 x 65)] / 6.460



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

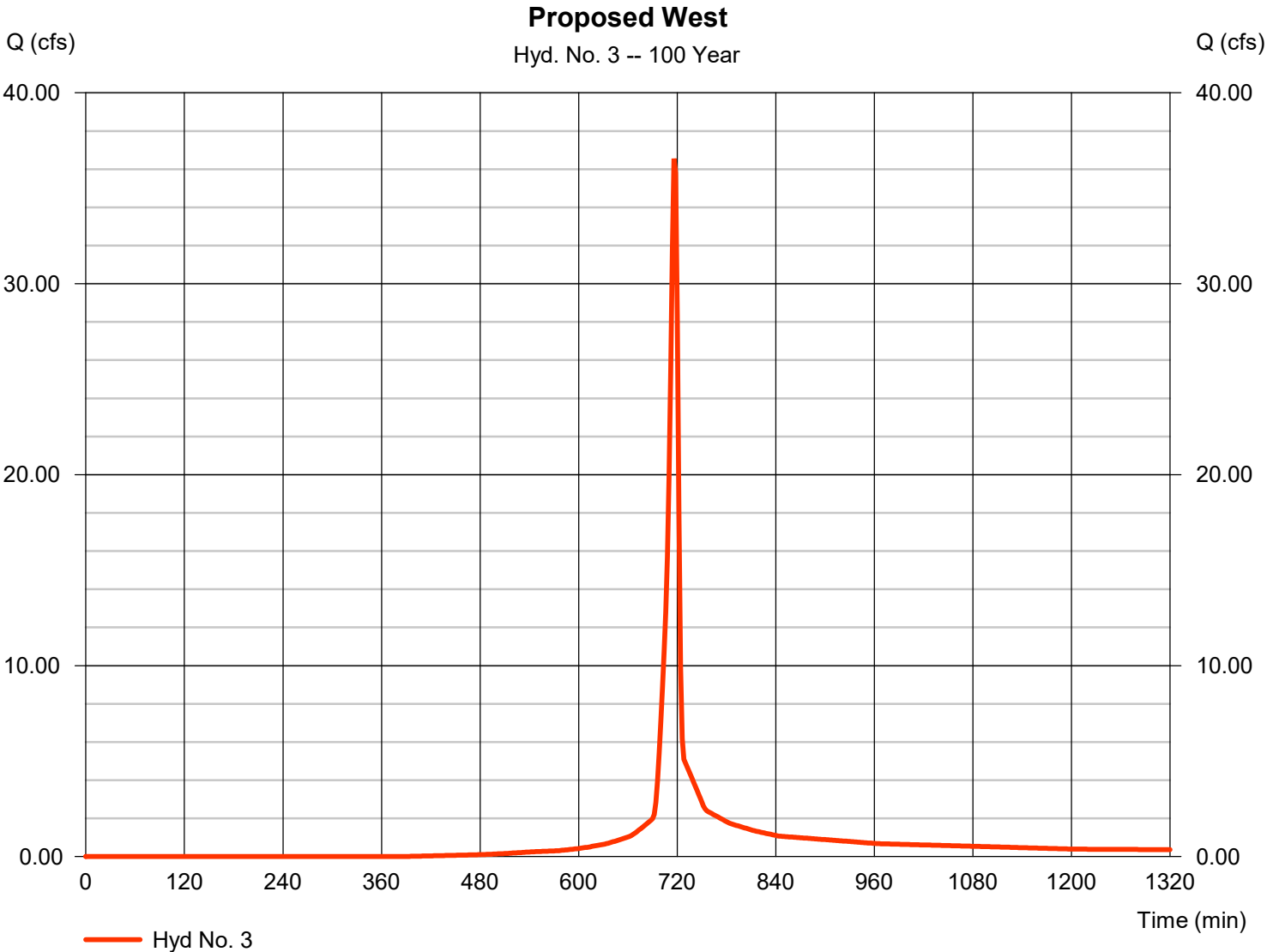
Tuesday, 04 / 19 / 2022

Hyd. No. 3

Proposed West

Hydrograph type	= SCS Runoff	Peak discharge	= 36.55 cfs
Storm frequency	= 100 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 74,889 cuft
Drainage area	= 7.440 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 4.76 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(3.960 x 98) + (0.688 x 75) + (2.795 x 65)] / 7.440



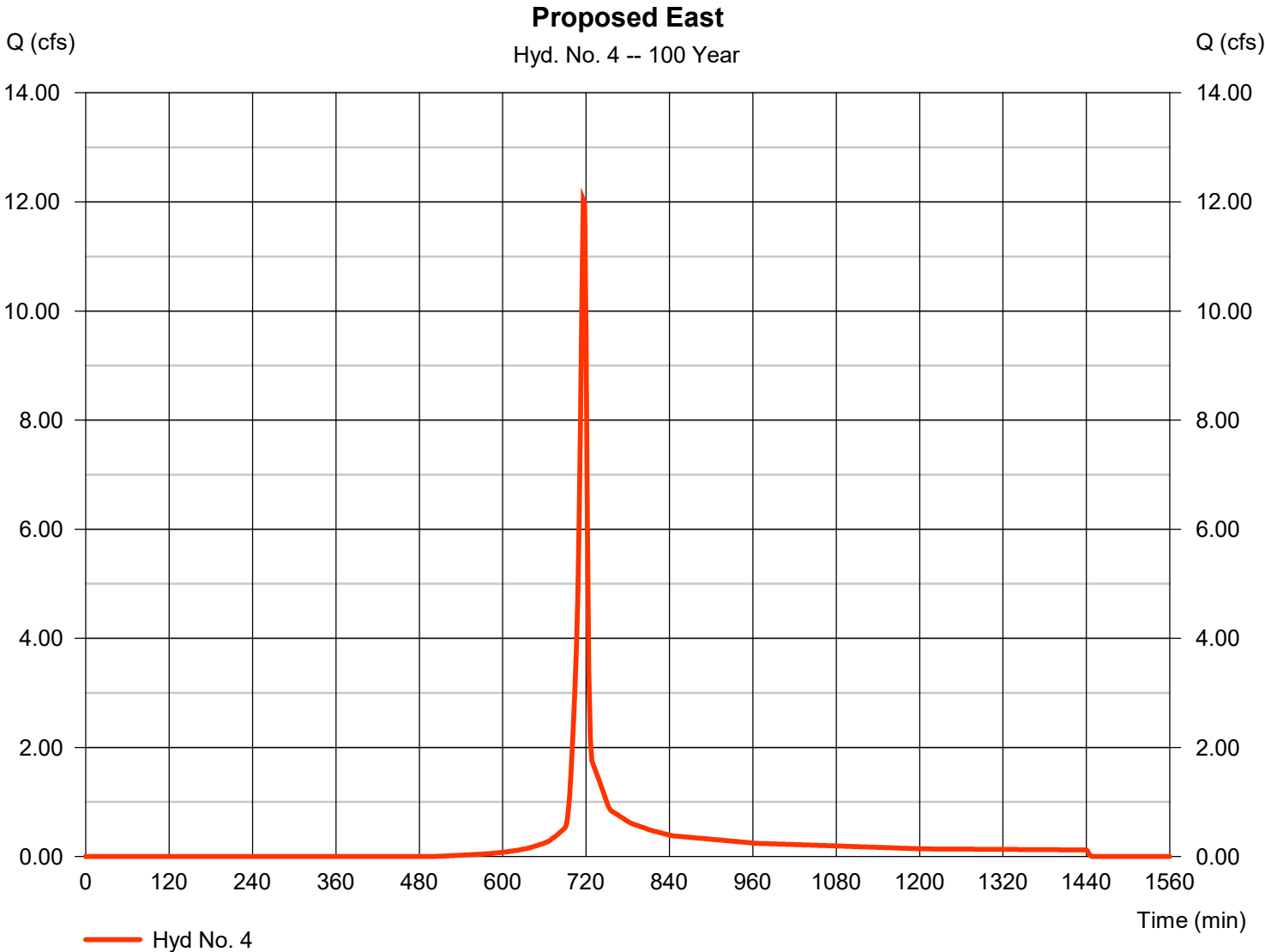
Hydrograph Report

Hyd. No. 4

Proposed East

Hydrograph type	= SCS Runoff	Peak discharge	= 12.04 cfs
Storm frequency	= 100 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 24,330 cuft
Drainage area	= 2.950 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 4.76 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(1.060 x 98) + (1.890 x 65)] / 2.950



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

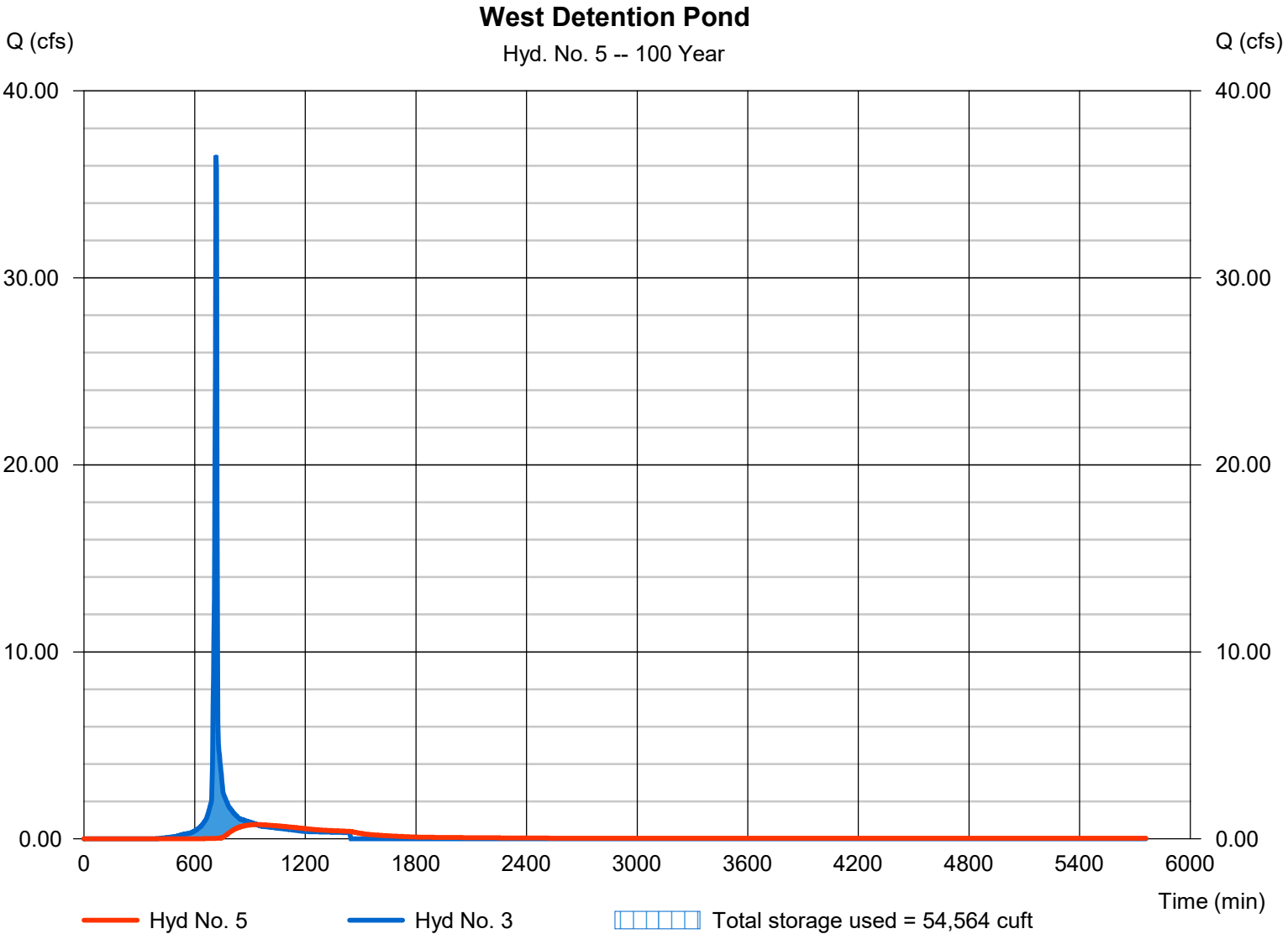
Tuesday, 04 / 19 / 2022

Hyd. No. 5

West Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.761 cfs
Storm frequency	= 100 yrs	Time to peak	= 938 min
Time interval	= 2 min	Hyd. volume	= 37,286 cuft
Inflow hyd. No.	= 3 - Proposed West	Max. Elevation	= 5383.40 ft
Reservoir name	= West Detention Pond	Max. Storage	= 54,564 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

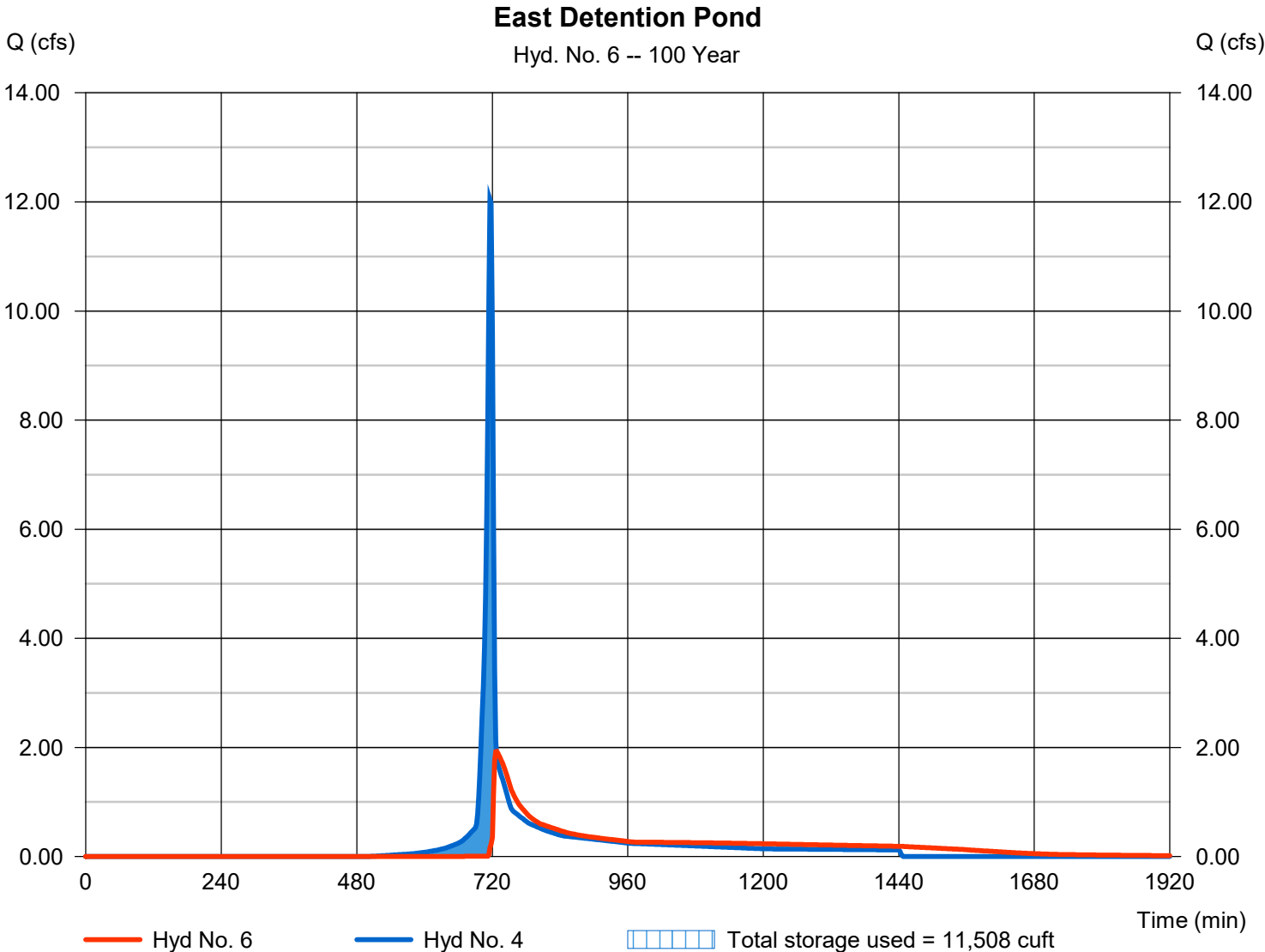
Tuesday, 04 / 19 / 2022

Hyd. No. 6

East Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 1.928 cfs
Storm frequency	= 100 yrs	Time to peak	= 728 min
Time interval	= 2 min	Hyd. volume	= 20,307 cuft
Inflow hyd. No.	= 4 - Proposed East	Max. Elevation	= 5389.90 ft
Reservoir name	= East Detention Pond	Max. Storage	= 11,508 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

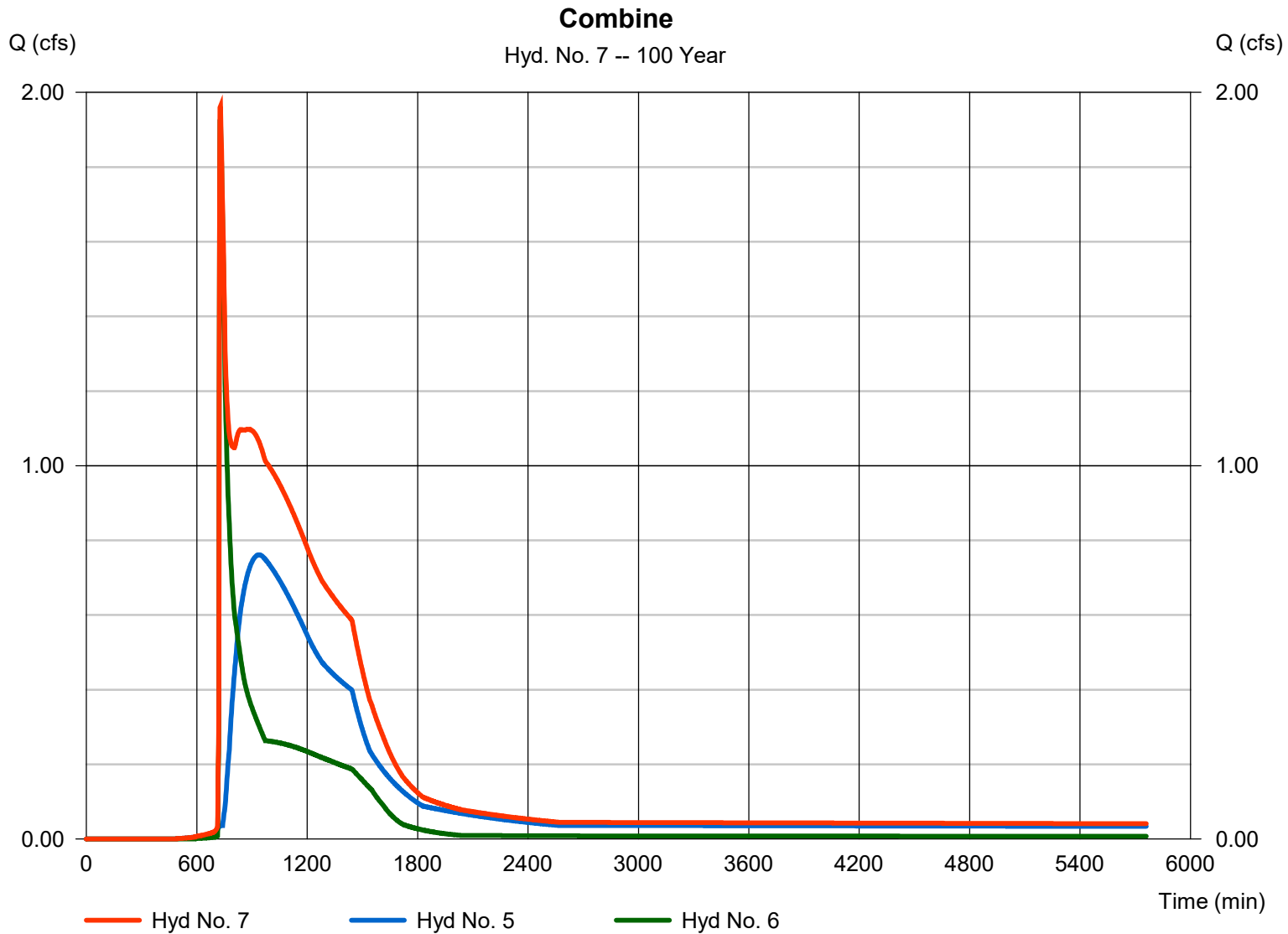
Tuesday, 04 / 19 / 2022

Hyd. No. 7

Combine

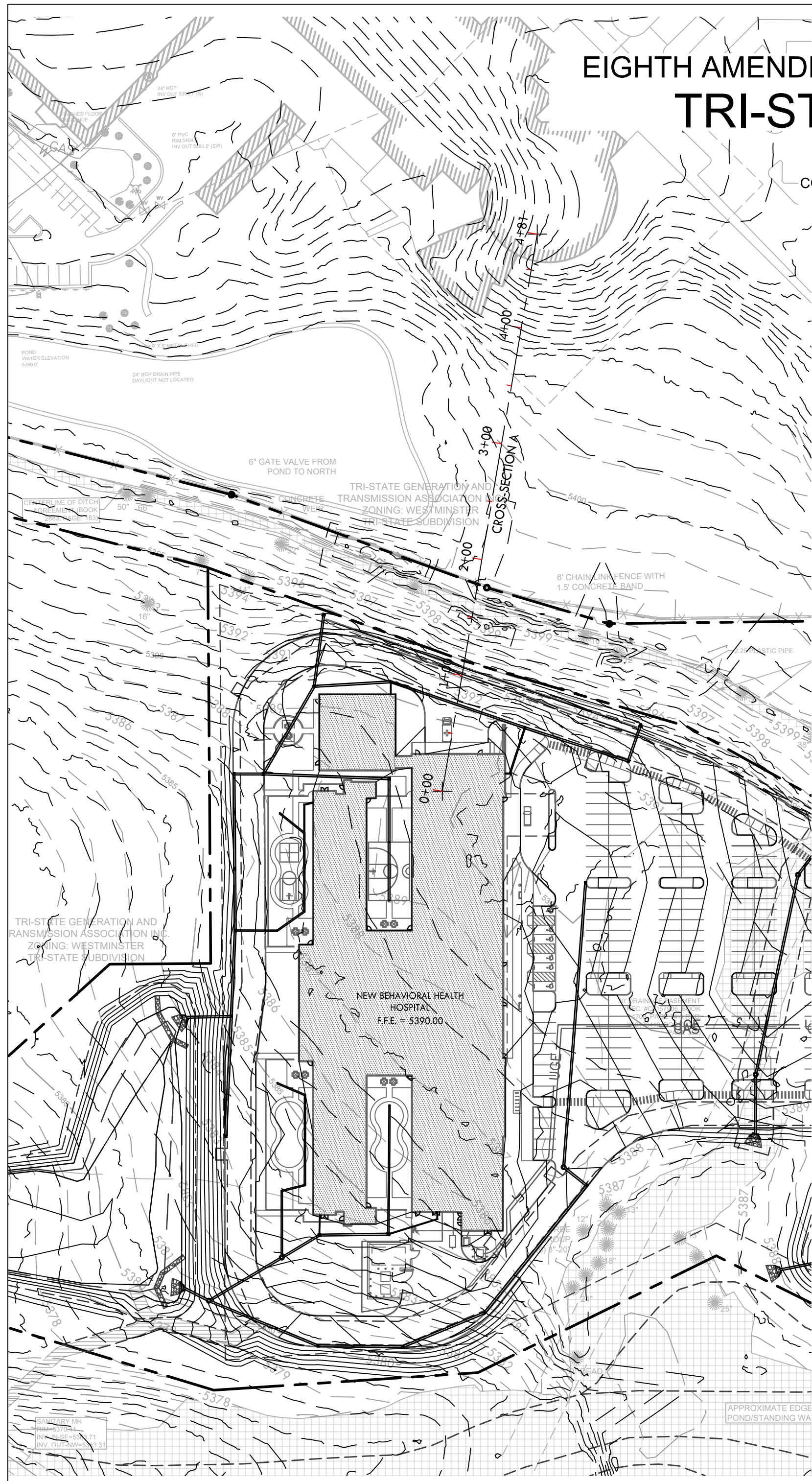
Hydrograph type = Combine
Storm frequency = 100 yrs
Time interval = 2 min
Inflow hyds. = 5, 6

Peak discharge = 1.963 cfs
Time to peak = 728 min
Hyd. volume = 57,593 cuft
Contrib. drain. area = 0.000 ac

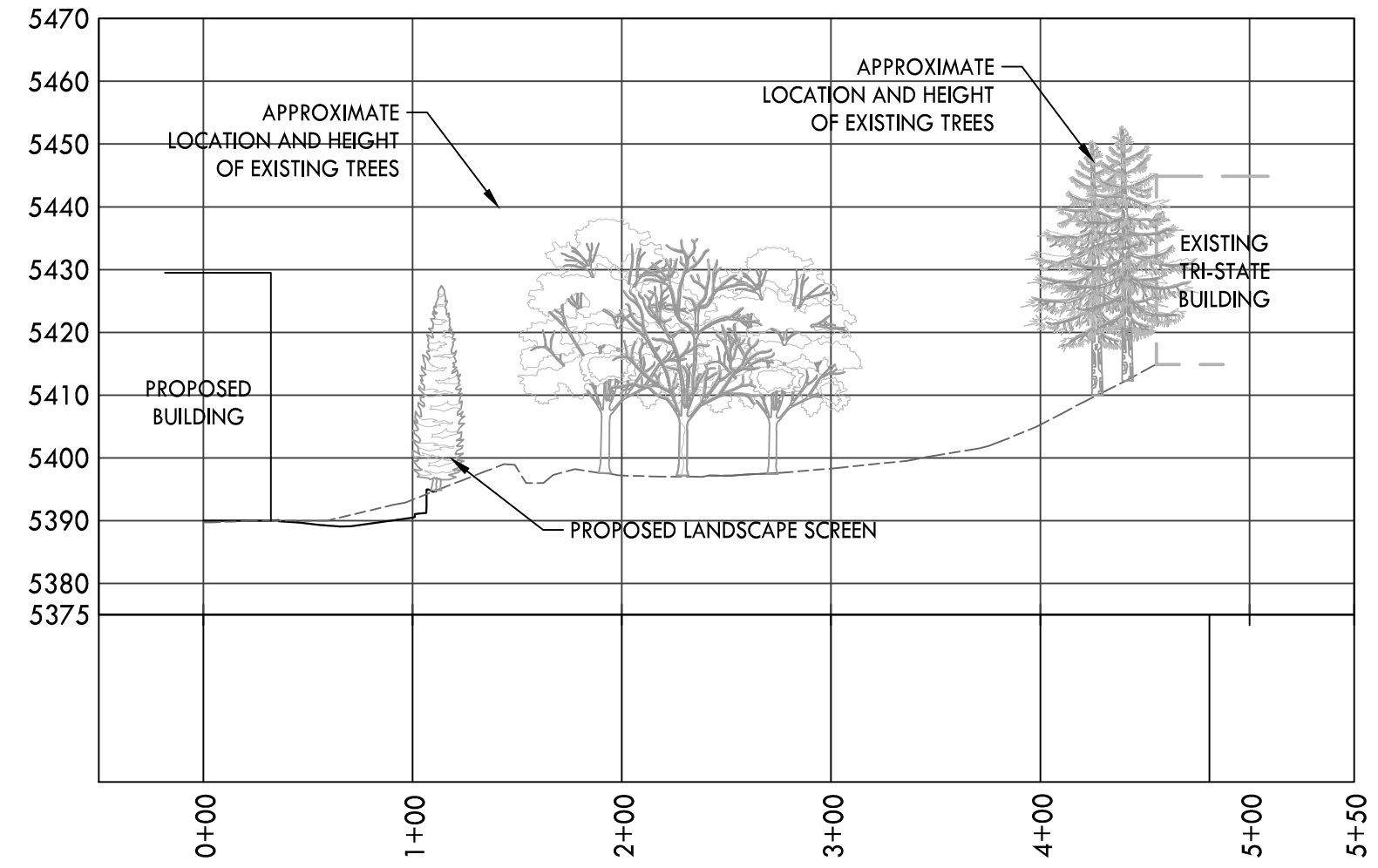


EIGHTH AMENDED OFFICIAL DEVELOPMENT PLAN TRI-STATE 1ST REPLAT

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 12 OF 45



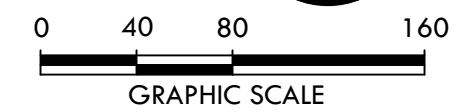
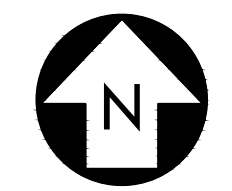
Cross-Section A



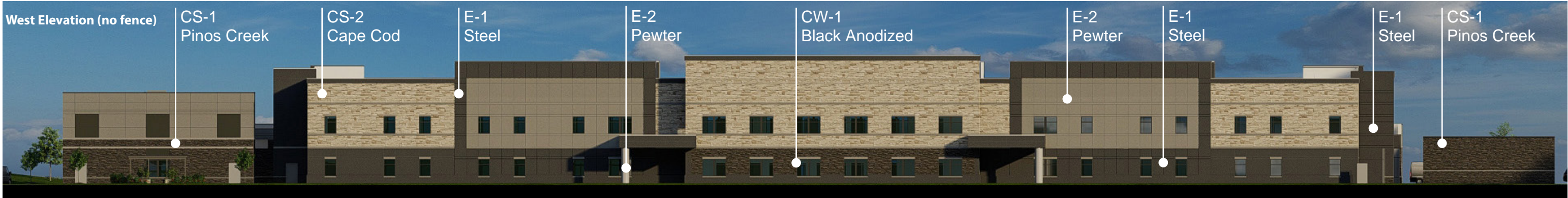
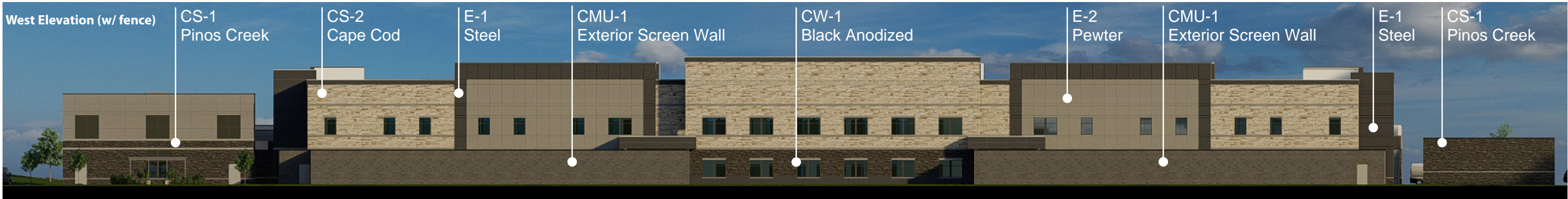
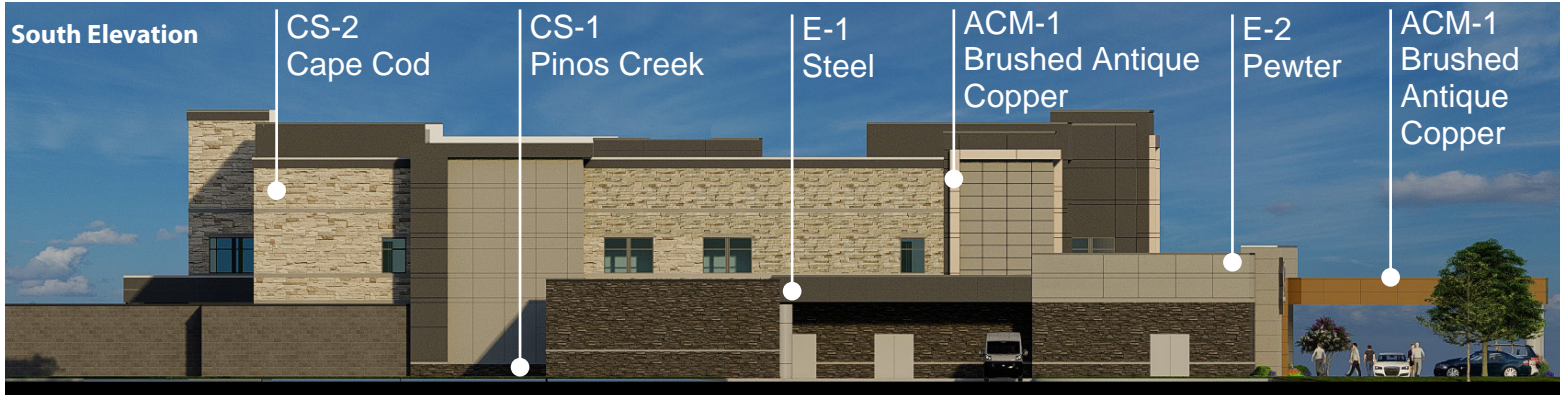
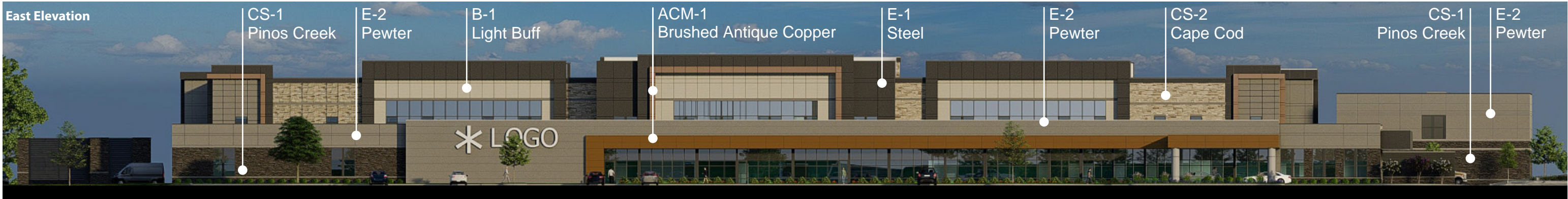
DATE: 06/15/2022

**NEW BEHAVIORAL HEALTH HOSPITAL
ACADIA HEALTHCARE**
1100 W 116TH AVE
WESTMINSTER, CO 80234

PLAN PREPARED:
06/15/2022
REV 1 09/21/2022
REV 2 11/08/2022



SITE GRADING
EXHIBIT



Thin-Stack Stone Veneer

Stacked Stone
Sunset Stone



CS-1
Pinos Creek



CS-2
Cape Cod

EIFS

Outsulation MD Securock
Dryvit



E-1
Steel



E-2
Pewter

Exterior Screen Wall

Concrete Masonry Unity
Split Face - Color selected to match CS-1



CMU-1
Final selection to match CS-1

Composite Metal Panel

Alucobond Plus
Alucobond, Inc.



ACM-1
Brushed Antique Copper

Curtain Wall & Storefront

TBD
TBD



CW-1
Black Anodized

Thin Brick

Thin Brick
Summit Brick Company



B-1
Dakota



New Behavioral Health Hospital - Westminster, Colorado

AHC2103



SCL Health
WEST PINES



STENGEL-HILL
ARCHITECTURE



New Behavioral Health Hospital - Westminster, Colorado

AHC2103





New Behavioral Health Hospital - Westminster, Colorado

AHC2103



SCL Health
WEST PINES





New Behavioral Health Hospital - Westminster, Colorado

AHC2103



New Behavioral Health Hospital - Westminster, Colorado

AHC2103



New Behavioral Health Hospital - Westminster, Colorado

AHC2103



SCL Health
WEST PINES





New Behavioral Health Hospital - Westminster, Colorado

AHC2103



Attendee Report: **Project Meeting for Acadia Behavioral Health Hospital- SWC 116th Ave & Huron Street**

Webinar ID	Actual Start Date/Time	Duration	# Registered
978-306-867	09/15/2022 04:58 PM MDT	1 hour 12 minutes	18

Attendee Details

Last Name	First Name	Email Address	Registration Date/Time	Webinar Questions
Fabrizio	Nicholette	nicfabs@gmail.com	09/11/2022 10:54 AM MDT	
Hall	Chelsey	kaga14baum@gmail.com	09/15/2022 05:11 PM MDT	
Kurowski	Christine	yckurowski@yahoo.com	09/15/2022 05:34 PM MDT	Regarding "partial hospitalization", will patients be likely to wander around the neighborhood before or after their daily treatment? Meaning, are ALL patients transported between their homes and the hospital?
Masters	Karen	karen.masters@imail.org	09/15/2022 05:16 PM MDT	
Matela	JD	jd.matela@gmail.com	09/15/2022 05:33 PM MDT	can there be a stone wall built along the south edge of the property near the loading dock to help block noise that would carry into westbury farms at apple valley north?
Vinnedge	Sandra	sandravinnedge@gmail.com	09/15/2022 11:54 AM MDT	Please explain again where the open space walkway between Huron and Pecos will be.
Hill	Charles	chip@stengelhill.com	09/15/2022 04:37 PM MDT	
Lipsey	Bradley	brad@crunkeng.com	09/15/2022 05:03 PM MDT	
Littrell	Mark	Mark.Littrell@acadiahealthcare.com	09/15/2022 04:45 PM MDT	
Snowden	Michael	msnowden@stengelhill.com	09/15/2022 03:22 PM MDT	
Moss	Gregg	gregg.moss@imail.org	09/15/2022 05:04 PM MDT	
Durning	Megan	megan.durning@imail.org	09/15/2022 07:05 AM MDT	
PC	Stream	itbroadcast@westminster.us	09/15/2022 05:12 PM MDT	
Read	Tim	tread@cityofwestminster.us	09/15/2022 05:01 PM MDT	
Gagliano	Jim	jpgaglian@cityofwestminster.us	09/15/2022 05:05 PM MDT	
McConnell	John	jmcconne@cityofwestminster.us	09/15/2022 04:58 PM MDT	
Lester	David	dlester@cityofwestminster.us	09/15/2022 05:01 PM MDT	
Johnson	Amy	ajohnson@cityofwestminster.us	09/02/2022 04:04 PM MDT	

Johnson, Amy

From: CX SvcAccount
Sent: Wednesday, September 7, 2022 5:01 PM
To: Johnson, Amy
Subject: Voice Message from DAY MAIN MENU Tel: 3035527080
Attachments: 1A14B4BD-810F-4A39-A5B6-31186BA6F742.WAV

Follow Up Flag: Follow up
Flag Status: Completed

Transcription: Hi Amy, this is Elaine mom and I am the owner of the fog development company that has land. Basically, I received something in the mail about a professional development plan that tri state is putting in for hospital behavior hospital. And I can't make the meeting, but I wanted to ask some questions because that piece of land is adjacent to mine. And I wanted to know kind of what the procedures were. And if the comp plan is supporting this particular adventure or I guess but I get 303-552-7080. I'd like to know a little bit more about this. Thanks bye.

Sender's comments are located in WAV file at end of message.

Johnson, Amy

From: CX SvcAccount
Sent: Thursday, September 8, 2022 11:44 AM
To: Johnson, Amy
Subject: Voice Message from DAY MAIN MENU
Attachments: 6BFE422F-B644-497D-8039-F1D6BF915098.WAV

Follow Up Flag: Follow up
Flag Status: Completed

Transcription: This is Bill morris. I'm calling you about this kid deming, academic Health hospital bill here in westminster. By me, I would like to know some more information if this is going to be have criminally insane people or not. And they did that lakewood and they did then eastern boulder anyway, my telephone number is 303-439-4311. Thank you. Take care. But.

Sender's comments are located in WAV file at end of message.

Johnson, Amy

From: annettec80234@yahoo.com
Sent: Friday, September 9, 2022 1:02 PM
To: Johnson, Amy
Subject: [EXTERNAL] Meeting for Acadia Hospital plans

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Amy
Thank you! Excellent work! You have covered every aspect I had concerns about. You are very fair! You have everyone that needs to be there contacted in this development. I have brought this information to the HOA for the Ranch so if they want information they have a chance to join the meeting. So that's all we can do. I wish more people would be involved but they just dont see the importance in it.
Thank you again for your part in contacting me and others.
Sincerely,
Annette Cassell

On Friday, September 9, 2022, 09:04:26 AM MDT, Johnson, Amy <ajohnson@cityofwestminster.us> wrote:

Hi Annette,

Hopefully I just successfully left you a voicemail. In case it was not successful, I wanted to let you know that while I will not be able to read your question and comments aloud at the meeting next week, I did send them to both the applicant and our police department, and they will try to make sure that all of these sorts of concerns are addressed. You will be able to watch the recording of this on YouTube at the link provided in the notice, barring any technical issues there. Also, the Ranch subdivisions which are in part or in whole within 1000' of the Tri-State subdivision were notified as well.

Kindest Regards,

Amy C Johnson, AICP
Senior Planner
City of Westminster | Community Development Department
ajohnson@cityofwestminster.us
| 303.658.2098
4800 West 92nd Avenue, Westminster, CO 80031
City Hall Hours: Monday-Friday, 8 a.m.-5 p.m.

-----Original Message-----

From: annettec80234@yahoo.com <annettec80234@yahoo.com>
Sent: Tuesday, September 6, 2022 2:23 PM
To: Johnson, Amy <ajohnson@CityofWestminster.us>
Subject: [EXTERNAL] Acadia Behavioral Health Hospital

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Amy,

Thank you for taking my phone call today. I live across from the future site of this planned hospital in a residential area. There are small businesses along Huron St. Behind the PNC bank at about 113th Ave is a school with a huge playground area.

My concern if the patients get out and run in the area there are to many residents, children, and small businesses that will become involved by the individuals at large. I have worked at Centennial Peaks mental hospital in Louisville

Colorado & saw the events take place.

This also puts a burden on Northglenn's Police dept. located right on 114th Ave. across from the school I mentioned. We need a Police station from Westminster to be located now close to the edge of Westminster and this new Hospital. Please consider my concerns for the area as I have lived here for 28 years and it should remain a well kept peaceful family lifestyle. Thank You!

Annette Cassell

Notes for meeting-- Consider the location for Safety of Children, 2 schools one very close across from the site.

More Police officers to respond. Northglenn is closest but Westminster needs to be here in location as well.

The Ranch Country Club area residence were they informed ???

Annette Cassell

744 W. 116th Ave.

Northglenn, Co. 80234

(303)280-2215

Johnson, Amy

From: annettec80234@yahoo.com
Sent: Friday, November 18, 2022 3:08 PM
To: Johnson, Amy
Subject: [EXTERNAL] Acadia Hospital

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Amy,
I have accepted the idea of the hospital. If this takes place it's better than more apartments, too much traffic & crime from the apartments we already have. A lot of loud motorcycles and teenagers racing along Huron St. I'm glad the 12 acres will remain open space as there have been a few generations of foxes with their pups that have lived free there. One use to jump my fence to hunt. It was so beautiful with a big red & white bushy tail! The fox is loosing territory as the ware houses took a big area up. Thank you for writing me back ! You are a good person and I wish you a happy Thanksgiving, and a blessed Christmas 2022.

Sincerely,
Annette Cassell

On Friday, November 18, 2022, 02:19:59 PM MST, Johnson, Amy <ajohnson@cityofwestminster.us> wrote:

Hi Annette,

They submitted plans for a second review and are currently working on addressing those comments before submitting again. As mentioned at the neighborhood meeting, the City of Westminster purchased 12.6 acres of land along the south side of this property to both preserve wetlands there and to extend and connect the trail system.

Kindest Regards,

Amy C Johnson, AICP
Senior Planner
City of Westminster | Community Development Department
ajohnson@cityofwestminster.us | 303.658.2098
4800 West 92nd Avenue, Westminster, CO 80031

-----Original Message-----

From: annettec80234@yahoo.com <annettec80234@yahoo.com>
Sent: Wednesday, November 16, 2022 10:00 AM
To: Johnson, Amy <ajohnson@CityofWestminster.us>
Subject: [EXTERNAL] Acadia Hospital plan

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Amy, 11-16-22

I'm the lady that lives in Northglenn with the house that borders the area of the future Acadia Hospital site. I had talked with you back in Sept. due to a meeting that was about the plans for the project.

So I was interested in knowing if it was finalized to go ahead & build the hospital?

That land has been empty forever and I realize in this time of growth it now will be developed. Open space in Colorado will become extinct. So have you heard back?

Curious,
Annette Cassell

Johnson, Amy

From: Johnson, Amy
Sent: Monday, September 19, 2022 8:18 AM
To: 'coloradomonica@gmail.com'
Subject: RE: Voice Message from 3032639562

Hi Monica,

The meeting takes a few [business] days to make in onto the public videos at Westminster's YT channel. It is there now, so I can send you the direct link: https://www.youtube.com/watch?v=LVO_n56GIAU

Kindest Regards,

Amy C Johnson, AICP
Senior Planner

City of Westminster | Community Development Department ajohnson@cityofwestminster.us | 303.658.2098
4800 West 92nd Avenue, Westminster, CO 80031 -----Original Message-----

From: CX SvcAccount <CXSvcAccount@cowestminster.onmicrosoft.com>

Sent: Sunday, September 18, 2022 9:31 AM

To: Johnson, Amy <ajohnson@CityofWestminster.us>

Subject: Voice Message from NIGHT MAIN MENU Tel: 3032639562

Transcription: Hi Amy, this is Monica travis. I live in highlands at West berry. I'm just concerned about that new acadia mental health Care building. I tried to find the 40 minute video on the meeting and I couldn't find it. My phone number is 303-263-9562. And my email is up all lowercase, colorado, monica at g mail dot com. I would love to see that meeting to see what they talked about. And that would be great if you have time to do that, monica travis, thank you. Bye bye.

Sender's comments are located in WAV file at end of message.

Johnson, Amy

From: Nick Altomare <nickyco@gmail.com>
Sent: Tuesday, February 14, 2023 12:27 PM
To: Johnson, Amy
Cc: Lori McNitt; Tanner Penry
Subject: Re: [EXTERNAL] Arcadia Health Care - Amended Official Development

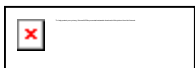
Follow Up Flag: Follow up
Flag Status: Flagged

Thank you, Amy!

I am assuming that my questions would be similar to those within the community concerning the site lines, elevation, proximity, and impact on the community. So my thoughts would be to see if there is a way this could be addressed with the community as a whole to save everyone time. The project seems to be closer to Huron and Navajo Street, rather than Navajo Circle, but still might impact residents on the north of Navajo Circle more than on the South side.

Thoughts? Tanner feel free to weigh in regarding community engagement.

Nicholas Altomare - REAL Broker, LLC
Residential REALTOR® Colorado's Front Range and Northeast Florida
nicholas.altomare@joinreal.com
[My Real Broker, LLC Website](#)
303.579.3914
Real Broker, LLC
Colorado License FA.100071793
Real Broker, LLC Florida
Florida License SL3467789

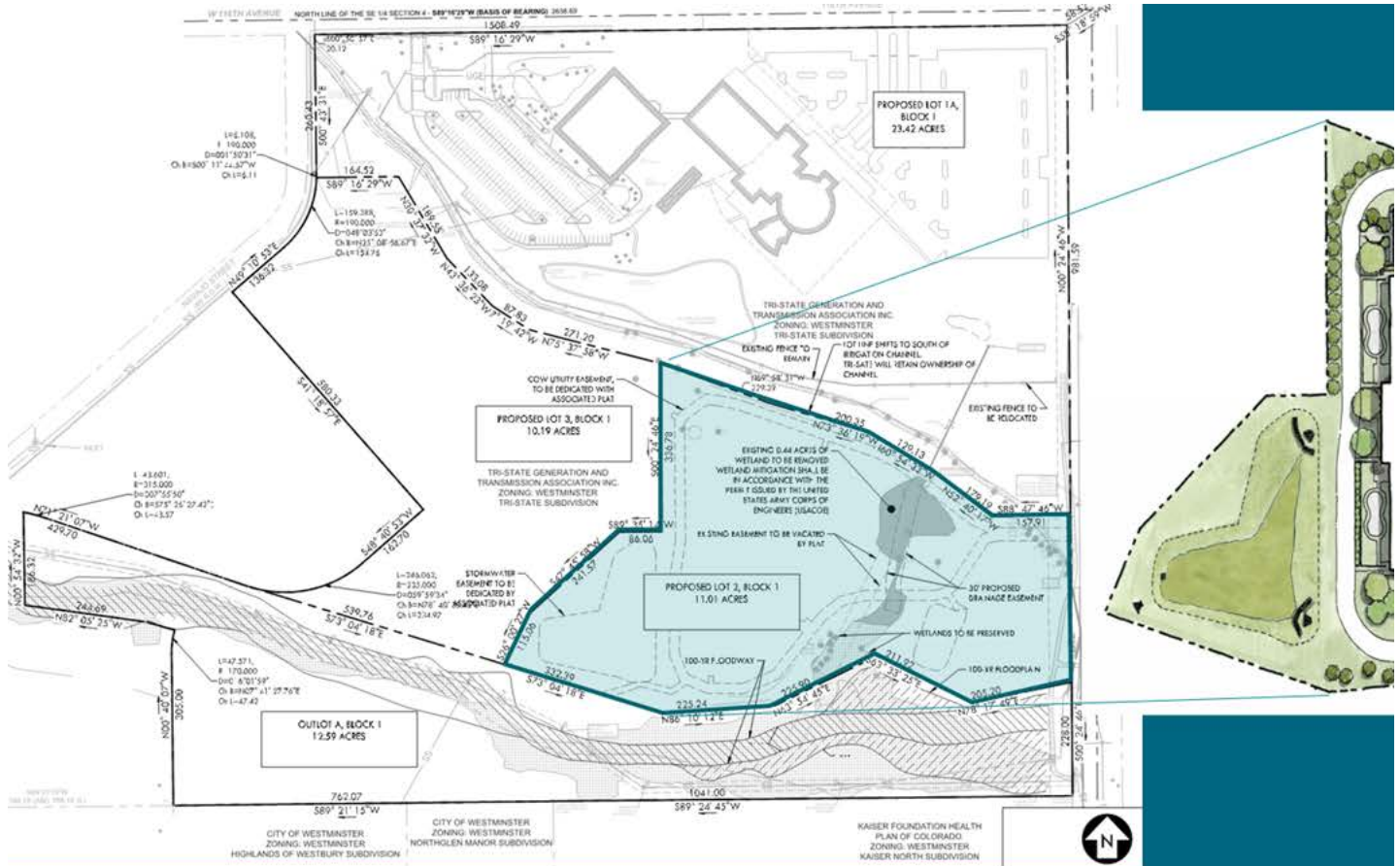


CONFIDENTIALITY NOTICE: This e-mail message, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential and privileged information protected by law. Any unauthorized review, use or distribution is prohibited. If you are not the intended recipient, please contact the sender by reply e-mail and destroy all copies of the original message.

On Tue, Feb 14, 2023 at 11:58 AM Johnson, Amy <ajohnson@cityofwestminster.us> wrote:

Hi Nick, I'm sorry I missed your call, for some reason I did not hear it ring. Although I did not prepare the mailing as that was the applicant/developer, I am sorry that you found it to be unclear. Here is a link to the development status webpage for this project: [https://www.cityofwestminster.us/Portals/1/Documents/Government%20-%20Documents/Departments/Community%20Development/Planning/AJ%20-%20Acadia-Tri-State%20-%20DSW%20Layout%20for%20pdf\[73574\].pdf?ver=CzJ3scVoRfYAoKcWv5CRsg%3d%3d](https://www.cityofwestminster.us/Portals/1/Documents/Government%20-%20Documents/Departments/Community%20Development/Planning/AJ%20-%20Acadia-Tri-State%20-%20DSW%20Layout%20for%20pdf[73574].pdf?ver=CzJ3scVoRfYAoKcWv5CRsg%3d%3d)

I am also working on the staff presentation and tried to create a slide that would help clarify the boundaries because this is a complex part of this project. On the left of the image below, you can see the whole area of the Tri-State Planned Unit Development, and on the right, you can see the lot that is primarily being developed and how it fits in. The only thing being proposed outside of this lot at this time is an adjustment to the fence on the Tri-State lot to the north. I would be happy to set up a time to speak further on the phone if needed. I have some time this afternoon, but I have meetings from 2:30-4:00pm. I should be able to provide you with most information relevant to this project, but I could also connect you with various other staff or applicant/developer contacts if needed.



kindest Regards,

Amy C Johnson, AICP

Senior Planner

City of Westminister | Community Development Department
 ajohnson@cityofwestminster.us | 303.658.2098
 4800 West 92nd Avenue, Westminister, CO 80031

 **WESTMINSTER** | WWW.CITYOFWESTMINSTER.US
<https://www.cityofwestminster.us>

From: Nick Altomare <nickyco@gmail.com>
Sent: Tuesday, February 14, 2023 11:41 AM
To: Johnson, Amy <ajohnson@CityofWestminster.us>
Cc: Lori McNitt <lorimcnitt@yahoo.com>; Tanner Penry <tanner@leasefrontier.com>; Nick Altomare <nickyco@gmail.com>
Subject: [EXTERNAL] Arcadia Health Care - Amended Official Development

Hi Amy,

I left a VM for you as well.

For the amended development plan, I was curious to see if there is a clearer map that shows the development boundaries in relation to the existing communities, especially Highlands at Westbury where I live.

The information provided in the mailer is unclear if not confusing (whether intentional or not), but I believe the community needs to be better informed of the development and the expected impacts from it.

I have copied another community member and the property manager for the community in the email.

Thank you for your assistance.

Nicholas Altomare - REAL Broker, LLC

Residential REALTOR® Colorado's Front Range and Northeast Florida

nicholas.altomare@joinreal.com

[My Real Broker, LLC Website](#)

303.579.3914

Real Broker, LLC

Colorado License FA.100071793

Real Broker, LLC Florida



CONFIDENTIALITY NOTICE: This e-mail message, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential and privileged information protected by law. Any unauthorized review, use or distribution is prohibited. If you are not the intended recipient, please contact the sender by reply e-mail and destroy all copies of the original message.

Johnson, Amy

From: lorihanegan <lorihanegan@comcast.net>
Sent: Tuesday, February 14, 2023 5:04 PM
To: Johnson, Amy
Subject: RE: [EXTERNAL] Acadia proposal

Follow Up Flag: Follow up
Flag Status: Flagged

Amy, Thank you very much. I am happy to learn that you didn't prepare the mailing as it is rather poorly done. Looks like the project would encompass the Tri State east parking lot and part of the building. Good to know it will be just north of Kaiser. Really appreciate your quick response. Good job. Lori

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: "Johnson, Amy" <ajohnson@CityofWestminster.us>
Date: 2/14/23 3:04 PM (GMT-07:00)
To: 'lorihanegan' <lorihanegan@comcast.net>
Subject: RE: [EXTERNAL] Acadia proposal

Hi Lori, I'm sorry I missed your call, and for some reason I did not get your voicemail. Although I did not prepare the mailing as that was the applicant/developer, I am sorry that you found it to be unclear. Here is a link to the development status webpage for this project which may help:

[https://www.cityofwestminster.us/Portals/1/Documents/Government%20-%20Documents/Departments/Community%20Development/Planning/AJ%20-%20Acadia-Tri-State%20-%20DSW%20Layout%20for%20pdf\[73574\].pdf?ver=CzJ3scVoRfYAoKcWv5CRsg%3d%3d](https://www.cityofwestminster.us/Portals/1/Documents/Government%20-%20Documents/Departments/Community%20Development/Planning/AJ%20-%20Acadia-Tri-State%20-%20DSW%20Layout%20for%20pdf[73574].pdf?ver=CzJ3scVoRfYAoKcWv5CRsg%3d%3d)

The only thing being demolished on the Tri-State lot is a fence, and then a new section of fence will be constructed in its place.

I am also working on the staff presentation and tried to create a slide that would help clarify the boundaries because this is a complex part of this project. On the left of the image below, you can see the whole area of the Tri-State Planned Unit Development, and on the right, you can see the lot that is primarily being developed and how it fits in. The only thing being proposed outside of this lot at this time is an adjustment to the fence on the Tri-State lot to the north. I would be happy to set up a time to speak further on the phone if needed. I have meetings for most of the rest of this afternoon. I should be able to provide you with most information relevant to this project, but I could also connect you with various other staff or applicant/developer contacts if needed.



kindest Regards,

Amy C Johnson, AICP

Senior Planner
City of Westminster | Community Development Department
ajohnson@cityofwestminster.us | 303.658.2098
4800 West 92nd Avenue, Westminster, CO 80031



<https://www.cityofwestminster.us>

[Develop in Westminster](#) - Overview of the development process, standards, and requirements

From: lorihanegan <lorihanegan@comcast.net>
Sent: Tuesday, February 14, 2023 3:01 PM
To: Johnson, Amy <ajohnson@CityofWestminster.us>
Subject: [EXTERNAL] Acadia proposal

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sent from my Verizon, Samsung Galaxy smartphone

Amy, I left a voice message but would also appreciate a map showing all 4 lots of tri state, kaiser, the condos and apartments between Pecos and Huron. Will part of tri state be torn down. The vicinity map provided makes no sense.

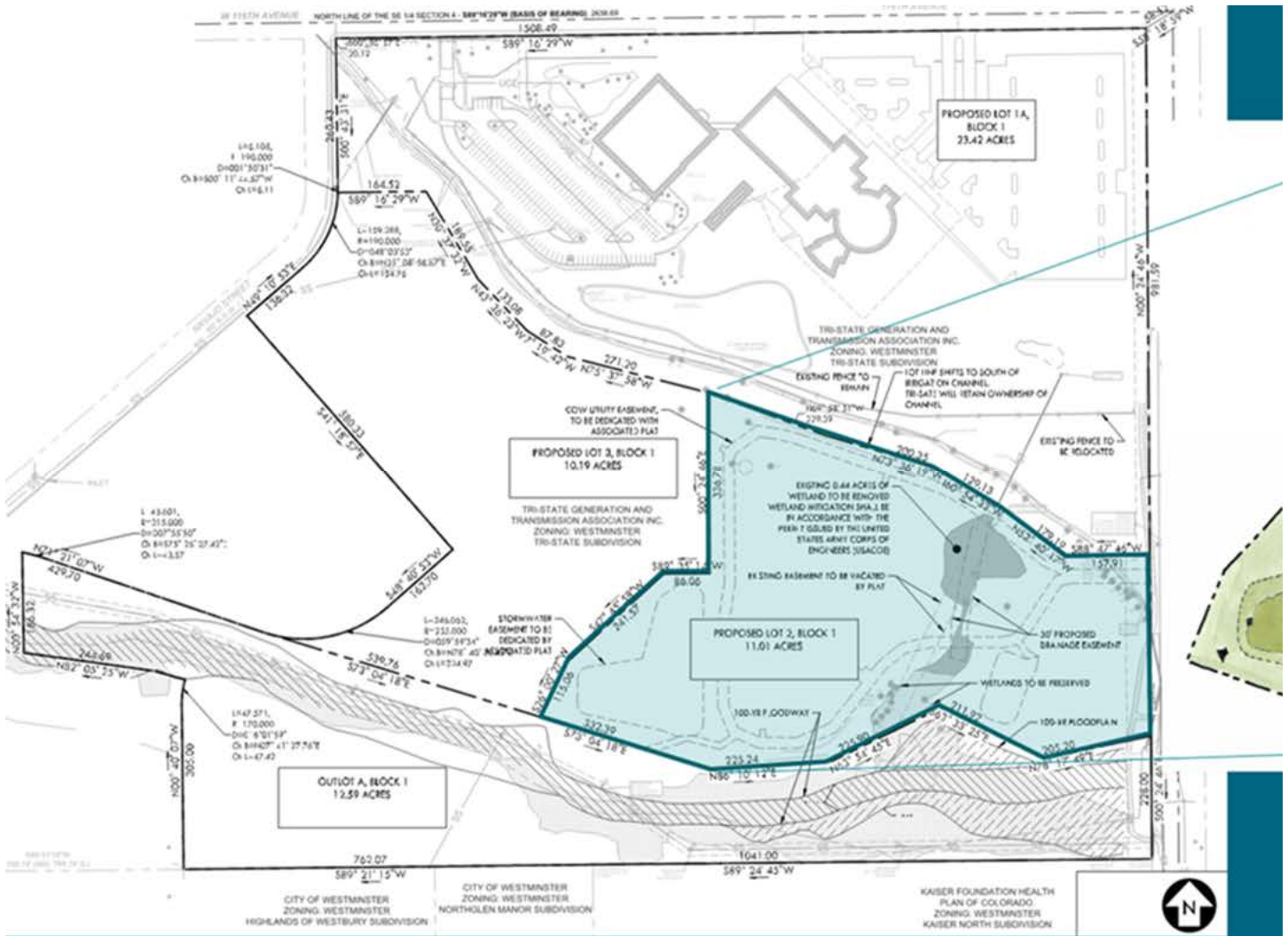
Johnson, Amy

From: Johnson, Amy
Sent: Friday, February 17, 2023 8:51 AM
To: 'Stuart Walker'
Subject: RE: [EXTERNAL] Resident testimony for Acadia Health project

Hello Stuart,

Thank you for sending your testimony. We have received some questions and comments regarding some confusion about this project and I thought it might help for me to send you some additional information. In the images both at the link and in the image below, the lot on which the hospital is proposed is outlined in blue. To the south of it, there is an "OUTLOT A" shown which is 12.59 acres. That lot has been acquired by the City to be open space in perpetuity. The rest of the property has been designated for development since 1981. Here is a link to the project status webpage for this project: [https://www.cityofwestminster.us/Portals/1/Documents/Government%20-%20Documents/Departments/Community%20Development/Planning/AJ%20-%20Acadia-Tri-State%20-%20DSW%20Layout%20for%20pdf\[73574\].pdf?ver=CzJ3scVoRfYAoKcWv5CRsg%3d%3d](https://www.cityofwestminster.us/Portals/1/Documents/Government%20-%20Documents/Departments/Community%20Development/Planning/AJ%20-%20Acadia-Tri-State%20-%20DSW%20Layout%20for%20pdf[73574].pdf?ver=CzJ3scVoRfYAoKcWv5CRsg%3d%3d)

The only thing being proposed outside of this lot at this time is an adjustment to the fence and landscape on the Tri-State lot to the north. I would be happy to set up a time to speak further on the phone if needed and could provide you with most information relevant to this project, but I could also connect you with various other staff or applicant/developer contacts if needed. If this information or any additional information you might require alters the testimony you would like to submit, please let me know in response to this email. Otherwise, I will submit your testimony as you have already written it.



Kindest Regards,

Amy C Johnson, AICP
Senior Planner

City of Westminister | Community Development Department
 ajohnson@cityofwestminster.us | 303.658.2098
 4800 West 92nd Avenue, Westminister, CO 80031

 **WESTMINSTER** | WWW.CITYOFWESTMINSTER.US

<https://www.cityofwestminster.us>

[Develop in Westminister](#) - Overview of the development process, standards, and requirements

[eTRAKIT](#) - Apply for projects and permits, submit plans, make payments and schedule inspections

From: Stuart Walker <stuartwalker1030@gmail.com>

Sent: Thursday, February 16, 2023 3:59 PM

To: Johnson, Amy <ajohnson@CityofWestminister.us>

Subject: [EXTERNAL] Resident testimony for Acadia Health project

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Amy,

My name is Stuart Walker, I live at 1585 W 115th Ave, H206, Westminster CO 80234 (Westbury Apartments). I'm writing in reference to the Acadia Health Care project public hearing scheduled for February 28th. I won't be able to attend the meeting in person or remotely, but I wanted to submit my testimony for the record.

I'm in opposition of this project as it will destroy a gorgeous open space for residents in the surrounding neighborhoods. One of the main reasons I chose to live here was to feel comfortable and the open space next to Westbury Apartments should not be ruined by a giant hospital.

As much as I sympathize with mental health patients (I am one myself), this open space serves as a symbol of the solitude that Colorado has to offer. I in particular live right on the edge of the property and would be forced to walk out of my building to that sight every day. Not to mention the construction. As it stands now, I am greeted by a (snowy) pocket of open land in between residential neighborhoods and it reminds me how lucky I am to live in such a beautiful state. The exact feeling is indescribable, but in a good way.

If we can't have open spaces and parks in Colorado, then it becomes just another state riddled with ugly buildings that symbolize the greed of big business.

I hope you take my testimony into consideration and I hope others will stand up for what they believe in, too. Thank you.

Sincerely,

Stuart Walker