



WESTMINSTER
COLORADO

**AGENDA
PLANNING COMMISSION PRE-MEETING**

Tuesday, May 23, 2023

***A light dinner for Commissioners and staff will be served from
5:45-6:10 p.m. in Conference Room C
Community Development, City Hall***

***Pre-Meeting Begins at 6:30 p.m.
Council Chambers Board Room
Main Level, City Hall***

ITEM NO. 1: Items for Planning Commission Discussion

No items to discuss at this time

ITEM NO. 2: Upcoming Planning Commission Meeting Agenda Items

June 13, 2023 Public Hearing for an Amendment to the Preliminary Development Plan for the Bradburn Subdivision, Filing 1, 10th Replat Block 17, Lot 25 and Lot 26

ITEM NO. 3: Items on This Evening's Agenda

- 3a) Public Hearing and Approval of 4th Amended Preliminary Development Plan and 5th Amended Official Development Plan for Lot 1, Block 2 of the Greenlawn Subdivision Filing No.1 Planned Unit Development *prepared by Nathan Lawrence, Senior Planner*



PLANNING COMMISSION MEETING AGENDA

1. ROLL CALL
2. CONSIDERATION OF PREVIOUS MEETING MINUTES
Meeting Minutes of April 25, 2023
3. CONSIDERATION OF NEW BUSINESS
 - a. Public Hearing and Approval of 4th Amended Preliminary Development Plan and 5th Amended Official Development Plan for Lot 1, Block 2 of the Greenlawn Subdivision Filing No.1 Planned Unit Development

Prepared by: Nathan Lawrence, Senior Planner

4. OLD BUSINESS
5. MISCELLANEOUS BUSINESS
6. ADJOURNMENT

PLEASE NOTE

The following are the procedures used by the Planning Commission for in-person meetings.

For participation guidelines please visit www.cityofwestminster.us/pc

1. Staff will present agenda items. The Developer may present after Staff.
2. Those in attendance who favor the proposed development may address the Commission, followed by those who do not favor the proposed development. The Chair may impose time limits on speakers.
PLEASE SIGN THE SHEET IN THE FRONT OF THE COUNCIL CHAMBERS WHEN YOU SPEAK.
3. All questions shall be addressed to the Chair of the Planning Commission. The Chair will call on Staff to address questions at the end of the hearing. Planning Commission reserves the right to question anyone at any time during the Public Hearing.
4. The Commission is charged with the review of Comprehensive Plan Amendments, Rezoning, Preliminary Development Plans, Amended Preliminary Development Plans, Official Development Plans, Amended Official Development Plans, Preliminary Plats and Amended Preliminary Plats that are not approved administratively by the City Manager.
5. There are two different procedures involved in the review of applications for development plan approval and the procedure depends on the type of plan under consideration:
 - a. After review and a public hearing, the Planning Commission may recommend approval of an application, approval subject to specified conditions, or denial of an application. The Planning Commission is **not** the final authority on these applications. The City Council is the final decision maker.
 - b. On applications for Official Development Plans and Amended Official Development Plans, the Planning Commission **does** make the final decision, unless the decision of the Planning Commission is appealed to the City Council within 10 days of the Planning Commission decision by a "party-in-interest," as described in Section 11-5-13(B.1) of the Westminster Municipal Code. If a decision of the Planning Commission is properly appealed to the City Council, the City Council will schedule the item for consideration at one of their upcoming meetings and, after holding a public hearing, make a final decision on the application.

If you need further information regarding this process, or any other matter related to the City's development review process, please contact the City Planning Division at 303-658-2092.

NOTE: Persons needing an accommodation, such as an interpreter for another language, or who have an impairment that requires accommodation, must notify the Planning Aide no later than noon on the Thursday prior to the scheduled Planning Commission hearing to allow adequate time to discuss arrangements. Please call 303-658-2092/TTY711 or State Relay or email jbaden@cityofwestminster.us to make a reasonable accommodation request.



WESTMINSTER

CITY OF WESTMINSTER
PLANNING COMMISSION
Meeting Minutes
April 25, 2023

1. ROLL CALL

The meeting was called to order at 7:00 pm by Chair Jim Boschert. Present were Vice-Chair Joe McConnell, Commissioners Lawrence Dunn, David Carpenter, David Tomecek, Chennou Xiong, and Tracy Colling. Excused from attendance was Commissioner Rick Mayo. Not excused from attendance was Commissioner Elisa Torrez. Also present: Staff members Interim Planning Manager John McConnell, Development Services Coordinator David German, Deputy City Attorney Greg Graham, and City Clerk Abby Fitch. With the roll called, Chair Boschert stated that a quorum was present

CONSIDERATION OF MINUTES

Meeting Minutes from February 28, 2023.

Commissioner Dunn made a motion to accept the minutes from the February 28, 2023, Planning Commission meeting. Commissioner Carpenter seconded the motion. The minutes were unanimously accepted (7-0).

2. CONSIDERATION OF NEW BUSINESS AND PUBLIC HEARINGS

3a) Public Hearing and Approval of an Amended PDP and Amended ODP for West 81st Place and Sheridan Subdivision, 8160 North Sheridan Boulevard to be known as Elite Motors

David German, Development Services Coordinator, entered into the record the agenda memorandum, attachments, and public notice affidavit of publication from the *Westminster Window* on April 13, 2023. Mr. German narrated a PowerPoint presentation for the proposal to:

- a. Hold a public hearing.
- b. Recommend that the Planning Commission recommend City Council approve the amended Preliminary Development Plan and amended Official Development Plan for West 81st Place and Sheridan Planned Unit Development. **This recommendation is based on a finding that the amended PDP and amended ODP are generally supported by the criteria set forth in Sections 11-5-14 and 11-5-15 of the Westminster Municipal Code.**

The applicant, Derek Price from D4 Architecture narrated a PowerPoint presentation. The owner of Elite Motors, Avak Shabanyan, was also present.

Commissioner Carpenter asked about the design of the project as it pertains to the location of the new ADA ramp in connection to the sidewalk and the alignment to the building. Mr. Shabanyan stated that the existing sidewalk along Sheridan Boulevard will have an extension with a ramp going to the main entrance. Mr. Price explained that there will be ADA accessibility and the handicap accessible parking spot will be located next to the ramp.

Mr. German stated that the City Traffic Engineer, Heath Klein, reviewed this plan and created a level of connectivity with the existing site by having the applicant add the ramp improvement to the site.

Chairperson Boschert stated that there was a comment from a resident nearby stating that it would be unfortunate if test drives were done on 81st Place and Wolff Street. Mr. Shabanyan

responded that all test drives would be done on Sheridan Boulevard and customers would be instructed to take that route to stay off the smaller streets.

Commissioner Tomecek inquired about security. Mr. Shabanyan responded that there would be 4K security cameras and lighting which would help deter criminal activity.

Vice-Chair McConnell inquired about the minor changes to the Amended ODP regarding use of auto sales. Mr. German responded the primary change at the PDP level would add the land use to make it officially allowable. The physical site changes for the project would include adding the striping of the parking lot, improved landscaping, improved dumpster storage enclosure, new lighting, and similar lot improvements. The fire department confirmed that the site is accessible with the layout of the proposed use.

Commissioner Tomecek inquired whether previously acceptable land uses for the site included repair garages. Mr. German did confirm that this site used to be Service/Commercial, which would have allowed for repair garages. The lot was last used as a gas station, and as far as traffic impact and traffic generation, this new use will most likely be a lesser use of the site which should provide a safer environment. Mr. Shabanyan stated that most customers are entering the lot to look at vehicles that they are interested in, and that there would not be any repair work done on the site. Mr. German did confirm that the ODP prohibits onsite repairs.

Chairperson Boschert opened the public hearing at 7:26 pm.

Two public comments received by email were read aloud. One was not in favor of this car dealership due to the size of the lot and the other was concerned about traffic and pedestrian conflicts.

Chairperson Boschert closed the public hearing at 7:28 pm.

Commissioner Colling made a motion recommending that the Planning Commission recommend City Council approve the amended Preliminary Development Plan and amended Official Development Plan for West 81st Place and Sheridan Planned Unit Development. This recommendation is based on a finding that the amended Preliminary Development Plan and amended Official Development Plan are generally supported by the criteria set forth in Sections 11-5-14 and 11-5-15 of the Westminster Municipal Code.

Commissioner Tomecek seconded the motion.

The motion passed unanimously (7-0).

4. ADJOURNMENT

The meeting was adjourned at 7:31 p.m.

THE WESTMINSTER PLANNING COMMISSION

Jim Boschert, Chair

A full recording of the meeting has been posted on The City of Westminster website. www.cityofwestminster.us/pc



WESTMINSTER

Agenda Memorandum

Agenda Item

Planning Commission Meeting May 23, 2023



*Strategic Priority 3: **Shared Sense of Community** – Foster equitable opportunities that help residents feel at home and connected in their community and empowered to live their best lives.*



*Strategic Priority 5: **Robust Infrastructure** – Provide safe and equitable access to core services and amenities by safeguarding, maintaining, and improving the City's water, wastewater, stormwater, mobility, and roadway systems.*

SUBJECT: Public Hearing and Approval of 4th Amended Preliminary Development Plan and 5th Amended Official Development Plan for Lot 1, Block 2 of the Greenlawn Subdivision Filing No.1 Planned Unit Development

PREPARED BY: Nathan Lawrence, Senior Planner

RECOMMENDED PLANNING COMMISSION ACTION:

1. Hold a public hearing.
2. Recommend City Council approve the 4th Amended Preliminary Development Plan and 5th Amended Official Development Plan for Lot 1, Block 2 of the Greenlawn Subdivision Filing No.1 Planned Unit Development. This recommendation is based on a finding that the amended Preliminary Development Plan and amended Official Development Plan are generally supported by the criteria set forth in Sections 11-5-14 and 11-5-15 of the Westminster Municipal Code.

SUMMARY STATEMENT:

- The proposed development consists of one parcel of land totaling 2.49 acres, located on the southwest corner of West 92nd Avenue and Pierce Street, see Attachment 1.
- The amended Preliminary Development Plan (PDP) would add townhomes and single-family attached to the list of permitted uses on Lot 1, Block 2 and modify related development standards, see Attachment 2.
- The amended PDP would update the Public Land Dedication calculation based on the revised projected resident population.
- The amended PDP would update the list of Planned Unit Development (PUD) exceptions from the Multifamily Design Standards minimum standards to accommodate the revised development proposal.
- The amended ODP would allow construction of 40 three-story townhome units on 2.49 acres of land with a density of 16 dwelling units per acre, see Attachment 3.

FISCAL IMPACT:

\$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

Should the Planning Commission recommend approval of the 4th Amended PDP and 5th Amended ODP for Lot 1, Block 2 of the Greenlawn Subdivision Filing No.1 PUD?

ALTERNATIVE(S):

Planning Commission could choose to recommend denial of the 4th Amended PDP and 5th Amended ODP for Lot 1, Block 2 of the Greenlawn Subdivision Filing No. 1 PUD. Staff does not support this alternative as the proposed land uses and modifications to development standards are compatible with the Comprehensive Plan, surrounding land uses, and City Council strategic goals.

BACKGROUND INFORMATION:

Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a PDP and ODP pursuant to the land use allowances established by the Comprehensive Plan. The Comprehensive Plan includes specific land use designations that provide a broad range of uses, and identify allowed densities and intensities of use. The Westminster Municipal Code (W.M.C.) requires that all development be in compliance with the Comprehensive Plan. If the City Council chooses to approve this PDP and ODP, the next steps in the development review process will be to secure the approval of civil construction and building construction documents prior to commencing construction on the site.

History of Subject Property

In 2018, City Council approved the addition of multi-family land uses to the site as part of the 4th Amended PDP in compliance with the 2013 Comprehensive Plan. At the time, a 40-unit multifamily project was proposed to be developed on the site. After this approval, the developer abandoned the concept, and a new developer entered the entitlement process with a new concept. The new development proposal includes a 40-unit townhome project and requires the addition of townhomes as a new land use to the PDP in compliance with the 2040 Comprehensive Plan. Single-family attached residences are also being added to the list of allowable uses, in compliance with the Comprehensive Plan, should the development proposal change in the future. Changes to the PLD calculation and PUD exceptions are also being requested as a direct result of these changes in land use.

Nature of Request

The applicant and property owner are seeking a recommendation of approval of the above referenced 4th Amended Preliminary Development Plan and 5th Amended Official Development Plan in order to allow the development of 40 townhome units on the subject property.

Applicant

Michael Tollefson, Point Consulting, LLC
(701) 866-4122
mtollefson@pnt-llc.com
8460 W Ken Caryl Ave #101
Littleton, CO 80128

Property Owner

Brady Hyde
(630) 570-0737
brady@palzco.com
4615 S Techlink Circle
Sioux Falls, SD 57106

Location

Lot 1, Block 2 of the Greenlawn Subdivision, located on the southwest corner of West 92nd Avenue and Pierce Street.

Surrounding Land Uses and Designations

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	Semper Farm/Farmers High Line Canal	O-1	Open Space/Creek Corridor	Open Space
East	Security Self-Storage	M-1	Employment-Flex	Self-Storage
South	Reflections on 92nd	PUD	Suburban Multi-family	Multi-family Apartments
West	Reflections on 92nd	PUD	Suburban Multi-family	Multi-family Apartments

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before Planning Commission or City Council shall be published and posted at least ten days prior to such hearing. Notice was published in the *Westminster Window* by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign required for every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City's Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.

- **Written Notice:** The applicant shall send notice of the public hearing by first-class mail to all property owners and addresses within 1,000 feet of the subject property. The applicant has provided the City's Planning Manager with a certification that the required notices were mailed by the required deadline.

Westminster Municipal Code Analysis

11-5-14. - Standards for Approval of Planned Unit Development Zoning, Preliminary Development Plans and Amendments to Preliminary Development Plans.

(A) In reviewing an application for approval of Planned Unit Development zoning and its associated Preliminary Development Plan, or an amended Preliminary Development Plan, the following criteria shall be considered:

1. *The Planned Unit Development (PUD) zoning and the proposed land uses in the associated Preliminary Development Plan are in conformance with the City's Comprehensive Plan and all City Codes, ordinances, and policies.*

The proposed addition of the townhomes land use complies with the City's Comprehensive Plan designation of Suburban Multi-family.

2. *The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.*

The plan exemplifies many key planning principles through the development standards presented in this PDP amendment. This site represents a key point of transition from a more auto-oriented development pattern to one that is quickly becoming more multi-modal. By pushing the townhome units towards West 92nd Avenue, a future multi-use trail running the length of the project is activated and its use is encouraged. Other setbacks on the property mirror those of the neighboring property to the south and allow for the efficient design of underground infrastructure. Vehicular access is accommodated near the rear of the property to minimize conflicts with traffic accessing West 92nd Avenue. Abundant sidewalk connections to the surrounding streets allow project residents to walk or bike to nearby destinations, including Downtown Westminster, which is a four-minute bike ride and a 12-minute walk. The applicant is also proposing to upgrade the existing bus stop on West 92nd Avenue with an enclosed bus shelter, allowing for convenient transportation to the US 36/Sheridan RTD Station providing direct access to Boulder and Downtown Denver.

3. *Any exceptions from standard Code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Preliminary Development Plan (PDP).*

The density of the project exceeds eight units per acre, requiring the application of the Multifamily Design Standards as opposed to the typical Single-Family Attached Design Standards used for townhome projects. The Multifamily Design Standards were designed for large, suburban greenfield sites whereas the 2.49-acre subject property is constrained on all sides by existing development and an established road network and is situated within close proximity to Downtown Westminster. As a result, Staff has directed the applicant to design a project that is oriented towards the surrounding neighborhood and promotes public transit use, bicycling and walking in order to reduce traffic and create a better connected and more inclusive community. In addition, the Multifamily Design Standards were written for buildings that are architecturally designed as multi-family buildings which are sometimes at odds with the layout and dimension of townhouse products. Given these unique constraints and goals, a number of exceptions from the Multi-family Design Standards have been requested by the applicant. These exceptions are outlined and justified in detail in the PDP plan set.

4. *The PDP is compatible and harmonious with existing public and private development in the surrounding area.*

Staff believes that the proposed project is compatible and harmonious with existing development in the surrounding area. The proposed three-story scale of architecture is fitting with the neighborhood to the south which is comprised of three-story apartment buildings. Primary resident parking will be handled in tuck-under garages which will screen parking from view of the street.

5. *The PDP provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

Given that the surrounding apartment development was built to a higher density than the proposed development, no negative impacts are expected. Additional landscaping will be provided as required by the Multi-family Design Standards and City Landscape Guidelines to further soften the edges around the development.

6. *The PDP has no significant adverse impacts upon existing or future land uses nor upon the future development of the immediate area.*

No adverse impacts are anticipated as a result of this PDP amendment. The surrounding area is fully developed to the south, east and west and permanent open space has been established to the north.

7. *Streets, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

Vehicular access to the proposed project will be from both West 91st Court and Pierce Street, with full access from West 91st Court and right-in, right-out access off Pierce Street. The townhome units will be accessed from these two points via an internal drive running east to west. A traffic study is required along with the ODP submittal to ensure that any negative impacts from increased traffic are addressed. Abundant bicycle and pedestrian connections to the surrounding streets are proposed, enabling residents to easily walk, bike or take transit to nearby locations including Downtown Westminster.

8. *The City may require rights-of-way adjacent to existing or proposed arterial or collector streets, any easements for public utilities and any other public lands to be dedicated to the City as a condition to approving the PDP. Nothing herein shall preclude further public land dedications as a condition to ODP or plat approvals by the City.*

No additional right-of-way is required along with the proposed development. Staff has determined that the future West 92nd Avenue complete street project can be accommodated along this block with no additional right-of-way acquisition, though a small transportation easement will be needed. It should be noted that the developer will construct the planned streetscape improvements along their frontage including replacing an underutilized vehicular travel lane with a 10-foot tree lawn and adding a 10-foot multi-use trail that will connect to a future trail running the length of the south side of West 92nd Avenue.

9. *Performance standards are included that ensure reasonable expectations of future Official Development Plans being able to meet the Standards for Approval of an Official Development Plan contained in Section 11-5-15, W.M.C.*

The land use and development standards requested by the applicant in this PDP amendment will ensure that the ODP associated with the proposed development will conform to all applicable City Codes. Exceptions from the Multi-family Design Standards have been listed in the PDP and justification has been provided.

10. *The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant complies with this criterion.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an application for Planned Unit Development zoning, a Preliminary Development Plan or an amendment to a Preliminary Development Plan.

11-5-15. - *Standards for Approval of Official Development Plans and Amendments to Official Development Plans.*

(A) In reviewing an application for the approval of an Official Development Plan or amended Official Development Plan, the following criteria shall be considered:

1. *The plan is in conformance with all City Codes, ordinances, and policies.*

The ODP is in conformance with all City Codes, Ordinances, and policies with exceptions to the Multifamily Design Standards listed in the ODP.

2. *The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).*

The plan is in conformance with the PDP amendment that is being considered as part of this development proposal.

3. *For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.*

All PUD exceptions have been explained in the response to the PDP approval criteria above and are noted in the ODP.

4. *The plan is compatible and harmonious with existing public and private development in the surrounding area.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

5. *The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

6. *The plan has no significant adverse impacts on future land uses and future development of the immediate area.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

7. *The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

8. *Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.*

Building setbacks and height conforms with those of surrounding buildings. Lot coverages are typical for townhome style development.

9. *The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.*

The use of stone, stucco, and metal siding is compatible with surrounding buildings while adding a unique architectural style. The corners of the buildings have been stepped down to reduce their overall scale. In addition, two varying building typologies bolster visual interest while maintaining overall architectural coherence.

10. *Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.*

Parking along the southern property line has been planted with dense vegetation, adding to the screening provided by an existing fence. Masonry screen walls have been located in between buildings to screen headlights and views into the rear alleyway from West 92nd Avenue.

11. *Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.*

Minimum overall site area landscape has been reduced to 34 percent from the 40 percent requirement. This reduction allows for the provision of direct pedestrian access from each individual unit to the sidewalk and for a robust internal bicycle/pedestrian network. Landscaping has been provided more than the planting quantities required based on the 40 percent landscaping calculation.

12. *Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.*

A traffic study is required along with the ODP. Staff has identified no issues with existing street capacity in relation to vehicular traffic.

13. *Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

As explained in the response to the PDP approval criteria above, Staff believes that the plan meets this criterion.

14. *Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.*

This site features a high degree of bicycle and pedestrian connectivity, including the addition of a 10-foot multi-use trail that will connect to the US36 trail to the east and Wadsworth Parkway to the west.

15. *Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.*

A new detention pond is proposed on the southwest corner of the site and, in accordance with City Standards, will be adequately sized to accommodate the proposed development. Other storm drainage facilities will be added as required by City Standards as part of the ODP. Drainage and utility studies are required along with the ODP.

16. *The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant complies with this criterion.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an Official Development Plan or an amendment to an Official Development Plan.

Neighborhood Meeting(s) and Public Comments

A virtual neighborhood meeting was held on April 6, 2022. Concerns were voiced by meeting participants related to the proposed reduction in minimum garage size, limited provision of landscaped areas, traffic safety along the length of the West 92nd Avenue corridor, and the proposed housing density in relation to increased traffic and crime.

Questions were asked by meeting participants and answered by staff and the applicant team related to building height, infrastructure provision responsibility, snow, and trash storage, building construction responsibility, water supply and provision of the Americans with Disabilities Act (ADA) accessible units.

Summary of Staff Recommendation

Staff recommends that the Planning Commission recommend approval of the applicant's request to amend the PDP and ODP to add townhomes and single-family attached to the list of permitted uses, modify development standards, and allow the development of a 40-unit townhome project on Lot 1, Block 2 of the Greenlawn Subdivision Filing No. 1 PUD. This recommendation is based on Staff's analysis that the applicant's development proposal satisfies all criteria listed in 11-5-14 and 11-5-14 of the Westminster Municipal Code.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of Shared Sense of Community is met through the proposed development's provision of 40 new units of housing that will be fully integrated into the surrounding community. The City's Strategic Plan priority of Robust Infrastructure is supported by the proposed development's incorporation of thoughtfully designed infrastructure that is well-connected with existing surrounding systems.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "John McConnell". The signature is fluid and cursive, with the first name "John" being more prominent than the last name "McConnell".

John McConnell, AICP
Interim Planning Manager

ATTACHMENTS:

Attachment 1: Vicinity Map

Attachment 2: PDP Plan Set

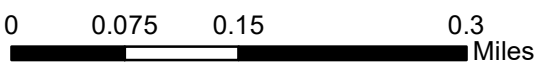
Attachment 3: ODP Plan Set



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Attachment 1

VICINITY MAP



FOURTH AMENDED PRELIMINARY DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 1 OF 3

LEGAL DESCRIPTION

LOT 1, BLOCK 2, GREENLAWN SUBDIVISION FILING NO. 1, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 23 AND THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 2 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 10, 1985 AT RECEPTION NO. 85044032, COUNTY OF JEFFERSON, STATE OF COLORADO.

CONTAINING A CALCULATED AREA OF 108,731 SQUARE FEET OR 2.4961 ACRES, MORE OR LESS.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON THE NORTH LINE OF THE SOUTHWEST ONE-QUARTER OF SECTION 24, TOWNSHIP 2 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN ASSUMED TO BEAR S89°13'18"E AS MEASURED BETWEEN A PK NAIL AND SHINER IN THE ASPHALT OF W 92ND AVE ON THE WEST END AND AN ILLEGIBLE 3.25" ALUMINUM CAP ON THE EAST END.

BENCHMARK

CITY OF WESTMINSTER CP 4 BEING A BRASS CAP SET IN CONCRETE IN THE GRASS BEHIND THE TURN AROUND AREA AT THE WATER TREATMENT PLANT LOCATED AT THE SE CORNER OF W 91ST AVE AND N PIERCE ST. ELEVATION = 5465.76' NAVD88

PROJECT TEAM

OWNER
PIERCE LLC
4615 S TECHLINK CIRCLE
SIOUX FALLS, SD 57105
CONTACT: BRADY HYDE
PHONE: 605.553.1714

ARCHITECT
REAL ARCHITECTURE, LTD
2899 N. SPEER BLVD. SUITE 102
DENVER, CO 80211
PHONE: 303.477.5550
CONTACT: DAVID BERTON

CIVIL ENGINEER
POINT CONSULTING, LLC
8460 W KEN CARYL AVE, SUITE 101
LITTLETON, CO 80128
CONTACT: TIFFANY D. WATSON, P.E.
PHONE: 720.258.6836

LANDSCAPE ARCHITECT
POINT CONSULTING, LLC
8460 W KEN CARYL AVE, SUITE 101
LITTLETON, CO 80128
CONTACT: JIM SHIPTON, RLA
PHONE: 720.258.6836

LAND SURVEYOR
POINT CONSULTING, LLC
8460 W KEN CARYL AVE, SUITE 101
LITTLETON, CO 80128
PHONE: 720.258.6836
CONTACT: CAMERON M WATSON, PLS

1

PERMITTED USES

MULTI-FAMILY
TOWNHOMES
SINGLE-FAMILY ATTACHED

PROHIBITED USES

ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

SUMMARY OF PREVIOUS AMENDMENTS

- FIRST PDP AMENDMENT - TO IDENTIFY SLIGHT MODIFICATIONS IN SETBACKS TO PROVIDE FOR GARAGE BUILDINGS TO BE CONSTRUCTED.
- SECOND PDP AMENDMENT - TO IDENTIFY MORTUARIES AS AN ALLOWED COMMERCIAL USE, AND TO MAKE MINOR ADJUSTMENTS TO SECTIONS OF THE PDP REGARDING PROCESSIONS, SIGNAGE, AND ARCHITECTURAL TREATMENT FOR THE MORTUARY/COMMERCIAL USES.
- THIRD PDP AMENDMENT - TO ADD MULTIFAMILY LAND USE TO LOT 1, BLOCK 2 OF THE GREENLAWN SUBDIVISION FILING NO. 1, TO ESTABLISH MINIMUM PRIMARY BUILDING, ACCESSORY BUILDING, AND PARKING SETBACKS FOR LOT 1, BLOCK 2 OF THE GREENLAWN SUBDIVISION FILING NO. 1 FOR MULTIFAMILY USES. TO ELIMINATE THE MINIMUM UNOBSTRUCTED OPEN SPACE REQUIREMENT FOR LOT 1, BLOCK 2 OF THE GREENLAWN SUBDIVISION FILING NO. 1 TO ELIMINATE THE PARKING MINIMUM SETBACK REQUIREMENT FROM THE RAILROAD ROW, AND REQUIREMENT THAT DWELLING UNITS CONFORM WITH THE DEPARTMENT OF TRANSPORTATION EXTERIOR NOISE STANDARDS FOR LOT 1, BLOCK 2 OF THE GREENLAWN SUBDIVISION FILING NO. 1.

PURPOSE OF AMENDMENT

- #1 - ADD APARTMENTS, CONDOMINIUMS, TOWNHOMES AND SINGLE FAMILY RESIDENCES TO LIST OF PERMITTED USES IN LINE WITH THE WESTMINSTER COMPREHENSIVE PLAN R-18 RESIDENTIAL DESIGNATION.
- #2 - UPDATED PLD CALCULATION BASED ON NEW PROJECTED RESIDENT POPULATION.
- #3 - UPDATED GENERAL DESIGN STANDARDS IN LINE WITH REVISED PROJECT PROPOSAL.
- #4 - UPDATE LIST OF PUD EXCEPTIONS FROM MINIMUM STANDARDS IN THE MULTIFAMILY DESIGN STANDARDS IN ACCORDANCE WITH A REVISED DEVELOPMENT PROPOSAL.

ZONING & LAND USE - LOT 1, BLOCK 2

CURRENT ZONING:
PLANNED UNIT DEVELOPMENT (PUD)

COMPREHENSIVE PLAN DESIGNATION:
R-18 RESIDENTIAL

CURRENT ALLOWABLE LAND USES:

- COMMERCIAL/OFFICES - CLINICS, OFFICE, FINANCIAL INSTITUTIONS, RESTAURANTS, PERSONAL SERVICE SHOPS (BEAUTY, BARBER, LAUNDRY, ETC.) MORTUARY (WITH CHAPEL, OFFICES, STATEROOMS, CASKET SELECTION ROOM, RECEIVING, FLOWER AND CREMATORY SERVICES MAY BE CONTRACTED FOR, HOWEVER, NO CREMATORIUM, EMBALMING FACILITIES, OR OUTDOOR STORAGE IS PERMITTED ON SITE).
- MULTI-FAMILY - (ARCH. TO MATCH EXISTING) WITHIN THE LIMITATIONS OF DENSITY, HEIGHT, SETBACKS AND PARKING RATIOS.

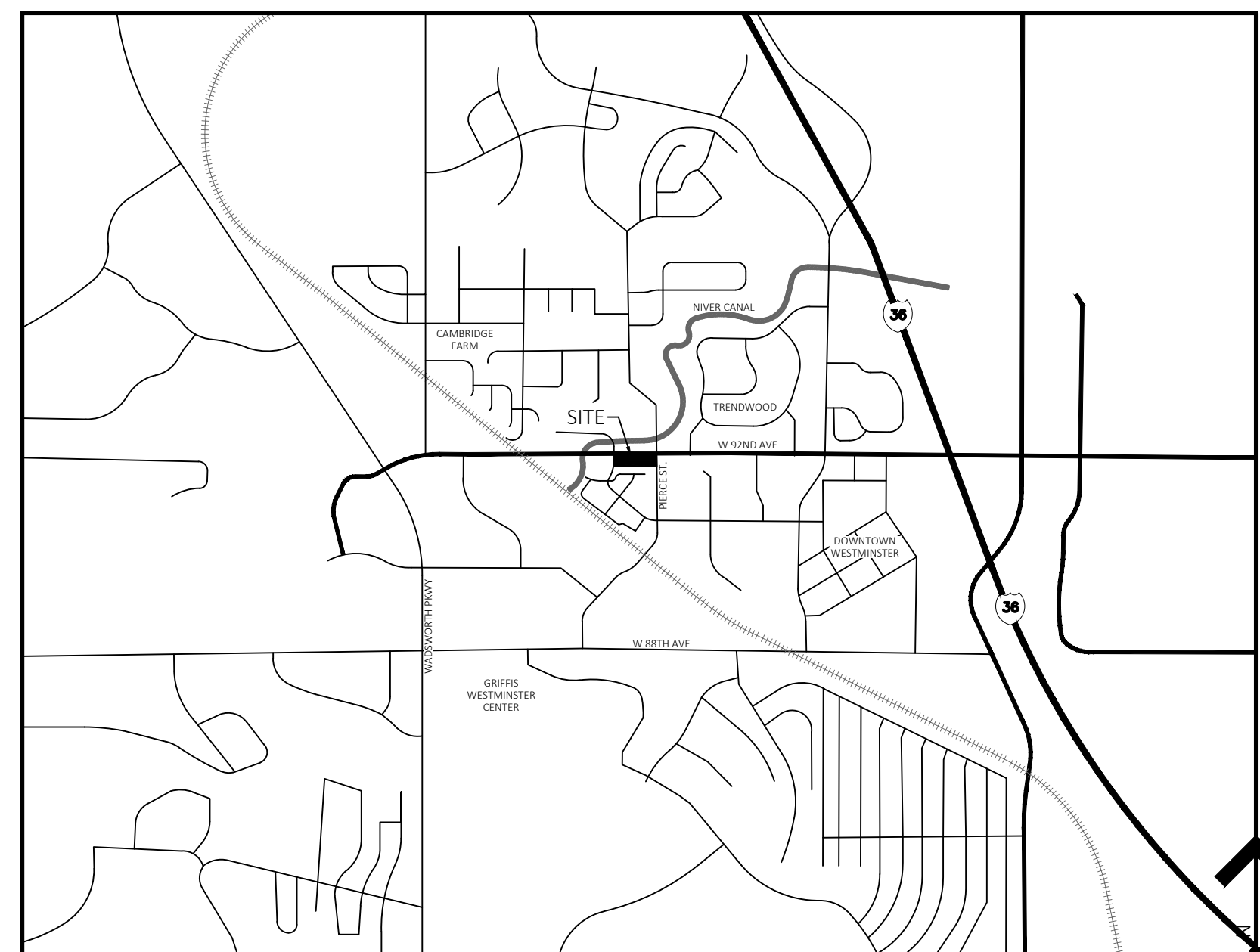
DEVELOPMENT TIMING & PHASING

LOT 1, BLOCK 2, GREENLAWN SUBDIVISION FILING NO. 1, LOCATED IN THE IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S PDP OR LATEST PDP AMENDMENT IS MORE THAN FIVE (5) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE PDP OR AMENDED PDP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:

UPON RECEIPT OF ALL APPROVALS AND BUILDING PERMITS, THE ANTICIPATED CONSTRUCTION SCHEDULE WILL BE 12-15 MONTHS.

THE PROJECT WILL BE CONSTRUCTED IN ONE PHASE.



VICINITY MAP

SCALE: 1" = 2000'

ZONING & LAND USE

SUBJECT SITE:	ZONING	LAND USE	COMP. PLAN DESIGNATION
	PUD	MULTI-FAMILY	SUBURBAN MULTI-FAMILY
NORTH:	O-1	OPEN SPACE	OPEN SPACE/CREEK CORRIDOR
SOUTH:	PUD	MULTI-FAMILY	SUBURBAN MULTI-FAMILY
EAST:	M-1	INDUSTRIAL	EMPLOYMENT-FLEX
WEST:	PUD	MULTI-FAMILY	SUBURBAN MULTI-FAMILY

LAND USE TABLE

SUB AREA	LAND USE	ACRES	% OF PROPERTY	FAR OR DU/AC
	MULTI-FAMILY	2.496 ACRES	100%	MAX. 18.0 DU/AC

OWNER APPROVAL

I, BRADY HYDE, AS A MEMBER OF PIERCE LLC, A DOMESTIC LIMITED LIABILITY COMPANY, PROPERTY OWNER, DO SO APPROVE THIS PDP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20____.

SIGNATURE _____ TITLE _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20____.

CHAIRMAN _____

ATTEST: CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20____.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF JEFFERSON COUNTY AT GOLDEN, COLORADO ON THIS _____ DAY OF _____, 20____, AT _____ O'CLOCK ____M.

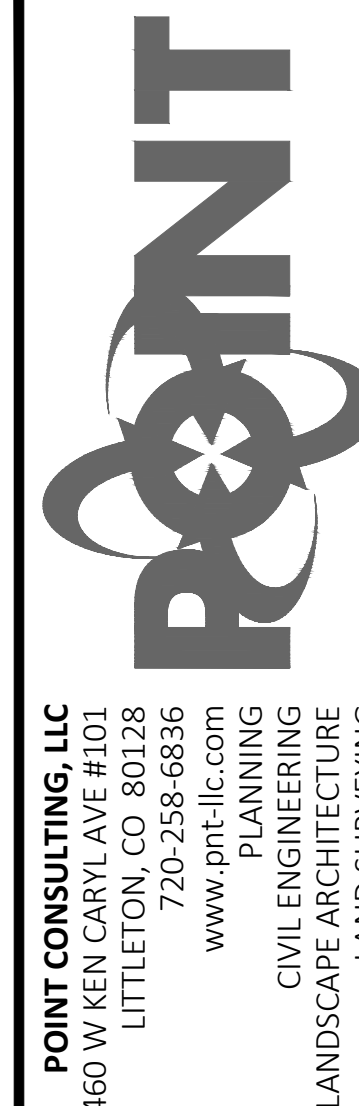
JEFFERSON COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

SURVEYOR'S CERTIFICATE

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED AND REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PDP PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____



POINT CONSULTING, LLC
8460 W KEN CARYL AVE #101
LITTLETON, CO 80128
720-258-6836
www.pnt-llc.com
PLANNING
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

PRELIMINARY DEVELOPMENT PLAN

GREENLAWN SUBDIVISION

WESTMINSTER, COLORADO

JOB NO. 21.037

COVER SHEET

SHEET 1 OF 3

DESCRIPTION

1ST CITY SUBMITTAL
2ND CITY SUBMITTAL
3RD CITY SUBMITTAL
4TH CITY SUBMITTAL
.....

DATE

2022.02.23
2022.10.03
2023.02.27
2023.03.31
.....

SHEET INDEX

SHEET 1 OF 3 COVER SHEET
SHEET 2 OF 3 PROJECT NOTES
SHEET 3 OF 3 SITE PLAN



FOURTH AMENDED PRELIMINARY DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 2 OF 3

PROJECT NOTES

PARK DEVELOPMENT FEE:

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$1,791.00 (2022) PER DWELLING UNIT IS DUE TO THE CITY. FOR 40 DWELLING UNITS THE TOTAL FEE IS \$71,640.00. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PUBLIC LAND DEDICATION:

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE FEE IS BASED ON THE FAIR MARKET VALUE OF THE LAND WHICH MIGHT HAVE BEEN DEDICATED TO THE CITY. PUBLIC LAND DEDICATION IS PROPOSED TO BE PAID CASH-IN-LIEU. THE CITY CODE (11-6-8(B)) REQUIRED 12 ACRES PER 1,000 RESIDENTS.

PROJECTED POPULATION FOR THIS DEVELOPMENT IS 2.5 PERSONS PER UNIT. FOR 40 UNITS THE POPULATION IS 100 PERSONS. FOR 100 PERSONS THE PUBLIC LAND DEDICATION REQUIRED IS 1.2 ACRES. IN ACCORDANCE WITH 11-6-8(B)(4) THE CITY HAS DETERMINED THAT THE FAIR MARKET VALUE OF THE PROPERTY IS \$543,629 BASED ON A CALCULATION OF \$5 PER SQUARE FOOT. BASED ON A FAIR MARKET VALUE OF \$326,700 PER ACRE MULTIPLIED BY 1.2 ACRES, THE CASH-IN-LIEU TOTALS \$392,040. THE CASH-IN-LIEU PAYMENT IS DUE PRIOR TO THE RECORDATION OF THE FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED.

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR 2.5 ACRES A FEE OF \$5,000.00 IS DUE TO THE CITY.

SCHOOL LAND DEDICATION:

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH-IN-LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR MULTI-FAMILY A FEE OF \$468 PER DWELLING UNIT IS DUE TO THE CITY. FOR 40 DWELLINGS THE TOTAL FEE IS \$18,720. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES.

RECOVERIES DUE:

W73-1: WATER LINE \$11/LF OF FRONTAGE ALONG PIERCE STREET AND 92ND AVENUE (PLUS 50% INTEREST)
W 92ND AVENUE STREET CONSTRUCTION FROM WADSWORTH TO HARLAN - \$163,00/LF OF FRONTAGE ALONG 92ND AVE (PLUS 50% INTEREST).

NOTE: RECOVERY OBLIGATIONS HAVE BEEN SATISFIED BY THE STALLAR INTERNATIONAL HOLDINGS AGREEMENT (EFFECTIVE 6/25/1993) AND PAID IN FULL 2/12/1998.

SERVICE COMMITMENTS:

SERVICE COMMITMENTS IN CATEGORY W ARE AVAILABLE ON A FIRST COME, FIRST SERVED BASIS. ONCE THE ALLOCATION FOR ANY GIVEN YEAR IS EXHAUSTED, NO OTHER SERVICE COMMITMENTS OR BUILDING PERMITS WILL BE AVAILABLE.

STANDARD STATEMENTS

- APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN CONSTITUTES A CONCEPT APPROVAL OF THE PLAN SUBJECT TO THE ABILITY OF THE CITY OF WESTMINSTER OR THE LAND OWNER TO PROVIDE NECESSARY SERVICES. DUE TO THE SERIOUS SHORT-RANGE AND LONG-RANGE LIMITATIONS ON THE RAW WATER SUPPLY, WATER TREATMENT CAPACITY AND SEWAGE TREATMENT CAPACITY OF THE CITY, DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN MAY NOT BE POSSIBLE. APPROVAL OF THIS PLAN IMPLIES NO COMMITMENT OF THE CITY OF WESTMINSTER TO PROVIDE SERVICES. THE CITY OF WESTMINSTER ADVISES AGAINST DEVELOPMENT OF LAND IN ACCORDANCE OF THIS PLAN WITHOUT A THOROUGH INVESTIGATION BY THE DEVELOPER OF THE AVAILABILITY OF WATER AND SEWER SERVICE AT THE TIME OF SUCH DEVELOPMENT.
- THE LAND USES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL. WITH SAID REVIEW TO INCLUDE THE LOCATION AND NUMBER OF SUCH ESTABLISHMENTS AND THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- THE DENSITIES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE CONSIDERED AS A MAXIMUM AND SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. IF YOU HAVE ANY QUESTIONS REGARDING THE CITY'S USE TAX REQUIREMENTS, PLEASE CONTACT THE CITY TAX AUDITOR.
- UTILITY EASEMENTS: THE DESIGN OF THE PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.

GENERAL DESIGN STANDARDS

- THE PROJECT PLANNING AND DESIGN WILL BE BASED ON THE 2/18 WESTMINSTER MULTI-FAMILY DESIGN STANDARDS AND REINFORCE THE VISION AND GOALS SET FORTH IN THE CITY'S 8/10/15 COMPREHENSIVE PLAN.
- THE OVERALL ARCHITECTURAL AND SITE DESIGN THROUGH BUILDING PLACEMENT AND ORIENTATION, LANDSCAPING, PEDESTRIAN CONNECTIVITY AND WALKABILITY, AND HIGH QUALITY ARCHITECTURE AND MATERIALS WILL CONTINUE IN CREATING A HIGHER QUALITY AND COHESIVE NEIGHBORHOOD.
- THE BUILDING MASS AND FORMS WILL RELATE TO THE HISTORIC CONTEXT OF THE CITY AND THE URBAN FABRIC OF THE COMMUNITY. ROOFTOP DECKS WILL BE COMBINED WITH OTHER VARIOUS ROOF FORMS, ARCHITECTURAL FEATURES AND HORIZONTAL OFF-SETS TO CREATE A VISUAL VARIETY WHILE PROMOTING AN INTEGRATED CHARACTER FOR THE PROJECT.

SERVING FACILITIES

PUBLIC RECREATION AREAS	WESTGLENN PARK
PUBLIC OPEN SPACE	NIVER CANAL OPEN SPACE
DRAINAGEWAYS	N/A
MAJOR DETENTION	ON SITE
PRIMARY SCHOOL	N/A
ELEMENTARY SCHOOL	SEMPER ELEMENTARY SCHOOL, ADAMS ELEMENTARY SCHOOL
MIDDLE SCHOOL	MANDALAY MIDDLE SCHOOL
HIGH SCHOOL	STANDLEY LAKE HIGH SCHOOL
NEARBY SHOPPING AREAS	SHERIDAN BOULEVARD AND W 92ND AVENUE
NEARBY FIRE STATIONS	FIRE STATION NO. 3
NEARBY BUS STOPS	W 92ND AVE & W 91ST CT, PIERCE ST & W 92ND AVE

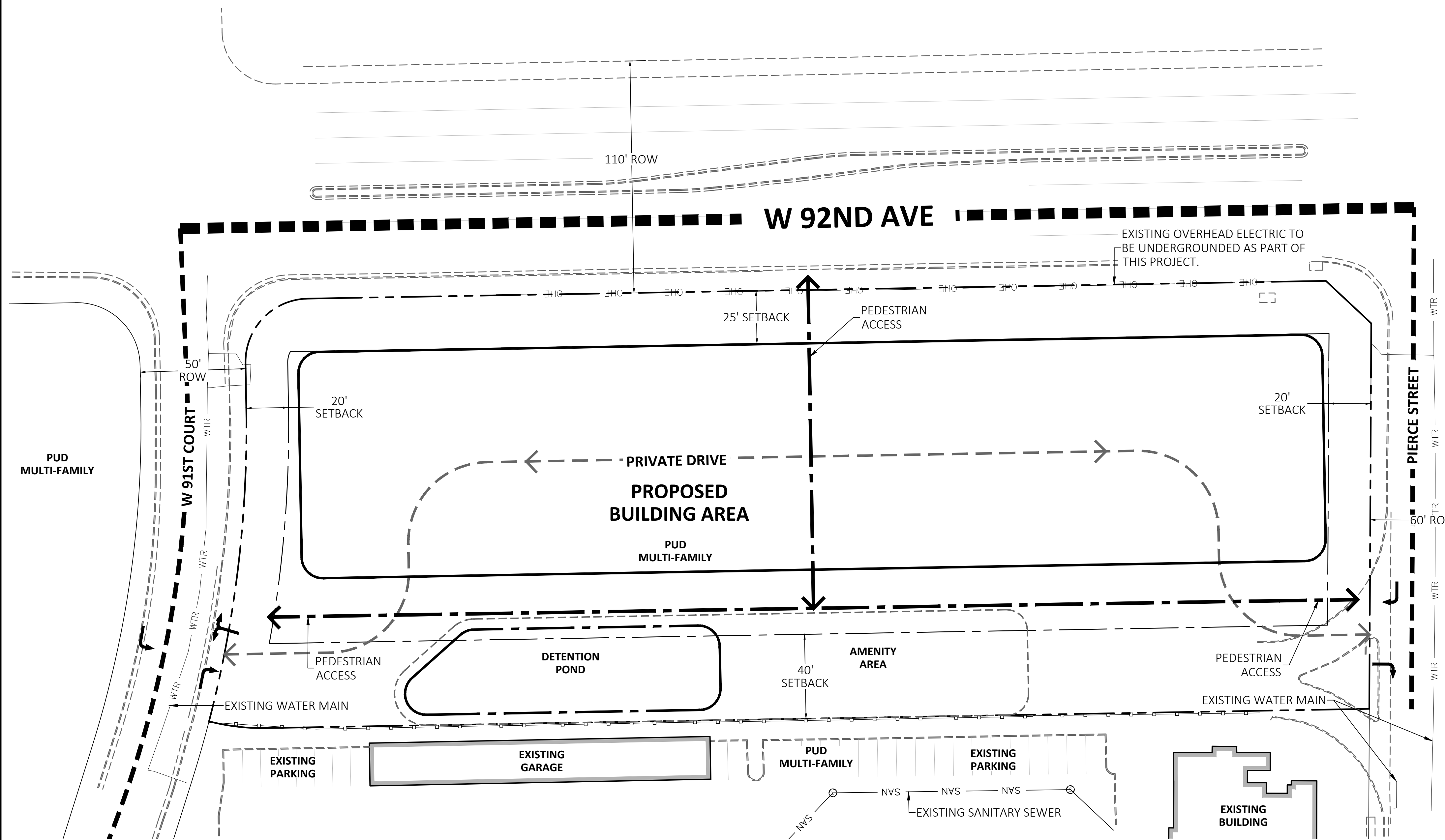
PUD EXCEPTIONS

MULTI-FAMILY RESIDENTIAL DESIGN STANDARDS

- 1.C - 35-FOOT LANDSCAPE AREAS LOCATED INSIDE REQUIRED SETBACK AREAS ARE NOT REQUIRED.
- JUSTIFICATION: LANDSCAPING IS PROVIDED IN THE SETBACK AREAS TO THE EXTENT ALLOWED BY THE EXISTING UTILITY EASEMENT AND REQUIRED BUILDING SETBACKS, WHICH WITH THIS PROJECT HAVE BEEN REDUCED. THE LANDSCAPE FEATURES WILL BE EMPHASIZED AT THE PROPERTY CORNERS, THE ENTRY DRIVES, AND THE AMENITY AREA.
- 1-D - EARTH BERMING IS NOT REQUIRED INSIDE OF SETBACK AREAS.
- JUSTIFICATION: GIVEN THE URBAN INFILL CONTEXT OF THE SITE, EARTH BERMING IS BEING REMOVED IN THE SETBACK AREAS TO PROVIDE AND INCREASED LEVEL OF PEDESTRIAN SITE CIRCULATION AND ACCESSIBILITY. LANDSCAPING IN THESE AREAS WILL BE ENHANCED TO HELP BUFFER THE SITE FROM ADJACENT USES.
- 2.3.1 - GARAGE SIZE REDUCTION FROM 20'-0" WIDE AND 22'-0" LONG TO 18'-2" WIDE AND 18'-2" DEEP.
- JUSTIFICATION: THE GARAGE SIZE WE ARE PROPOSING IS A TYPICAL SIZE GARAGE IN NEW TOWNHOME DEVELOPMENTS. THE SIZE WILL FIT ALL CARS AND MOST LARGE SUV SIZES. THE CONTEXT OF OUR SITE AND THE CLOSE PROXIMITY OF MASS TRANSIT WILL ENCOURAGE POTENTIAL RESIDENTS TO EXPLORE ALTERNATE METHODS OF TRANSPORTATION.
- 7.A.2 - A LANDSCAPED MEDIAN IS NOT REQUIRED AT THE MAJOR ENTRANCE TO THE PROJECT.
- JUSTIFICATION: THE SMALL SCALE AND URBAN INFILL NATURE OF THIS PROJECT DOES NOT JUSTIFY A LANDSCAPED MEDIAN ENTRY AS WOULD A LARGER SUBURBAN GREENFIELD DEVELOPMENT.
- 10.A.2 - MINIMUM SETBACK FROM ARTERIAL STREETS (NORTH PROPERTY LINE) REDUCED TO 25-FEET FROM 75-FEET.
- JUSTIFICATION: THE NORTH PROPERTY LINE SETBACK ALONG 92ND AVENUE IS REDUCED TO CREATE A MORE INTIMATE RELATIONSHIP BETWEEN THE PROJECT AND THE STREET TO ENCOURAGE MULTIMODAL TRANSPORTATION.
- 10.A.3 - MINIMUM SETBACK FROM COLLECTOR STREETS (EAST PROPERTY LINE) REDUCED TO 20-FEET FROM 50-FEET.
- JUSTIFICATION: THE EAST PROPERTY LINE SETBACK ALONG PIERCE STREET IS LOCATED TO MORE CLOSELY ALIGN WITH THE EXISTING RESIDENTIAL DEVELOPMENT DIRECTLY TO THE SOUTH OF THIS SITE.
- SITE 10.A.4 - MINIMUM SETBACK FROM LOCAL STREETS (WEST PROPERTY LINE) REDUCED TO 20-FEET FROM 40-FEET.
- JUSTIFICATION: THE WEST PROPERTY LINE SETBACK ALONG PIERCE STREET IS LOCATED TO MORE CLOSELY ALIGN WITH THE EXISTING RESIDENTIAL DEVELOPMENT DIRECTLY TO THE SOUTH OF THIS SITE.
- SITE 10.A.8 - MINIMUM PARKING LOT SETBACK FROM PRIMARY BUILDINGS REDUCED TO 3-FEET FROM 15-FEET.
- JUSTIFICATION: IN ORDER TO MAXIMIZE THE SIZE OF THE AMENITY AREA AND MEET THE REQUIRED AMOUNT OF GUEST PARKING SPACES, PARKING IS BEING PROPOSED BETWEEN BUILDINGS. THE SPACES WILL NOT BE FACING THE BUILDINGS, THEREFORE REDUCING ANY NEGATIVE EFFECTS OF HEADLIGHT GLARE. THE SPACES WILL ALSO ALLOW FOR CONVENIENT PARKING LOCATIONS FOR COMMUNITY GUESTS.
- SITE 10.D - MINIMUM PARKING LOT SETBACK FROM INTERIOR PROPERTY LINES REDUCED TO 7-FEET FROM 15-FEET.
- JUSTIFICATION: THE PARKING LOT SETBACK IS REDUCED TO ALLOW FOR MAXIMUM USE OF THE OPEN SPACE AREA AND TO ALLOW FOR THE BUILDINGS TO PROPERLY FIT ON-SITE. THE PARKING LOT SETBACK WILL CLOSELY ALIGN WITH THE PARKING LOT SETBACK PROVIDED ON THE MULTIFAMILY DEVELOPMENT TO THE SOUTH. IN ORDER TO OFFSET THE REDUCED WIDTH, A DENSE SCREEN OF EVERGREEN TREES AND SHRUBS WILL BE UTILIZED TO BUFFER THE PROPERTY.
- LAND 1.A.1 - MINIMUM OVERALL SITE AREA LANDSCAPING REDUCED TO 34% FROM 40%.
- JUSTIFICATION: THIS REDUCTION ALLOWS FOR DIRECT PEDESTRIAN ACCESS FROM EACH INDIVIDUAL UNIT TO THE PUBLIC SIDEWALK AND FOR THE PROVISION OF A ROBUST INTERNAL PEDESTRIAN NETWORK. LANDSCAPING HAS BEEN PROVIDED IN EXCESS OF THE PLANTING QUANTITIES REQUIRED BASED ON THE 40% LANDSCAPING CALCULATION.
- ARCH 1.B - BUILDINGS WITH MORE THAN TWO STORIES SHALL BE STEPPED DOWN AT THE EDGES OF THE STRUCTURES BY A MINIMUM OF 8-FEET TO REDUCE BUILDING MASS.
- JUSTIFICATION: THIS REQUIREMENT WAS INTENDED FOR APPLICATION TO MULTIFAMILY BUILDINGS SINCE THE DENSITY OF THE PROJECT EXCEEDS EIGHT UNITS PER ACRE. MULTIFAMILY DESIGN STANDARDS ARE REQUIRED TO BE APPLIED. HOWEVER, THE REMOVAL OF A FLOOR FROM END UNITS IN A TOWNHOME STRING IS NOT TYPICAL FOR THIS CONSTRUCTION TYPE AND SIGNIFICANTLY REDUCES THE SQUARE FOOTAGE AND MARKETABILITY OF THOSE UNITS. A GREAT DEAL OF ARCHITECTURAL ARTICULATION HAS BEEN INCLUDED IN THE DESIGN AND SLOPED ROOFS HAVE BEEN INCORPORATED INTO THE END UNITS TO REDUCE PERCEIVED HEIGHT. IN ADDITION, OVERALL BUILDING HEIGHT IS WELL UNDER THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR THIS PUD.

FOURTH AMENDED PRELIMINARY DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 3 OF 3



LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED FLOWLINE
- PEDESTRIAN ACCESS
- VEHICULAR ENTRY
- PRIVATE DRIVE
- ARTERIAL AND COLLECTOR STREETS

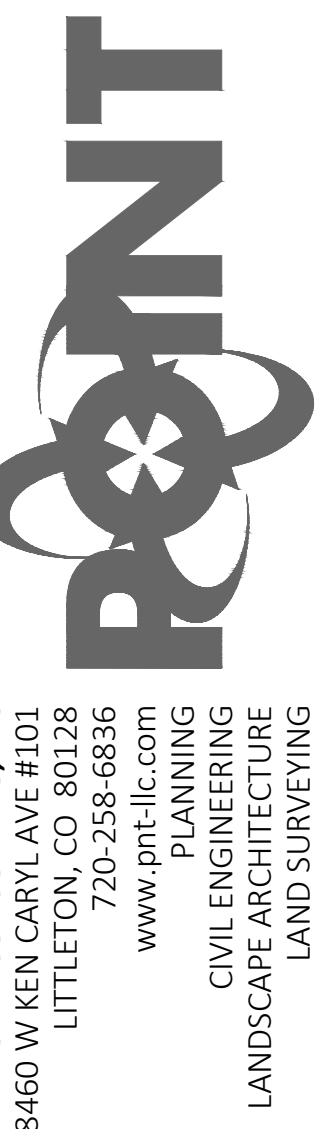
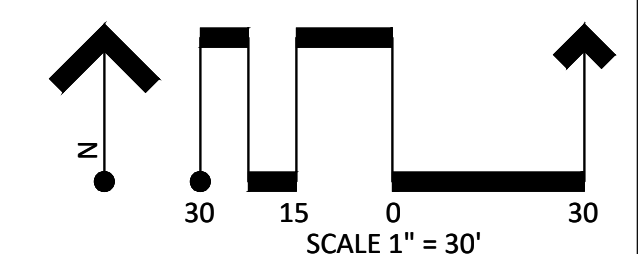
MINIMUM SETBACKS

	PRIMARY BUILDING	ACCESSORY BUILDING	PARKING
NORTH - W 92ND AVE	25'-0"	50'-0"	35'-0"
EAST - PIERCE STREET	20'-0"	35'-0"	35'-0"
WEST - W 91ST CT	20'-0"	25'-0"	35'-0"
SOUTH - PROPERTY LINE	40'-0"	15'-0"	7'-0"

*COVERED PORCHES AND BALCONIES ARE ALLOWED TO EXTEND UP TO SEVEN (7) FEET INTO THE BUILDING SETBACK AREAS.

ADDITIONAL DEVELOPMENT STANDARDS (MULTIFAMILY LAND USE)

MINIMUM DWELLING UNIT SIZE, S.F. 500'
MAXIMUM BUILDING HEIGHT 40'
PARKING (TO MEET CITY STANDARDS)



PRELIMINARY DEVELOPMENT PLAN
GREENLAWN SUBDIVISION
WESTMINSTER, COLORADO

DATE	DESCRIPTION
2022.09.23	1ST CITY SUBMITTAL
2022.10.03	2ND CITY SUBMITTAL
2023.02.27	3RD CITY SUBMITTAL
2023.03.31	4TH CITY SUBMITTAL
...	...

21.037 - PDP - Site Plan - 3
JOB NO. 21.037
SHEET 3 OF 3

FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 1 OF 23

LEGAL DESCRIPTION

LOT 1, BLOCK 2, GREENLAWN SUBDIVISION FILING NO. 1, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 23 AND THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 2 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 10, 1985 AT RECEPTION NO. 85044032, COUNTY OF JEFFERSON, STATE OF COLORADO.

CONTAINING A CALCULATED AREA OF 108,731 SQUARE FEET OR 2.4961 ACRES, MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED AND REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PDP PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____

PERMITTED USES

MULTI-FAMILY
TOWNHOMES
SINGLE-FAMILY ATTACHED

PROHIBITED USES

ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

PROJECT SCOPE

A TOWNHOME RESIDENTIAL PROJECT CONSISTING OF 6 TWO-STORY BUILDINGS RANGING FROM FIVE TO 8 UNITS A BUILDING. THE BUILDINGS INCLUDE A TWO CAR GARAGE AND A ROOFTOP DECK WITH EACH UNIT. THE DEVELOPMENT WILL ALSO INCLUDE GUEST PARKING, AN AMENITIZED COMMUNITY AREA THAT HAS GRILLS, A FIRE PIT, AND AN OPEN GRASS AREA FOR RECREATION. THE SITE WILL INCORPORATE ON-SITE DETENTION AND A NEW BUS SHELTER ALONG W. 92ND AVENUE.

FULL FORCE AND EFFECT

ALL PROVISIONS OF THE ORIGINAL ODP, RECORDED AT RECEPTION NO. 850128531, AND SUBSEQUENT ODP AMENDMENTS SHALL REMAIN IN FULL FORCE AND EFFECT, EXCEPT AS OTHERWISE NOTED HEREIN.

DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.



VICINITY MAP

SCALE: 1" = 2000'

ZONING & LAND USE

	ZONING	LAND USE	COMP. PLAN DESIGNATION
SUBJECT SITE:	PUD	MULTI-FAMILY	SUBURBAN MULTI-FAMILY
NORTH:	O-1	OPEN SPACE	OPEN SPACE/CREEK CORRIDOR
SOUTH:	PUD	MULTI-FAMILY	SUBURBAN MULTI-FAMILY
EAST:	M-1	INDUSTRIAL	EMPLOYMENT-FLEX
WEST:	PUD	MULTI-FAMILY	SUBURBAN MULTI-FAMILY

LOTS AND COVERAGE

TOTAL SITE AREA:	108,731 SF, 2.49 ACRES
NUMBER OF LOTS:	40
BUILDING COVERAGE (SF & %):	28,612 SF, 26.4%
PARKING AND DRIVES (SF & %):	35,612 SF, 32.7%
LANDSCAPE AREA (SF & %):	38,359 SF, 35.3%
PATIO AREA (SF & %)	6,148 SF, 5.6%

PROJECT/SITE DATA

ODP BOUNDARY AREA (SF/ACRES):	108,731 SF, 2.49 ACRES
GFA (SF):	42,583
FFA (SF):	36,353
DU PER ACRE (#):	16 DU / ACRE
MAXIMUM BUILDING HEIGHT(S) (FT):	39'-11"

MINIMUM SETBACKS

	PRIMARY BUILDING	ACCESSORY BUILDING	PARKING
NORTH - W 92ND AVE	25'-0"	50'-0"	35'-0"
EAST - PIERCE STREET	20'-0"	35'-0"	35'-0"
WEST - W 91ST CT	20'-0"	25'-0"	35'-0"
SOUTH - PROPERTY LINE	40'-0"	15'-0"	7'-0"

*COVERED PORCHES AND BALCONIES ARE ALLOWED TO EXTEND UP TO SEVEN (7) FEET INTO THE BUILDING SETBACK AREAS.

OWNER APPROVAL

I, BRADY HYDE, AS A MEMBER OF PIERCE LLC, A DOMESTIC LIMITED LIABILITY COMPANY, PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

SIGNATURE _____ TITLE _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

CHAIRMAN _____

ATTEST: CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20____.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF JEFFERSON COUNTY AT GOLDEN, COLORADO ON THIS _____ DAY OF _____, 20____, AT _____ O'CLOCK __M.

JEFFERSON COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

PROJECT TEAM

OWNER
PIERCE LLC
4615 S TECHLINK CIRCLE
SIOUX FALLS, SD 57105
CONTACT: BRADY HYDE
PHONE: 605.553.1714

ARCHITECT
REAL ARCHITECTURE, LTD
2899 N. SPEER BLVD. SUITE 102
DENVER, CO 80211
PHONE: 303.477.5550
CONTACT: DAVID BERTON

CIVIL ENGINEER
POINT CONSULTING, LLC
8460 W KEN CARYL AVE, SUITE 101
LITTLETON, CO 80128
CONTACT: MITCHELL SHEARER, P.E.
PHONE: 720.258.6836

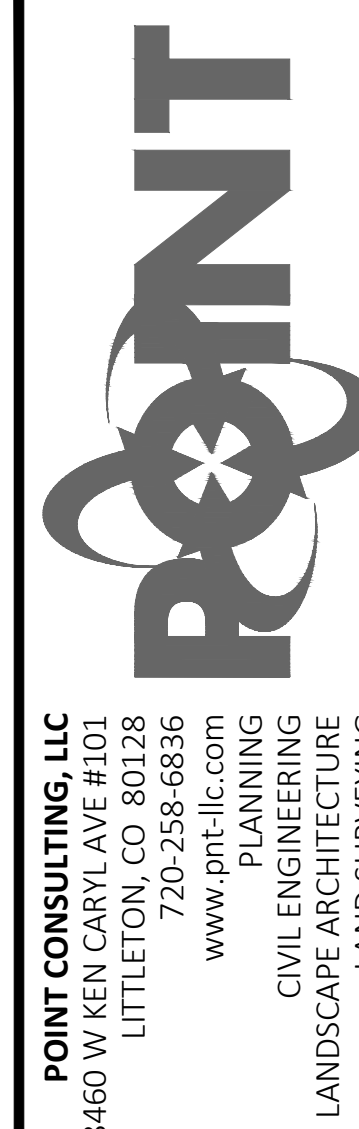
LANDSCAPE ARCHITECT
POINT CONSULTING, LLC
8460 W KEN CARYL AVE, SUITE 101
LITTLETON, CO 80128
CONTACT: JIM SHIPTON, RLA
PHONE: 720.258.6836

LAND SURVEYOR
POINT CONSULTING, LLC
8460 W KEN CARYL AVE, SUITE 101
LITTLETON, CO 80128
PHONE: 720.258.6836
CONTACT: CAMERON M WATSON, PLS

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CASE# PLN22-0016



POINT CONSULTING, LLC
8460 W KEN CARYL AVE #101
LITTLETON, CO 80128
720-258-6836
www.pnt-llc.com
CIVIL ENGINEERING
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OFFICIAL DEVELOPMENT PLAN

GREENLAWN SUBDIVISION

WESTMINSTER, COLORADO

JOB NO. 21.037

COVER SHEET

SHEET 1 OF 23



FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 2 OF 23

PROJECT NOTES

PARK DEVELOPMENT FEE:

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$1,791.00 (2022) PER DWELLING UNIT IS DUE TO THE CITY. FOR 40 DWELLING UNITS THE TOTAL FEE IS \$71,640.00. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PUBLIC LAND DEDICATION:

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE FEE IS BASED ON THE FAIR MARKET VALUE OF THE LAND WHICH MIGHT HAVE BEEN DEDICATED TO THE CITY. PUBLIC LAND DEDICATION IS PROPOSED TO BE PAID CASH-IN-LIEU. THE CITY CODE (§11-6-8(B)) REQUIRED 12 ACRES PER 1,000 RESIDENTS.

PROJECTED POPULATION FOR THIS DEVELOPMENT IS 2.5 PERSONS PER UNIT. FOR 40 UNITS THE POPULATION IS 100 PERSONS. FOR 100 PERSONS THE PUBLIC LAND DEDICATION REQUIRED IS 1.2 ACRES. IN ACCORDANCE WITH §11-6-8(B)(4) THE CITY HAS DETERMINED THAT THE FAIR MARKET VALUE OF THE PROPERTY IS \$543,629 BASED ON A CALCULATION OF \$5 PER SQUARE FOOT. BASED ON A FAIR MARKET VALUE OF \$326,700 PER ACRE MULTIPLIED BY 1.2 ACRES, THE CASH-IN-LIEU TOTALS \$392,040. THE CASH-IN-LIEU PAYMENT IS DUE PRIOR TO THE RECORDATION OF THE FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED.

SCHOOL LAND DEDICATION:

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH-IN-LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR MULTI-FAMILY A FEE OF \$468 PER DWELLING UNIT IS DUE TO THE CITY. FOR 40 DWELLINGS THE TOTAL FEE IS \$18,720. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES.

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR 2.5 ACRES A FEE OF \$5,000.00 IS DUE TO THE CITY.

RECOVERIES PREVIOUSLY DUE:

W73-1: WATER LINE §11/LF OF FRONTAGE ALONG PIERCE STREET AND 92ND AVENUE (PLUS 50% INTEREST) W 92ND AVENUE STREET CONSTRUCTION FROM WADSWORTH TO HARLAN - \$163.00/LF OF FRONTAGE ALONG 92ND AVE (PLUS 50% INTEREST).

NOTE: RECOVERY OBLIGATIONS HAVE BEEN SATISFIED BY THE STALLAR INTERNATIONAL HOLDINGS AGREEMENT (EFFECTIVE 6/25/1993) AND PAID IN FULL 2/12/1998.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

OVERHEAD ELECTRIC LINES:

CITY OF WESTMINSTER IS RESPONSIBLE FOR UNDERGROUNDING THE CURRENT ELECTRIC LINES ON THIS SITE AND EXTENDING WEST TO THE RAILROAD TRACKS.

PROPERTY OWNER AGREES TO PAY FOR ALL PUBLIC STREET LIGHTING TO BE REPLACED ALONG 92ND AVENUE TO THE EXTENTS OF THE UNDERGROUNDING LIMITS.

STANDARD STATEMENTS

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPER'S EXPENSE.
- M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.
- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE OR PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.

DESIGN ELECTIVES

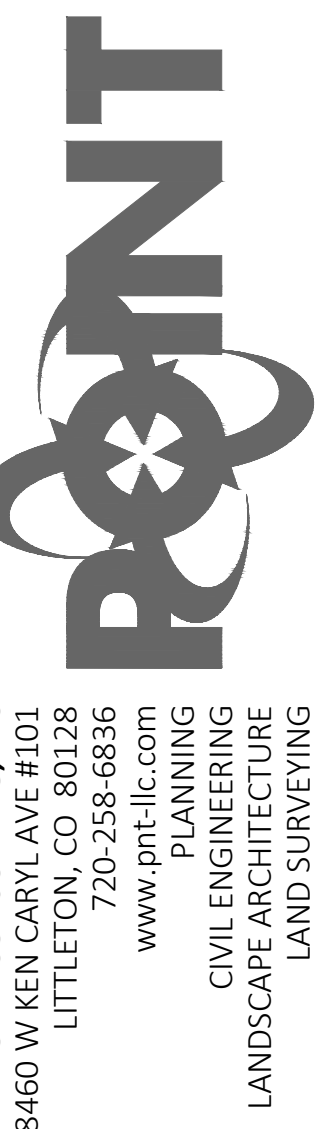
MULTI-FAMILY RESIDENTIAL DESIGN STANDARDS

ELECTIVE	SCORE
SITE 5.C.1 - INTERNAL SITE SIDEWALKS (DETACHED) MINIMUM WIDTH OF 5-FEET FROM CURB.	100 POINTS
SITE 5.C.2 - PEDESTRIAN ORIENTED LIGHTING ALONG WALKWAYS	100 POINTS
SITE 5.C.3 - TWO (2) BENCHES PROVIDED ALONG PEDESTRIAN PATHWAYS	50 POINTS
SITE 5.C.5 - WEATHER PROTECTED BICYCLE PARKING RACKS WILL BE PROVIDED FOR ONE RACK FOR EVERY 50 UNITS: 50 POINTS PER RACK.	150 POINTS
SITE 5.C.6 - INTERNAL SECURED BICYCLE PARKING WILL BE SHOWN ON PLANS AND PROVIDED AT ONE SPACE PER EVERY 5 UNITS FOR ALL BUILDINGS.	100 POINTS
SITE 5.C.7 - BICYCLE REPAIR STATION PROVIDED AS AN AMENITY ON RESIDENTIAL DEVELOPMENT.	50 POINTS
SITE 5.D.3 - ALL PARKING GARAGES WILL BE DESIGNED WITHIN THE PRIMARY BUILDINGS	500 POINTS
SITE 5.E.1 - BUS SHELTER	200 POINTS
SITE 5.E.2 - BENCH AT BUS SHELTER	50 POINTS
SITE 5.E.3 - TRASH RECEPTACLE AT BUS SHELTER	50 POINTS
SITE 7.A.2 - EVERGREEN TREES WILL BE PLANTED BEHIND THE ENTRY MONUMENT SIGNAGE	75 POINTS
SITE 7.B.1 - PEDESTRIAN LIGHTING ALONG WALKS - LED	200 POINTS
SITE 7.C.2 - AMENITY AREA FEATURING FIRE PIT, GAS GRILLS, AND SEATING AREA (PROVIDED IN LIEU OF CLUBHOUSE WITH HOT TUB)	300 POINTS
SITE 9.c - PRIVATE PARK AREA GREATER THAN 6% OF TOTAL SITE.	400 POINTS
SITE 10.B - GARAGES WILL NOT BE PLACED ALONG PUBLIC STREET FRONTAGES	150 POINTS
LAND 1.C - PERENNIALS AND/OR ANNUALS WILL BE INCORPORATED INTO THE ENTRY FEATURE.	50 POINTS
SUST 1.C.b - TURF AREA WILL BE REDUCED TO LESS THAN 20% OF LANDSCAPED AREA	125 POINTS
ARCH 1.A.2 - COVERED MAILBOXES	150 POINTS
ARCH 3 - PRIVATE PATIOS 120 SF MINIMUM AND BALCONIES 80 SF MINIMUM WILL BE PROVIDED ON 100% OF ALL UNITS	200 POINTS
ARCH 5.A - AT LEAST 50% OF THE BUILDING WILL BE FINISHED WITH BRICK	250 POINTS
TOTAL POINTS REQUIRED:	3242
TOTAL POINTS COMMITTED:	3250

PUD EXCEPTIONS

MULTI-FAMILY RESIDENTIAL DESIGN STANDARDS

- 1.C - 35-FOOT LANDSCAPE AREAS LOCATED INSIDE REQUIRED SETBACK AREAS ARE NOT REQUIRED.
- JUSTIFICATION: LANDSCAPING IS PROVIDED IN THE SETBACK AREAS TO THE EXTENT ALLOWED BY THE EXISTING UTILITY EASEMENT AND REQUIRED BUILDING SETBACKS, WHICH WITH THIS PROJECT HAVE BEEN REDUCED. THE LANDSCAPE FEATURES WILL BE EMPHASIZED AT THE PROPERTY CORNERS, THE ENTRY DRIVES, AND THE AMENITY AREA.
- 1-D - EARTH BERMING IS NOT REQUIRED INSIDE OF SETBACK AREAS.
- JUSTIFICATION: GIVEN THE URBAN INFILL CONTEXT OF THE SITE, EARTH BERMING IS BEING REMOVED IN THE SETBACK AREAS TO PROVIDE AND INCREASED LEVEL OF PEDESTRIAN SITE CIRCULATION AND ACCESSIBILITY. LANDSCAPING IN THESE AREAS WILL BE ENHANCED TO HELP BUFFER THE SITE FROM ADJACENT USES.
- 2.3.1 - GARAGE SIZE REDUCTION FROM 20'-0" WIDE AND 22'-0" LONG TO 18'-2" WIDE AND 18'-2" DEEP.
- JUSTIFICATION: THE GARAGE SIZE WE ARE PROPOSING IS A TYPICAL SIZE GARAGE IN NEW TOWNHOME DEVELOPMENTS. THE SIZE WILL FIT ALL CARS AND MOST LARGE SUV SIZES. THE CONTEXT OF OUR SITE AND THE CLOSE PROXIMITY OF MASS TRANSIT WILL ENCOURAGE POTENTIAL RESIDENTS TO EXPLORE ALTERNATE METHODS OF TRANSPORTATION.
- 7.A.2 - A LANDSCAPED MEDIAN IS NOT REQUIRED AT THE MAJOR ENTRANCE TO THE PROJECT.
- JUSTIFICATION: THE SMALL SCALE AND URBAN INFILL NATURE OF THIS PROJECT DOES NOT JUSTIFY A LANDSCAPED MEDIAN ENTRY AS WOULD A LARGER SUBURBAN GREENFIELD DEVELOPMENT.
- 10.A.2 - MINIMUM SETBACK FROM ARTERIAL STREETS (NORTH PROPERTY LINE) REDUCED TO 25-FEET FROM 75-FEET.
- JUSTIFICATION: THE NORTH PROPERTY LINE SETBACK ALONG 92ND AVENUE IS REDUCED TO CREATE A MORE INTIMATE RELATIONSHIP BETWEEN THE PROJECT AND THE STREET TO ENCOURAGE MULTIMODAL TRANSPORTATION.
- 10.A.3 - MINIMUM SETBACK FROM COLLECTOR STREETS (EAST PROPERTY LINE) REDUCED TO 20-FEET FROM 50-FEET.
- JUSTIFICATION: THE EAST PROPERTY LINE SETBACK ALONG PIERCE STREET IS LOCATED TO MORE CLOSELY ALIGN WITH THE EXISTING RESIDENTIAL DEVELOPMENT DIRECTLY TO THE SOUTH OF THIS SITE.
- SITE 10.A.4 - MINIMUM SETBACK FROM LOCAL STREETS (WEST PROPERTY LINE) REDUCED TO 20-FEET FROM 40-FEET.
- JUSTIFICATION: THE WEST PROPERTY LINE SETBACK ALONG PIERCE STREET IS LOCATED TO MORE CLOSELY ALIGN WITH THE EXISTING RESIDENTIAL DEVELOPMENT DIRECTLY TO THE SOUTH OF THIS SITE.
- SITE 10.A.8 - MINIMUM PARKING LOT SETBACK FROM PRIMARY BUILDINGS REDUCED TO 3-FEET FROM 15-FEET.
- JUSTIFICATION: IN ORDER TO MAXIMIZE THE SIZE OF THE AMENITY AREA AND MEET THE REQUIRED AMOUNT OF GUEST PARKING SPACES, PARKING IS BEING PROPOSED BETWEEN BUILDINGS. THE SPACES WILL NOT BE FACING THE BUILDINGS, THEREFORE REDUCING ANY NEGATIVE EFFECTS OF HEADLIGHT GLARE. THE SPACES WILL ALSO ALLOW FOR CONVENIENT PARKING LOCATIONS FOR COMMUNITY GUESTS.
- SITE 10.D - MINIMUM PARKING LOT SETBACK FROM INTERIOR PROPERTY LINES REDUCED TO 7-FEET FROM 15-FEET.
- JUSTIFICATION: THE PARKING LOT SETBACK IS REDUCED TO ALLOW FOR MAXIMUM USE OF THE OPEN SPACE AREA AND TO ALLOW FOR THE BUILDINGS TO PROPERLY FIT ON-SITE. THE PARKING LOT SETBACK WILL CLOSELY ALIGN WITH THE PARKING LOT SETBACK PROVIDED ON THE MULTIFAMILY DEVELOPMENT TO THE SOUTH. IN ORDER TO OFFSET THE REDUCED WIDTH, A DENSE SCREEN OF EVERGREEN TREES AND SHRUBS WILL BE UTILIZED TO BUFFER THE PROPERTY.
- LAND 1.A.1 - MINIMUM OVERALL SITE AREA LANDSCAPING REDUCED TO 34% FROM 40%.
- JUSTIFICATION: THIS REDUCTION ALLOWS FOR DIRECT PEDESTRIAN ACCESS FROM EACH INDIVIDUAL UNIT TO THE PUBLIC SIDEWALK AND FOR THE PROVISION OF A ROBUST INTERNAL PEDESTRIAN NETWORK. LANDSCAPING HAS BEEN PROVIDED IN EXCESS OF THE PLANTING QUANTITIES REQUIRED BASED ON THE 40% LANDSCAPING CALCULATION.
- ARCH 1.B - BUILDINGS WITH MORE THAN TWO STORIES SHALL BE STEPPED DOWN AT THE EDGES OF THE STRUCTURES BY A MINIMUM OF 8-FEET TO REDUCE BUILDING MASS.
- JUSTIFICATION: THIS REQUIREMENT WAS INTENDED FOR APPLICATION TO MULTIFAMILY BUILDINGS. SINCE THE DENSITY OF THE PROJECT EXCEEDS EIGHT UNITS PER ACRE, MULTIFAMILY DESIGN STANDARDS ARE REQUIRED TO BE APPLIED. HOWEVER, THE REMOVAL OF A FLOOR FROM END UNITS IN A TOWNHOME STRING IS NOT TYPICAL FOR THIS CONSTRUCTION TYPE AND SIGNIFICANTLY REDUCES THE SQUARE FOOTAGE AND MARKETABILITY OF THOSE UNITS. A GREAT DEAL OF ARCHITECTURAL ARTICULATION HAS BEEN INCLUDED IN THE DESIGN AND SLOPED ROOFS HAVE BEEN INCORPORATED INTO THE END UNITS TO REDUCE PERCEIVED HEIGHT. IN ADDITION, OVERALL BUILDING HEIGHT IS WELL UNDER THE MAXIMUM ALLOWABLE BUILDING HEIGHT FOR THIS PUD.



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WESTMINSTER, COLORADO

JOB NO. 21.037

PROJECT NOTES

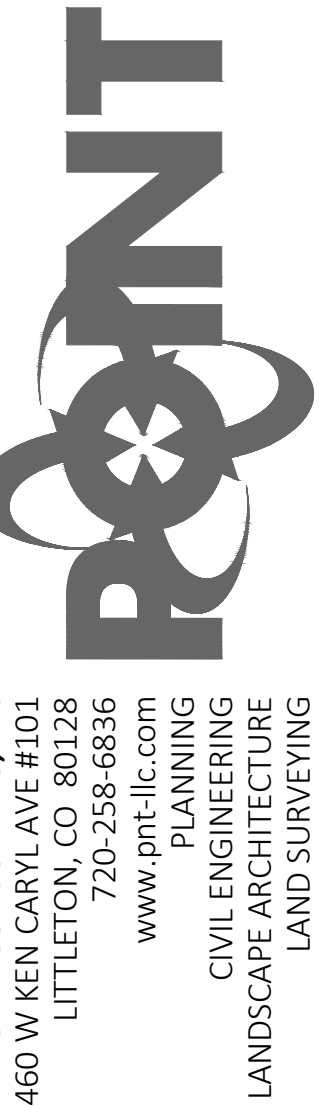
SHEET 2 OF 23



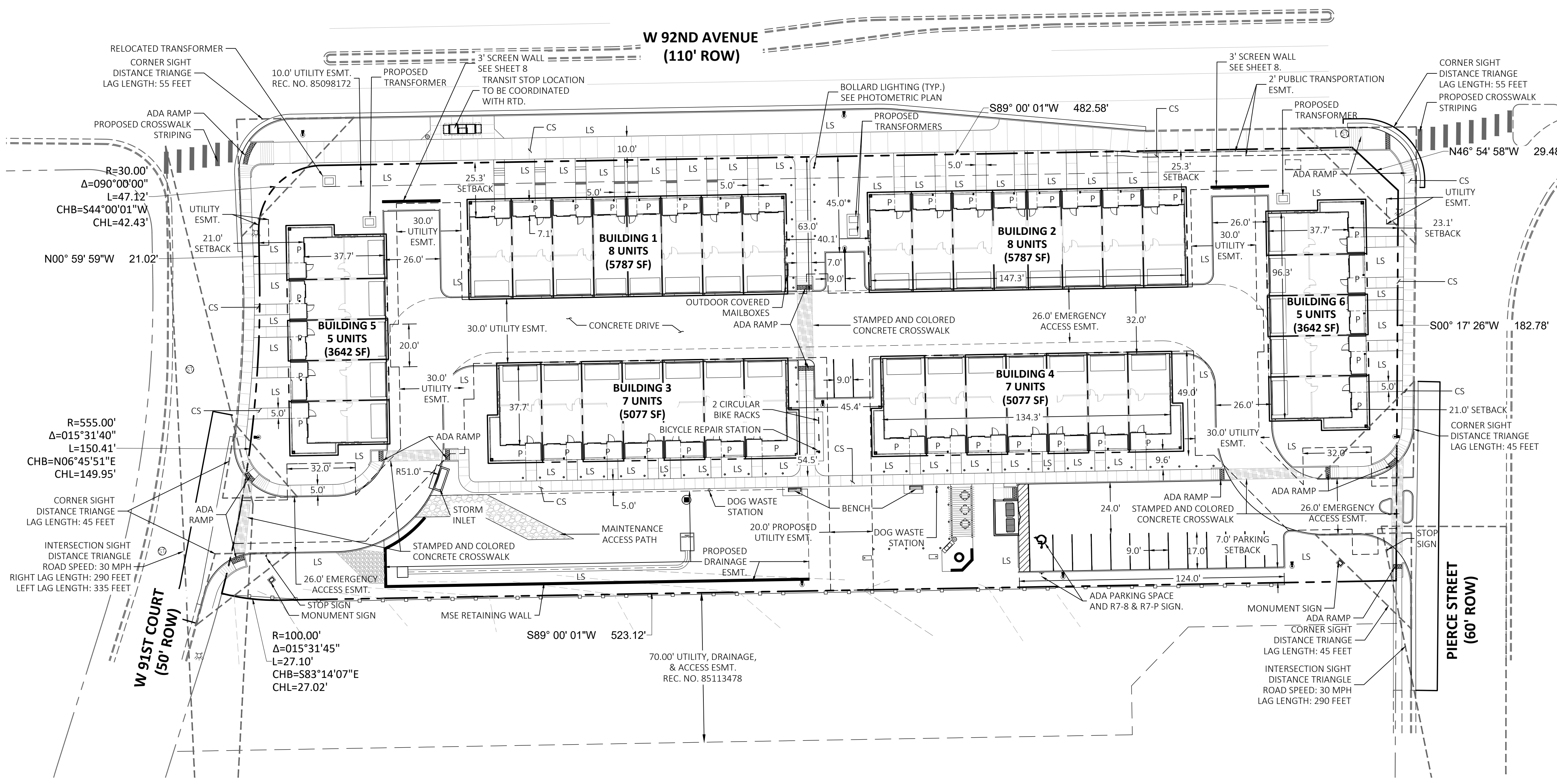
DATE	DESCRIPTION
2022.02.23	1ST ODP SUBMITTAL
2022.10.03	2ND ODP SUBMITTAL
2023.02.27	3RD ODP SUBMITTAL
2023.03.30	4TH ODP SUBMITTAL
2023.04.17	5TH ODP SUBMITTAL

FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 3 OF 23



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LEGEND

	PROPERTY LINE
	SETBACK LINE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	PROPOSED ASPHALT EDGE
	PROPOSED SIDEWALK
	EASEMENT BOUNDARY
	LANDSCAPE AREA
	PATIO
	CONCRETE SIDEWALK

PARKING

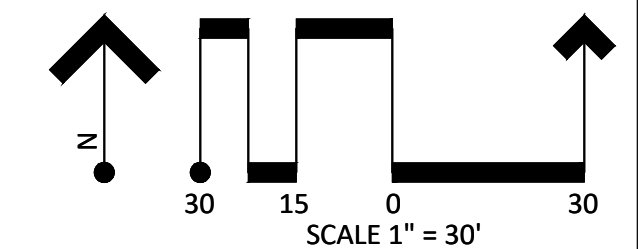
TYPE	SPACES REQUIRED	SPACES PROVIDED
VEHICULAR, TOTAL (#):	94	94
GARAGE PARKING	76	76
GUEST PARKING	18	18
BICYCLE, LONG-TERM (#):	10	40 (IN GARAGE) 4 (EXTERNAL)

LOTS AND COVERAGE

TOTAL SITE AREA:	108,731 SF, 2.49 ACRES
NUMBER OF LOTS:	40
BUILDING COVERAGE (SF & %):	28,612 SF, 26.4%
PARKING AND DRIVES (SF & %):	35,612 SF, 32.7%
LANDSCAPE AREA (SF & %):	38,359 SF, 35.3%
PATIO AREA (SF & %):	6,148 SF, 5.6%

GENERAL NOTES

- REFER TO SHEET 1, COVER SHEET, FOR THE BENCHMARK AND BASIS OF BEARINGS.



OFFICIAL DEVELOPMENT PLAN

GREENLAWN SUBDIVISION

WESTMINSTER, COLORADO

JOB NO. 21-037

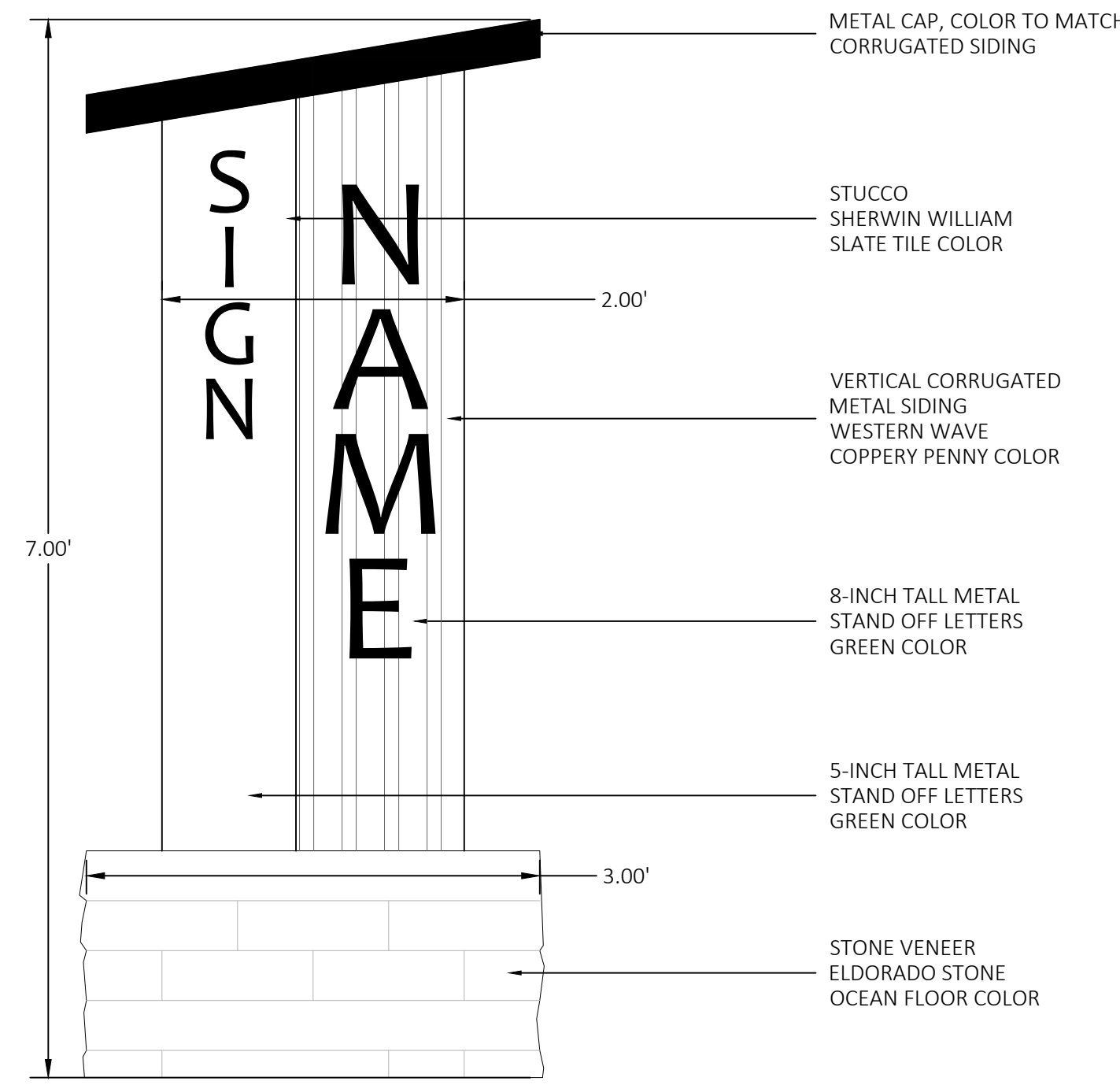
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SHEET 3 OF 23

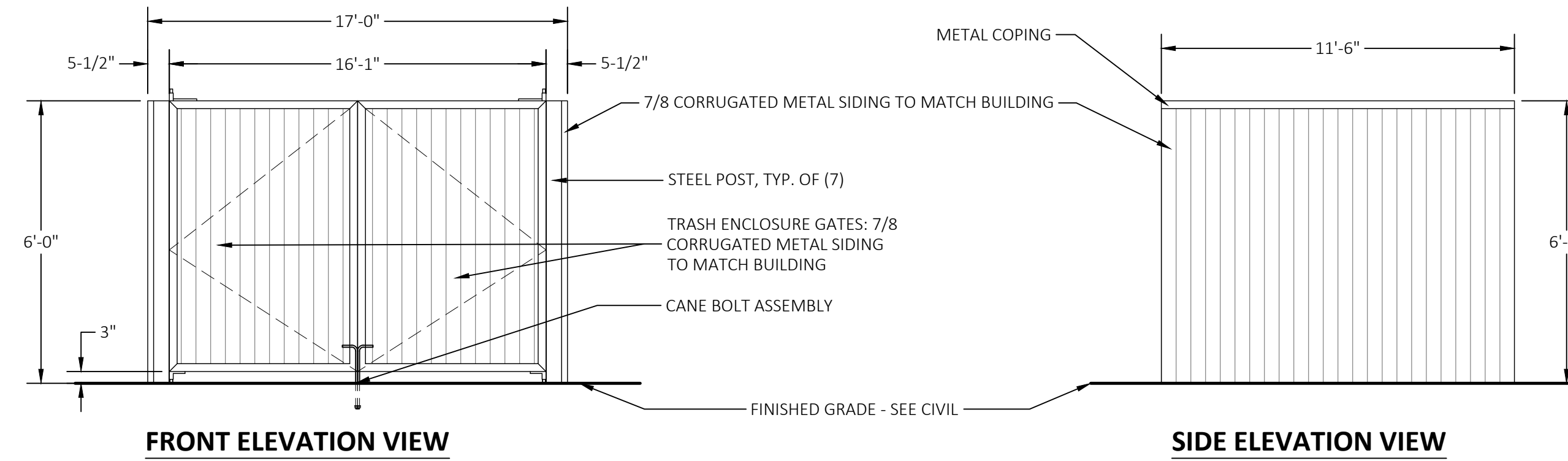
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2022.10.03	2ND ODP SUBMITTAL
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FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

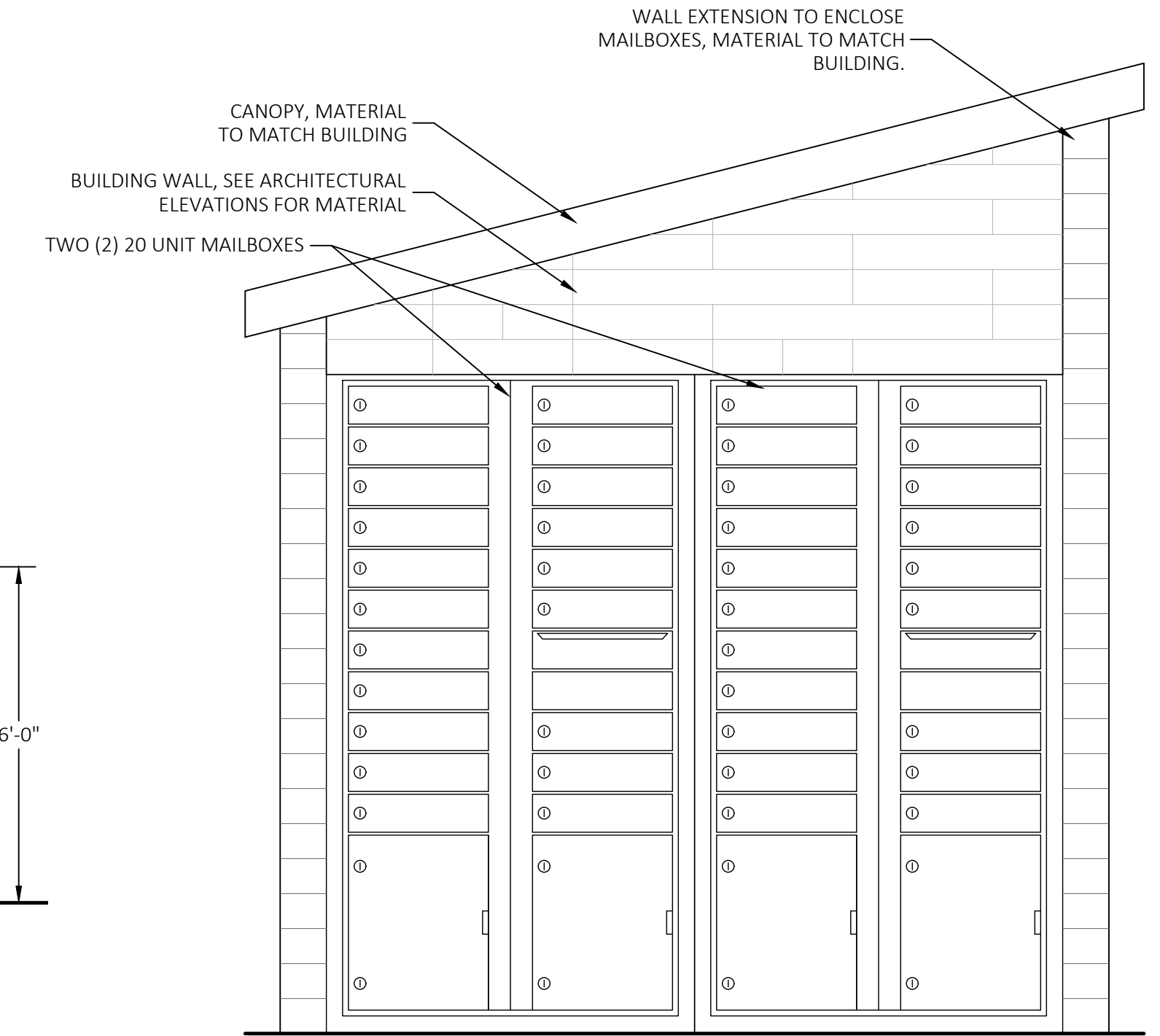
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IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 4 OF 23



A MONUMENT SIGN DETAIL
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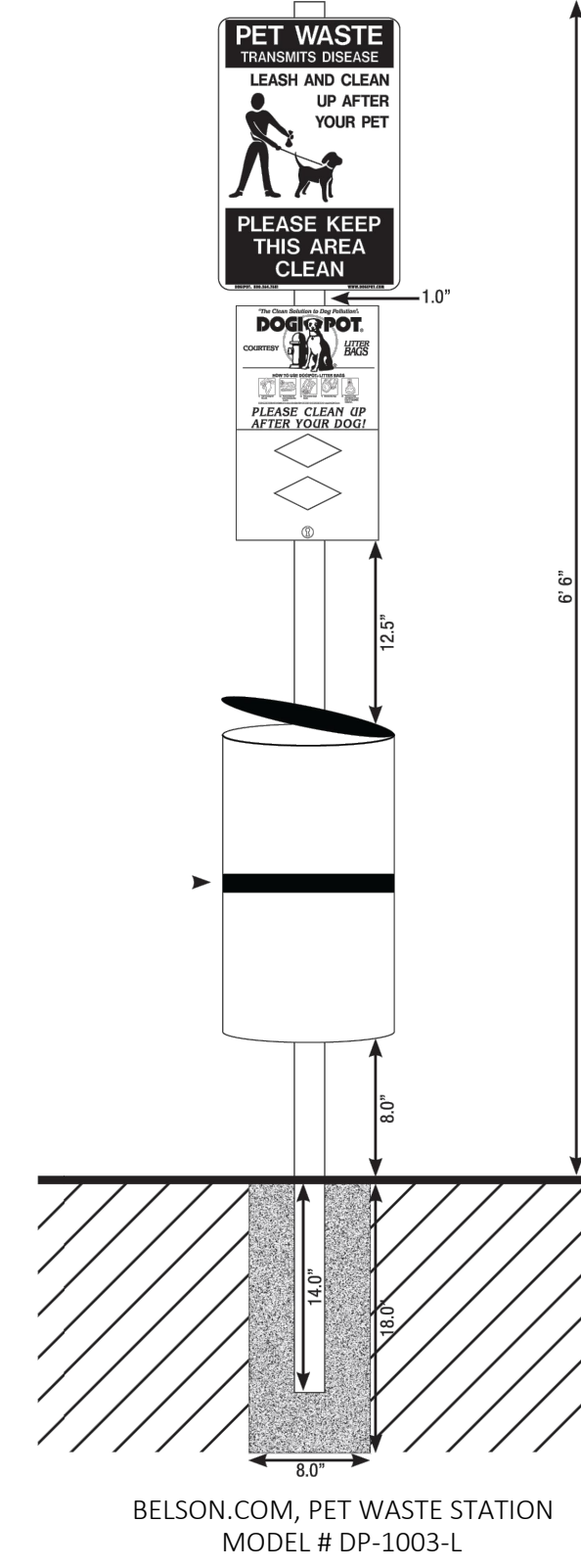


B TRASH ENCLOSURE ELEVATIONS
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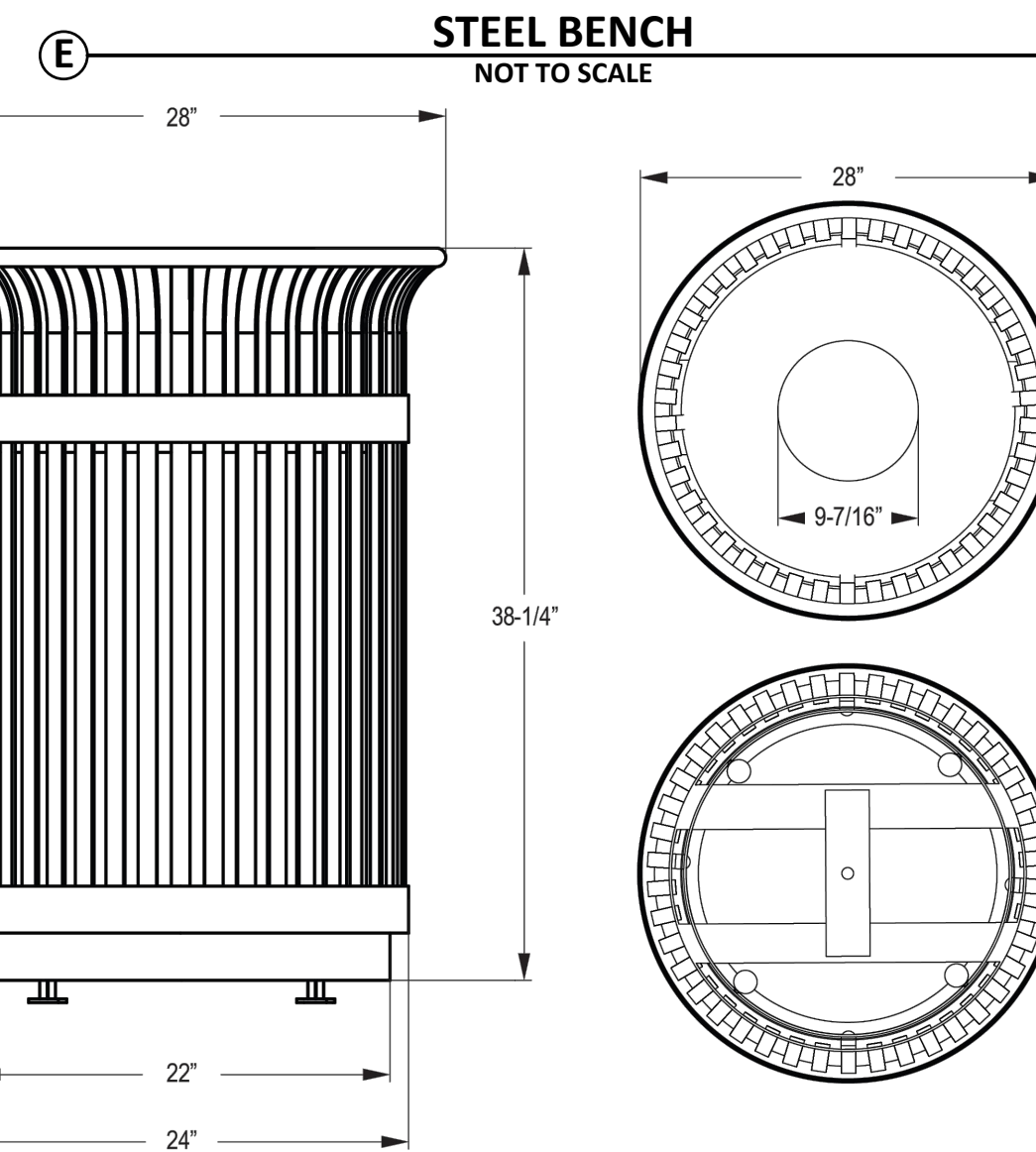
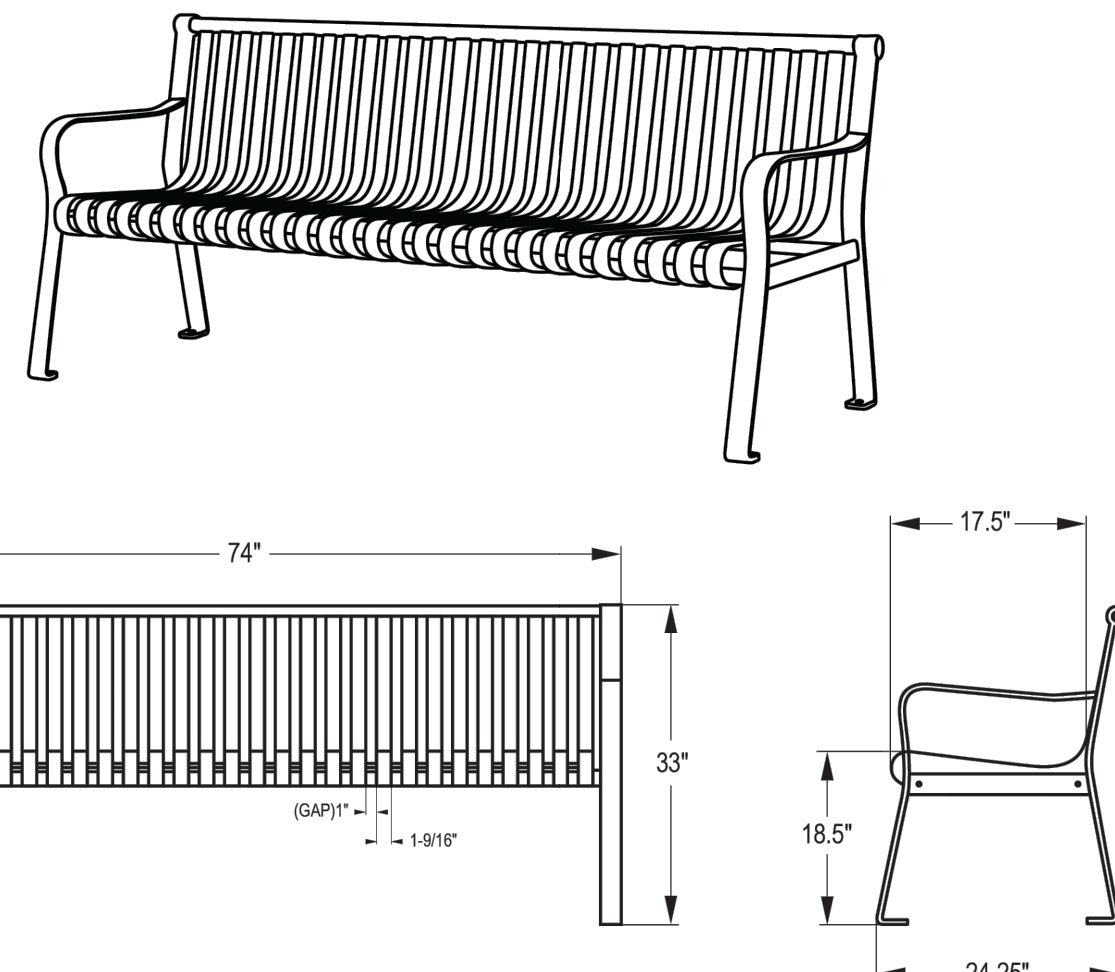


C MAILBOX DETAIL
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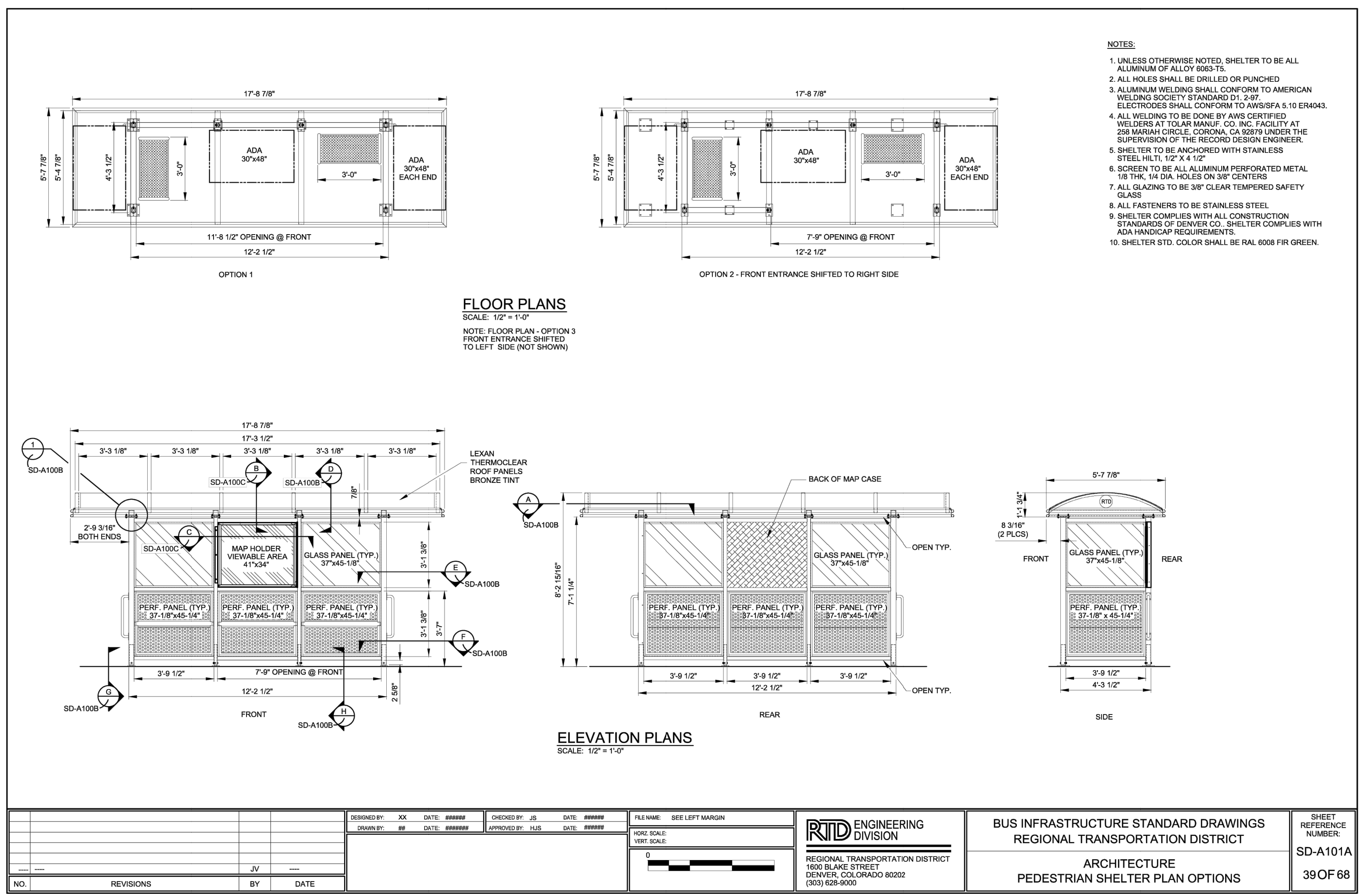
PET WASTE DISPOSAL STATION



D PET WASTE STATION
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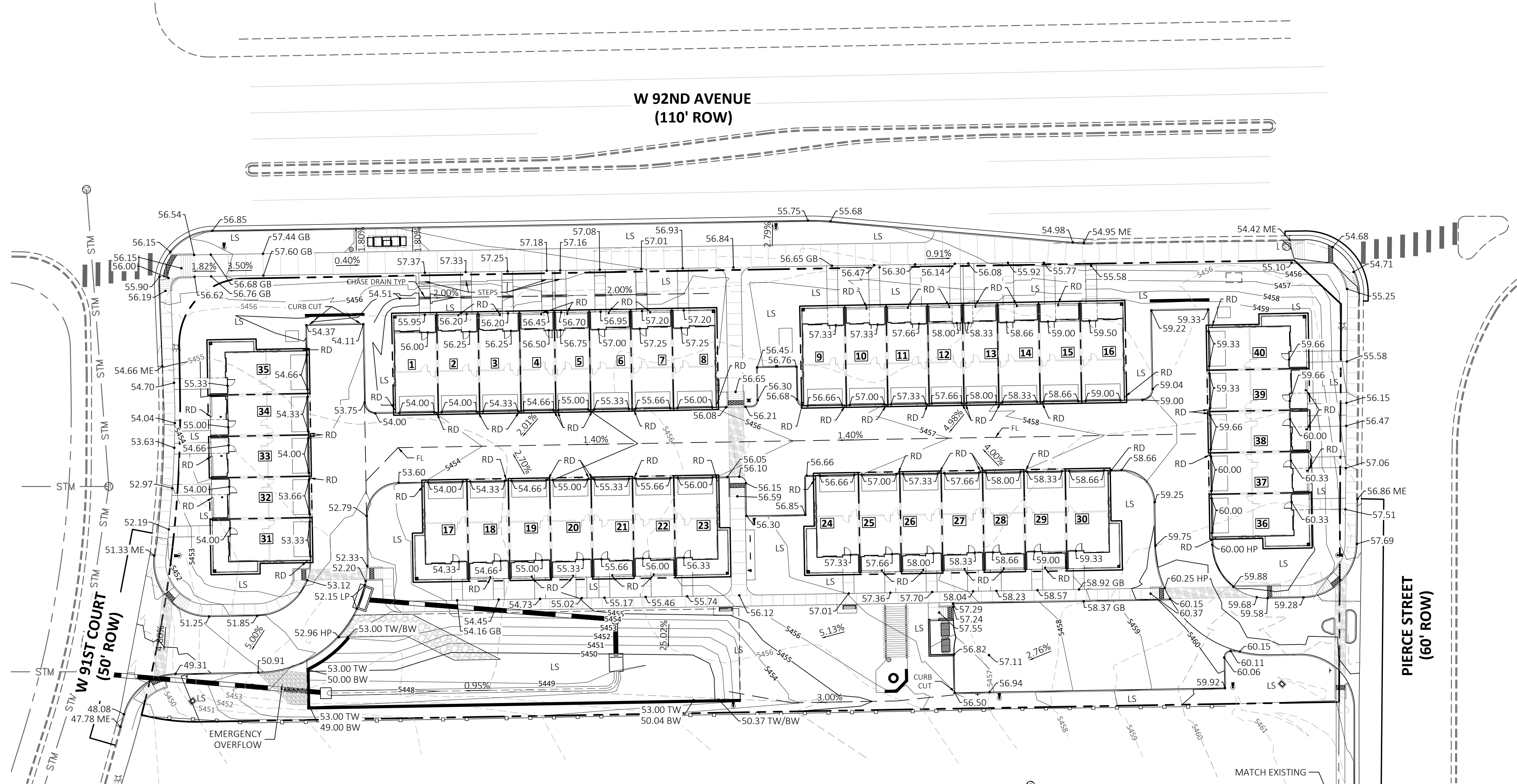


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FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 5 OF 23

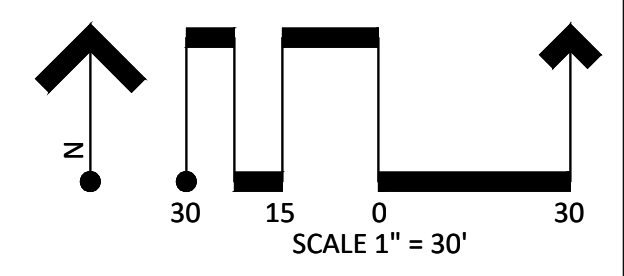


LEGEND

- PROPERTY LINE
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED VERTICAL CURB AND GUTTER
- ===== PROPOSED VERTICAL CURB
- 5280--- EXISTING CONTOUR
- 5280--- PROPOSED CONTOUR
- FLOWLINE CHANNEL
- PROPOSED STORM PIPE
- PROPOSED STORM STRUCTURES
- LS LANDSCAPE AREA
- TW TOP OF WALL AT FINISHED GRADE
- BW BOTTOM OF WALL AT FINISHED GRADE
- HP HIGH POINT AT FINISHED GRADE
- LP LOW POINT AT FINISHED GRADE
- GB GRADE BREAK
- ME MATCH EXISTING
- RD ROOF DRAIN
- 21 APARTMENT UNIT NUMBER (UNIT NUMBERS VARY FROM ADDRESS PLAT FOR ELEVATION TABLE CLARITY)

- GENERAL NOTES**
- REFER TO SHEET CO.00, COVER SHEET, FOR THE BASIS OF BEARINGS.
 - GRADES SHOWN ARE FOR INFORMATION ONLY AND MAY BE ADJUSTED DURING THE CONSTRUCTION DOCUMENT REVIEW.
 - ALL SPOT ELEVATIONS ARE TO FINISHED GRADE SURFACE UNLESS OTHERWISE NOTES ON PLAN.
 - ALL SPOT ELEVATIONS ARE TRUNCATED, ADD 5400 TO EACH SPOT ELEVATION.
 - 2% TYPICAL THROUGH TRUNCATED DOMES. ACCESSIBLE PARKING 2.0% MAX SLOPE IN ANY DIRECTION.
 - ROOF DRAIN LOCATIONS ON GARAGE SIDE OF BUILDING. PATIO CANOPY ROOF DRAINS LOCATED ON FRONT FACE OF BUILDING.
- BENCHMARK**
- CITY OF WESTMINSTER CP 4 BEING A BRASS CAP SET IN CONCRETE IN THE GRASS BEHIND THE TURN AROUND AREA AT THE WATER TREATMENT PLANT LOCATED AT THE SE CORNER OF W 91ST AVE AND N PIERCE ST. ELEVATION = 5465.76' NAVD88

BUILDING UNIT FINISHED FLOOR ELEVATIONS							
UNIT	FFE (UNIT)	FFE (GARAGE)	VISITABLE	UNIT	FFE (UNIT)	FFE (GARAGE)	VISITABLE
1	56.00	54.50	NO	21	55.66	55.66	YES
2	56.25	54.50	NO	22	56.00	56.00	YES
3	56.25	54.75	NO	23	56.33	56.33	YES
4	56.50	55.25	NO	24	57.33	57.33	YES
5	56.75	55.50	NO	25	57.66	57.66	YES
6	57.00	56.00	NO	26	58.00	58.00	YES
7	57.25	56.00	NO	27	58.33	58.33	YES
8	57.25	56.50	NO	28	58.66	58.66	YES
9	57.33	57.33	YES	29	59.00	59.00	YES
10	57.33	57.33	YES	30	59.33	59.33	YES
11	57.66	57.66	NO	31	54.00	54.00	NO
12	58.00	58.00	NO	32	54.00	54.00	YES
13	58.33	58.33	NO	33	54.66	54.66	YES
14	58.66	58.66	NO	34	55.00	55.00	YES
15	59.00	59.00	NO	35	55.33	55.33	YES
16	59.50	59.50	NO	36	60.33	60.33	NO
17	54.33	54.33	YES	37	60.33	60.33	NO
18	54.66	54.66	YES	38	60.00	60.00	NO
19	55.00	55.00	YES	39	59.66	59.66	NO
20	55.33	55.33	YES	40	59.66	59.66	NO



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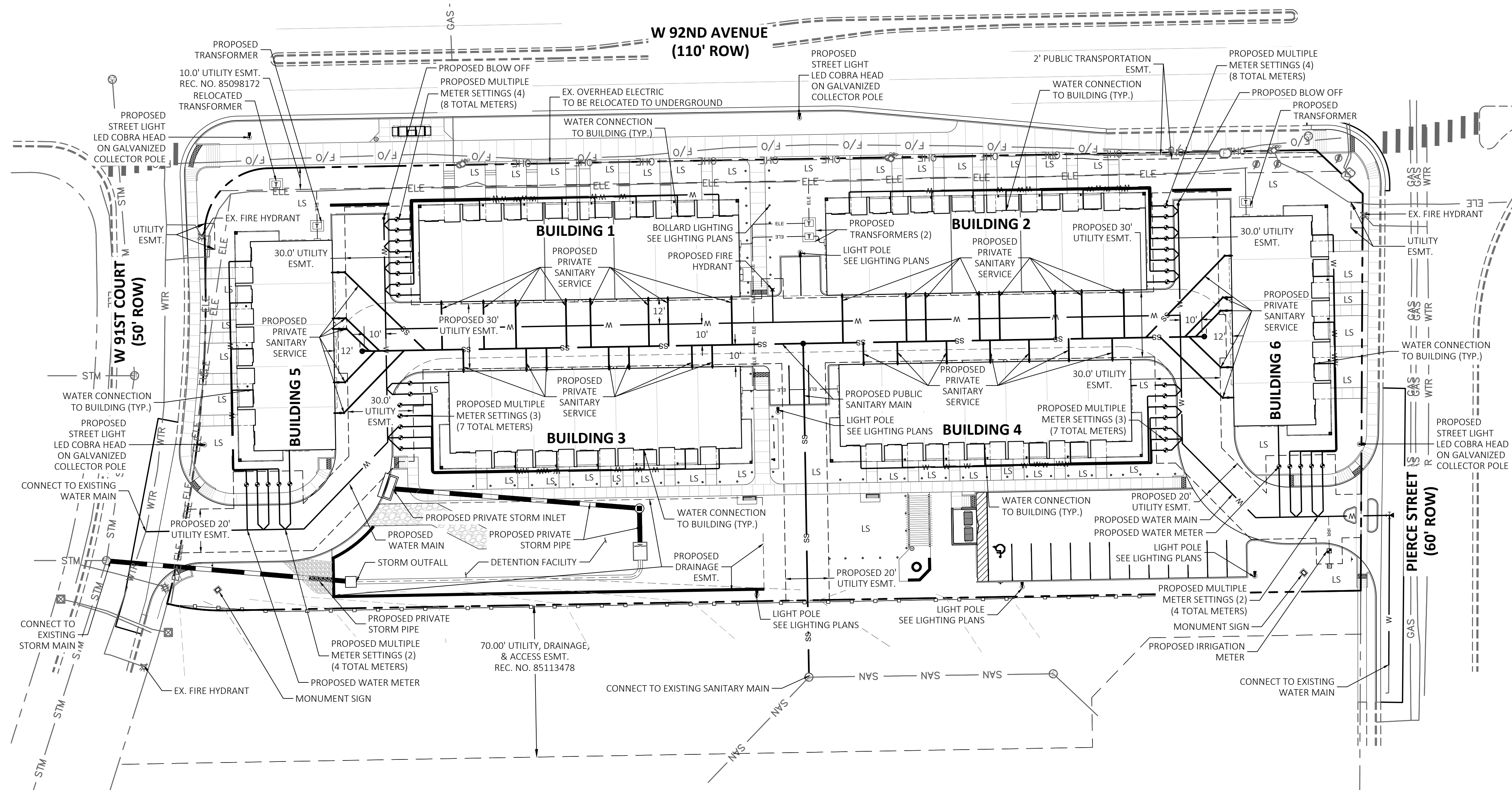
CIVIL ENGINEERING
PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

OFFICIAL DEVELOPMENT PLAN
GREENLAWN SUBDIVISION
WESTMINSTER, COLORADO
JOB NO. 21.037
GRADING PLAN
SHEET 5 OF 23

DATE	DESCRIPTION
2022.02.23	1 ST ODP SUBMITTAL
2022.10.03	2 ND ODP SUBMITTAL
2023.02.27	3 RD ODP SUBMITTAL
2023.03.30	4 TH ODP SUBMITTAL
2023.04.17	5 TH ODP SUBMITTAL

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SHEET 6 OF 23



LEGEND

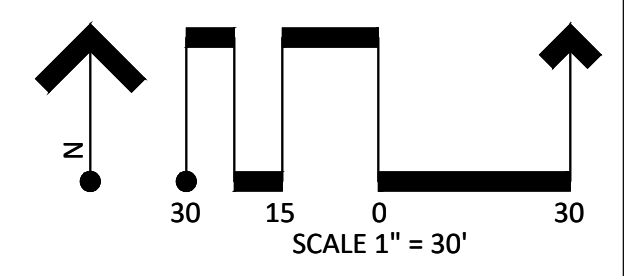
---	PROPERTY LINE
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
LS	LANDSCAPE AREA
---	PROPOSED SIDEWALK
F/O	EXISTING FIBER OPTIC
OHE	EXISTING OVERHEAD ELECTRIC
E	EXISTING UNDERGROUND ELECTRIC
GAS	EXISTING GAS MAIN
SAN	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
STM	EXISTING STORM SEWER
---	PROPOSED STORM PIPE
⊙	PROPOSED STORM STRUCTURES
WTR	EXISTING WATER LINE
W	PROPOSED WATER LINE
⊙	PROPOSED WATER METER
⊙	PROPOSED BACKFLOW PREVENTER
---	EXISTING FIRE HYDRANT
---	PROPOSED IRRIGATION LINE
---	PROPOSED IRRIGATION METER
ELE	PROPOSED ELECTRIC LINE
⊙	PROPOSED TRANSFORMER

- GENERAL NOTES**
- REFER TO SHEET 1, COVER SHEET, FOR THE BENCHMARK AND BASIS OF BEARINGS.
 - AT ALL UTILITY CROSSING, CONTRACTOR IS TO VERIFY PLANS BEFORE INSTALLATION.
- NOTE:**
- AN ADDITIONAL 6 COBRA HEAD LED ON GALVANIZED POLE LIGHTS ARE TO BE INSTALLED BY THIS PROPERTY ON THE SOUTH SIDE OF 92ND AVENUE BETWEEN 91ST CT AND THE BRIDGE.

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A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 7 OF 23

STANDARD STATEMENTS:

- A. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- B. THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- C. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- D. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- E. ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
- F. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- G. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- H. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- I. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- J. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAT.
- K. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- GROUNDCOVERS AND MATERIALS:
- A. SOD: SOD SHALL BE THE BLACK BEAUTY FESCUE TURF BY GRAFF'S TURF, FORT MORGAN, CO 80701 (970-867-8873).
- B. SEED: IN THE SPECIFIED AREAS, GROUNDCOVER SHALL BE THE MHFD UPLAND SEED MIX. REFER TO THE ASSOCIATED MIX SPECIFICATION ON THIS SHEET.
- C. ROCK MULCH: IN THE SPECIFIED AREAS, ROCK MULCH SHALL BE A 2-4" GREY RIVER ROCK MULCH PER EWING LANDSCAPE MATERIAL, BROOMFIELD, CO (303)-287-0040, 3" DEPTH MINIMUM, OVER A SUITABLE WEED BARRIER FABRIC.
- D. ROCK MULCH: IN THE SPECIFIED AREAS, ROCK MULCH SHALL BE A 1 1/2" ANGULAR MOUNTAIN GRANITE PER EWING LANDSCAPE MATERIAL, BROOMFIELD, CO (303)-287-0040, 3" DEPTH MINIMUM, OVER A SUITABLE WEED BARRIER FABRIC.
- E. ROCK MULCH: WITHIN THE CORNHOLE AREA IN THE PRIVATE PARK, INSTALL 3/8 GRANITE CHIP ROCK PER EWING LANDSCAPE MATERIAL, BROOMFIELD, CO (303)-287-0040, 3" DEPTH MINIMUM, OVER A SUITABLE WEED BARRIER FABRIC.
- F. BOULDERS: IN THE SPECIFIED AREAS, INSTALL 2-4" GRANITE BOULDERS PER EWING LANDSCAPE MATERIAL, BROOMFIELD, CO (303)-287-0040.
- G. SEAT AND SCREEN WALL: MATERIAL FOR THE SEAT AND SCREEN WALLS SHALL BE AMBRE BEIGE COLORED MELVILLE STYLE WALL BLOCKS WITH A TOSCANA COLORED MELVILLE STYLE CAP PER BELGARD HARDSCAPES. REFERENCE BELGARDS TECHNICAL SPECIFICATIONS FOR INSTALLATION.
- H. FIRE PIT: THE FIRE PIT IN THE AMENITY AREA SHALL BE THE MANTA RAY FIRE PIT, ITEM NO. M10100004, BY WOODLAND DIRECT, OR AN APPROVED EQUAL.

USE	SURFACE TYPE	AREA (SF)	% OF SITE
RESIDENTIAL	BUILDING COVERAGE	28,612	26.40%
	PAVING AND DRIVES	35,612	32.70%
	LANDSCAPE OPEN AREA	38,359	35.30%
	PATIO/PORCH AREA	6,148	5.60%
TOTALS:		108,731	100.00%

	PRIVATE LANDSCAPE AREA 43,492 SF (40% TOTAL SITE)			RIGHT-OF-WAY LANDSCAPE AREA 3,383 SF		
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
TREES	1/550 SF	79	65	1/550 SF	6	8
SHRUBS	3/550 SF	237	267	3/550 SF	18	18
GRASSES			400			
*TREES ARE BEING SUBSTITUTED BY SHRUBS AND ORNAMENTAL GRASSES AT A RATE OF 10 5G SHRUBS / TREE & 30 1G ORNAMENTAL GRASSES / TREE						

ON-SITE LANDSCAPE TURF PERCENTAGE		
TOTAL LANDSCAPE	PROPOSED TURF	PERCENT TURF VS NON-TURF
38,359	2,974 SF	7.75%

SOIL AMENDMENT REQUIRED				
PRIVATE AREA (SF)	38359	x 5 YDS/1000 SF =	192	CU.YDS.
R.O.W AREA (SF)	4398	x 5 YDS/1000 SF =	22	CU.YDS.
		TOTAL:	214	CU.YDS.

PLANT SCHEDULE

	HYDROZONE	ABR	COMMON NAME	BOTANICAL NAME	QTY	SIZE	REMARKS
SHADE TREES	LOW	CSO	CRIMSON SPIRE OAK	Quercus x bimundorum 'Crimschmid'	4	2" CAL.	FULL CROWN, B&B, STAKED
	LOW	EKC	ESPRESSO KENTUCKY COFFEETREE	Gymnocladus dioica 'Espresso-JFS'	2	2" CAL.	FULL CROWN, B&B, STAKED
	VERY LOW	GRT	GOLDENRAIN TREE	Koeleruteria paniculata	4	2" CAL.	FULL CROWN, B&B, STAKED
	LOW	NAH	NORTHERN ACCLAIM HONEYLOCUST	Gleditsia triacanthos inermis 'Harve'	2	3" CAL.	FULL CROWN, B&B, STAKED
	LOW	SBH	SUNBURST HONEYLOCUST	Gleditsia triacanthos inermis 'Suncole'	2	3" CAL.	FULL CROWN, B&B, STAKED
	LOW	UPO	URBAN PINNACLE OAK	Quercus macrocarpa 'JFS-KW3'	2	3" CAL.	FULL CROWN, B&B, STAKED
	TOTAL SHADE TREES 16						
ORNAMENTAL TREES	LOW	HTM	HOT WINGS TATARIAN MAPLE	Acer tataricum 'GarAnn'	2	1 1/2" CAL	3 LEADER MIN, B&B
	LOW	ISL	IVORY SILK LILAC TREE	Syringa reticulata 'Ivory Silk'	4	1 1/2" CAL	STRAIGHT TRUNK, B&B
	VERY LOW	TCH	THORNLESS COCKSPUR HAWTHORN	Crataegus crus-galli 'Crusader'	5	1 1/2" CAL	STRAIGHT TRUNK, B&B
TOTAL ORNAMENTAL TREES 11							
EVERGREEN TREES	LOW	ASP	COLUMNAR AUSTRIAN PINE	Pinus nigra 'Arnold's Sentinel'	10	8'-10' HT.	FULL FORM, B&B
	LOW	ASP	COLUMNAR AUSTRIAN PINE	Pinus nigra 'Arnold's Sentinel'	12	6'-10' HT.	FULL FORM, B&B
	VERY LOW	MDJ	MEDORA JUNIPER	Juniperus scopulorum 'Medora'	11	6'-10' HT.	FULL FORM, B&B
	VERY LOW	MGJ	MOONGLOW JUNIPER	Juniperus scopulorum 'Moonglow'	10	6'-10' HT.	FULL FORM, B&B
	LOW	VPP	VANDERWOLFS PYRAMID PINE	Pinus flexilis 'Vanderwolfs Pyramid'	3	6'-10' HT.	FULL FORM, B&B
TOTAL EVERGREEN TREES 46							
TOTAL TREES 73							
DECIDUOUS SHRUBS	VERY LOW	AAS	AUTUMN AMBER SUMAC	Rhus trilobata 'Autumn Amber'	66	5 GAL.	SPACING 6' O.C.
	VERY LOW	FNB	FERNBUSH	Chamaebataria millefolium	24	5 GAL.	SPACING 5' O.C.
	VERY LOW	LDP	LEADPLANT	Amorpha canescens	16	5 GAL.	SPACING 3' O.C.
	VERY LOW	NMP	HAPPY BOY NEW MEXICO PRIVET	Forestiera pubescens var. parvifolia 'Happy Boy'	17	5 GAL.	SPACING 8' O.C.
	VERY LOW	PBS	PAWNEE BUTTES SANDCHERRY	Prunus besseyi 'P011S'	68	5 GAL.	SPACING 5' O.C.
	VERY LOW	TBR	TALL BLUE RABBITBRUSH	Ericameria nauseosus var. nauseosus	4	5 GAL.	SPACING 5' O.C.
	LOW	TES	TIGER EYES SUMAC	Rhus typhina 'Balttiger'	31	5 GAL.	SPACING 6' O.C.
	VERY LOW	YRB	YELLOW RABBITBRUSH	Chrysothamnus viscidiflorus	31	5 GAL.	SPACING 3' O.C.
	TOTAL DECIDUOUS SHRUBS 257						
EVERGREEN SHRUBS	VERY LOW	SGB	SPANISH GOLD BROOM	Cytisus purgans	24	5 GAL.	SPACING 5' O.C.
TOTAL EVERGREEN SHRUBS 24							
TOTAL SHRUBS 281							
ORNAMENTAL GRASSES	VERY LOW	BAG	BLONDE AMBITION BLUE GRAMA	Bouteloua gracilis 'Blonde Ambition'	59	1 GAL.	SPACING 24" O.C.
	VERY LOW	BLB	BLAZE LITTLE BLUESTEM	Schizachyrium scoparium 'Blaze'	72	1 GAL.	SPACING 36" O.C.
	VERY LOW	DWG	DANCING WIND BIG BLUESTEM	Andropogon gerardii 'Dancing Wind'	59	1 GAL.	SPACING 60" O.C.
	VERY LOW	GSG	GIANT SACATON GRASS	Sporobolus wrightii	30	1 GAL.	SPACING 60" O.C.
	VERY LOW	NWS	NORTH-WIND SWITCHGRASS	Panicum virgatum 'Northwind'	40	1 GAL.	SPACING 36" O.C.
	VERY LOW	SSG	SHENANDOAH SWITCHGRASS	Panicum virgatum 'Shenandoah'	41	1 GAL.	SPACING 36" O.C.
	VERY LOW	TMG	THIN MAN INDIAN GRASS	Sorghastrum nutans 'Thin Man'	75	1 GAL.	SPACING 36" O.C.
	VERY LOW	URM	UNDAUNTED RUBY MUHLY GRASS	Muhlenbergia reverchonii	20	1 GAL.	SPACING 36" O.C.
	TOTAL ORNAMENTAL GRASSES 396						
	PERENNIALS	VERY LOW	DLR	DENIM N LACE RUSSIAN SAGE	Perovskia atriplicifolia 'Denim 'n Lace'	57	1 GAL.
VERY LOW		FRY	FALSE RED YUCCA	Hesperaloe parviflora	40	1 GAL.	SPACING 36" O.C.
VERY LOW		RVN	RED VALERIAN	Centranthus ruber	14	1 GAL.	SPACING 36" O.C.
VERY LOW		WLC	WALKERS LOW CATMINT	Nepeta x faassenii 'Walker's Low'	8	1 GAL.	SPACING 36" O.C.
TOTAL PERENNIALS 119							
GROUNDCOVERS AND TURF	MEDIUM	SOD	BLACK BEAUTY FESCUE SOD	ON-SITE	2,974		SOD
	LOW	SEED	MHFD UPLAND SEED MIX	OFF-SITE	2,940		SOD
					5925 SF		SEED
Revegetation Chapter 13							

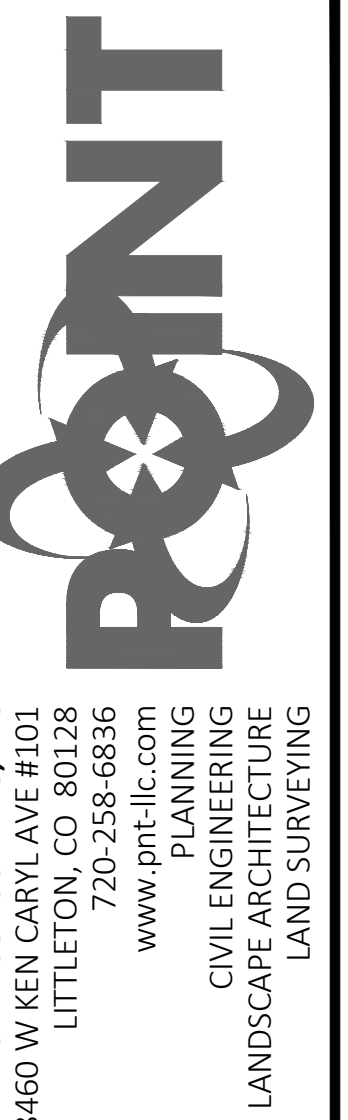
Appendix A. Seed Mix Tables

Upland Native Seed Mixes (drill seed rates)

Table A-1. Upland area seed mix - loamy to clay soils

Common Name	Scientific Name	Growth Season	Growth Form	% Mix	Lb/ac (PLS ¹)
Grasses					
Blue grama	<i>Bouteloua gracilis</i>	Warm	Sod	25	1.8
Sand dropseed	<i>Sporobolus cryptandrus</i>	Warm	Bunch	20	0.2
Sideoats grama	<i>Bouteloua curtipendula</i>	Warm	Sod	20	6.3
Western wheatgrass	<i>Pascopyrum smithii</i>	Cool	Sod	15	8.2
Buffalograss	<i>Bouteloua dactyloides</i>	Warm	Sod	10	10.7
Inland saltgrass	<i>Distichlis spicata</i>	Warm	Sod	5	0.6
Herbaceous/Wildflowers					
Pasture sage	<i>Artemisia frigida</i>			1	0.01
Blanket flower	<i>Gaillardia aristata</i>			1	0.5
Prairie coneflower	<i>Ratibida columnifera</i>			1	0.1
Purple prairieclover	<i>Dalea (Petaloestemum) purpurea</i>			1	0.3
Blue flax	<i>Linum lewisii</i>			1	0.4
TOTAL PLS POUNDS/ACRE				100	29.11

¹PLS = Pure Live Seed - If broadcast seeding, double the rate



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LANDSCAPE NOTES

SHEET 7 OF 23

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A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 8 OF 23

LEGEND

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- EASEMENT BOUNDARY
- LANDSCAPE EDGER
- LIMITS OF PRIVATE PARK AREA
- SOD
- SEED
- PROPOSED BLACK BEAUTY FESCUE SOD
- PROPOSED MHFD UPLAND SEED MIX
- PROPOSED 1.5" CRUSHED ANGULAR MOUNTAIN GRANITE
- PROPOSED 2-4" GREY RIVER ROCK
- PROPOSED CHIP GRANITE
- PROPOSED BOULDER

GENERAL NOTES:

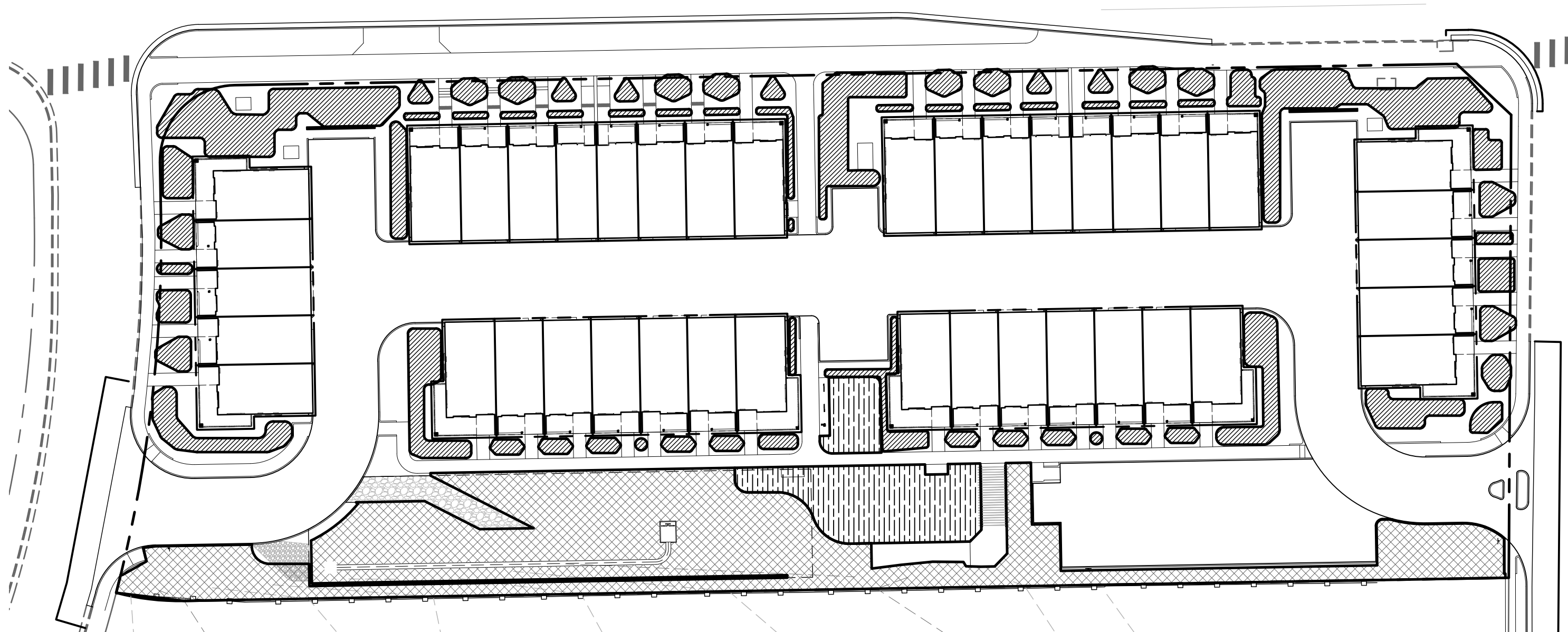
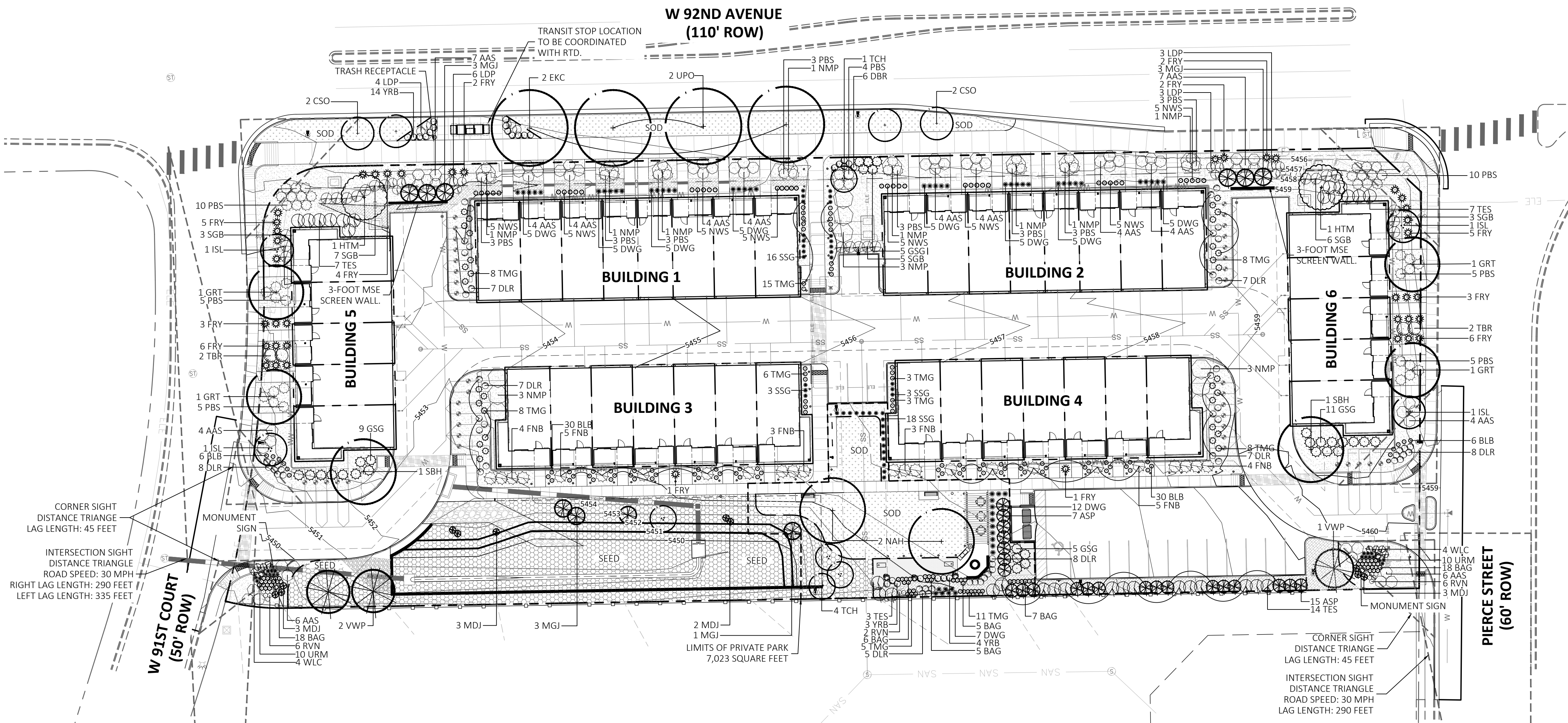
1. SEE SHEET 6 FOR LANDSCAPE NOTES.
2. SEE SHEET 8 FOR LANDSCAPE DETAILS

MAINTENANCE STATEMENT

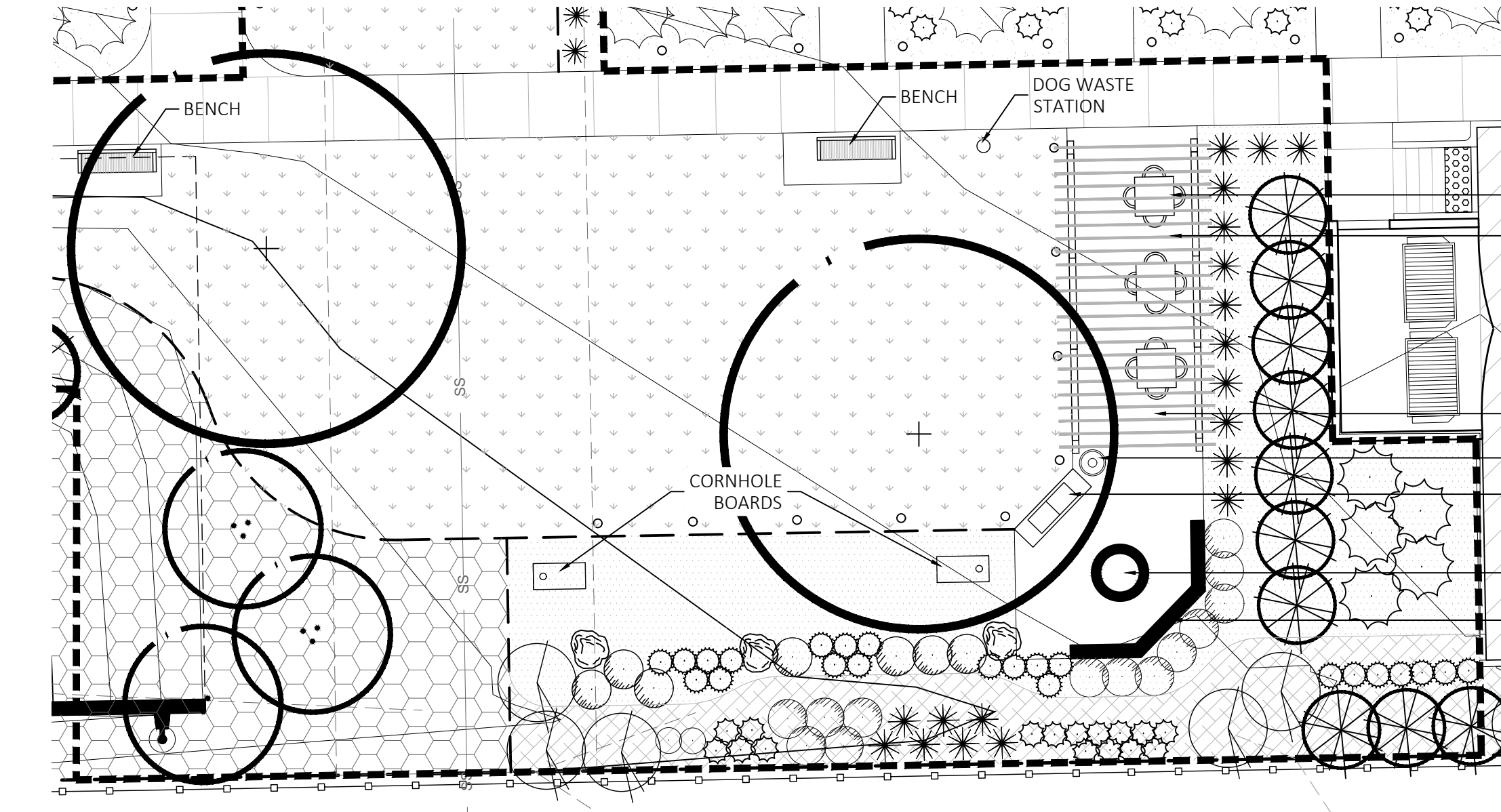
MAINTENANCE FOR THE PROPERTY IS TO BE TAKEN CARE OF VIA HOA.

LANDSCAPE WATER BUDGET

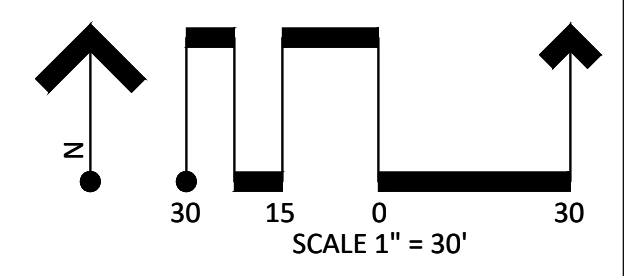
LANDSCAPE HYDROZONE	COVERAGE (%)	AREA (SF)	TOTAL WATER USE (GAL)
HIGH	0	0	x 18 GAL = 0
MEDIUM	9.6	2,974	x 10 GAL = 29,740
LOW	49.4	12,556	x 3 GAL = 37,668
VERY LOW	41.0	11,171	x 0 GAL = 0
TOTAL ALL HYDROZONES:	100	27,207	TOTAL GAL: 67,407
TOTAL GAL / TOTAL LANDSCAPE AREA =			3.66 GAL/SF



HYDROZONE MAP
SCALE: 1"=40'
VERY LOW HYDROZONE
LOW HYDROZONE
MODERATE HYDROZONE

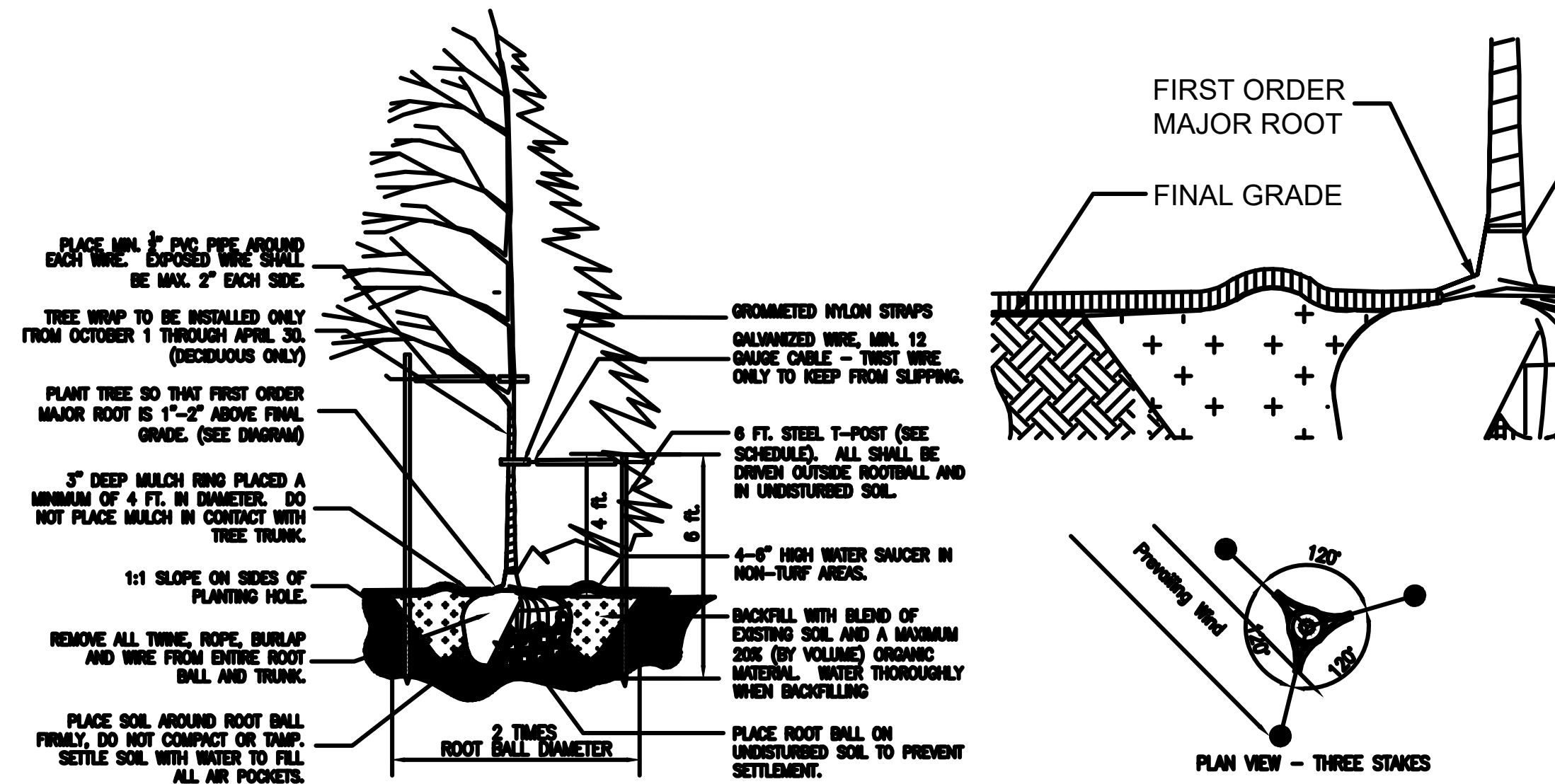


PRIVATE PARK PLAN
SCALE: 1"=10'



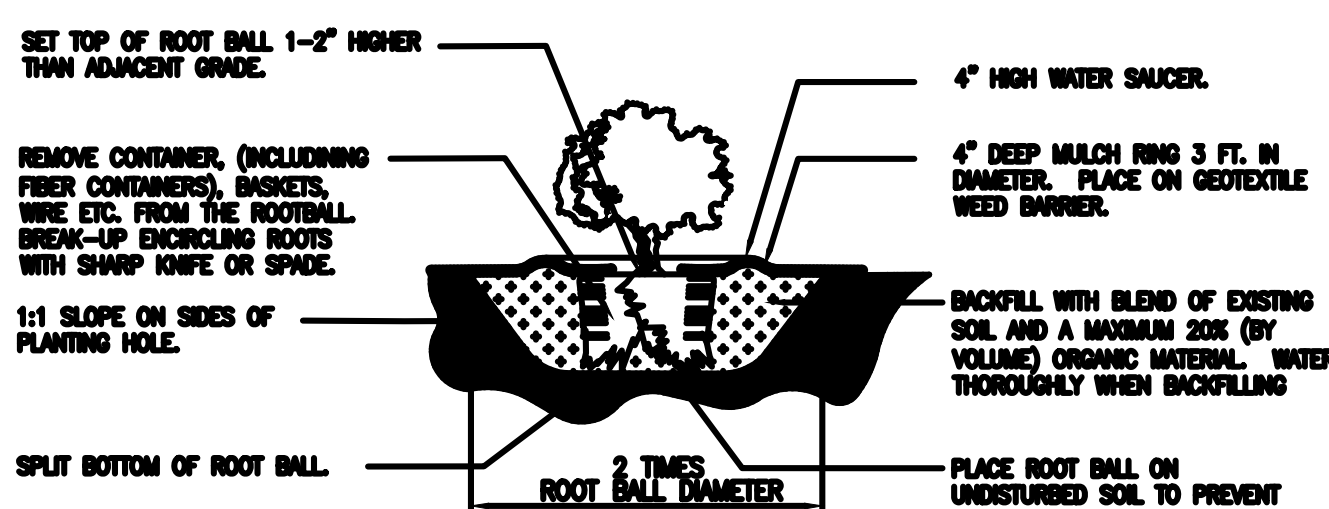
FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 9 OF 23



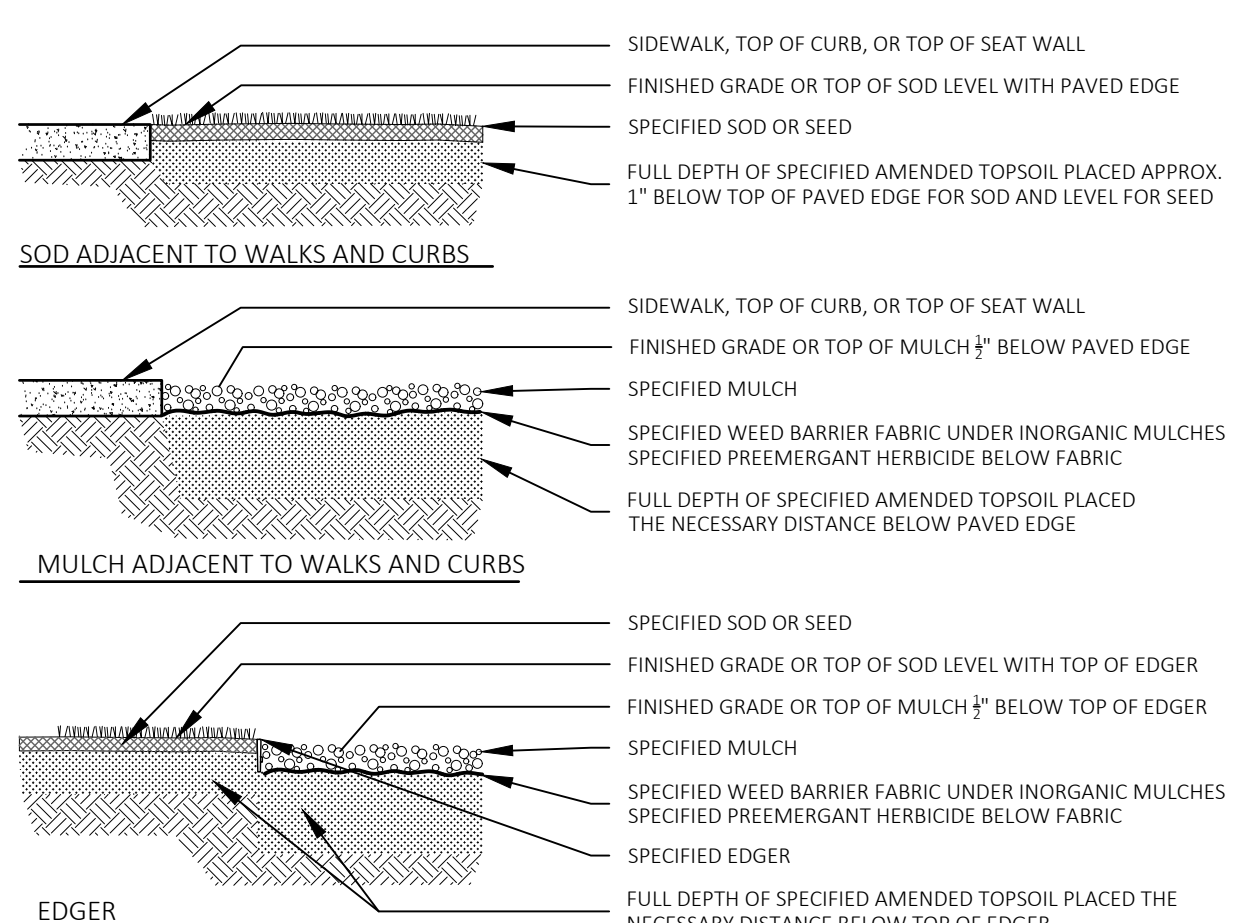
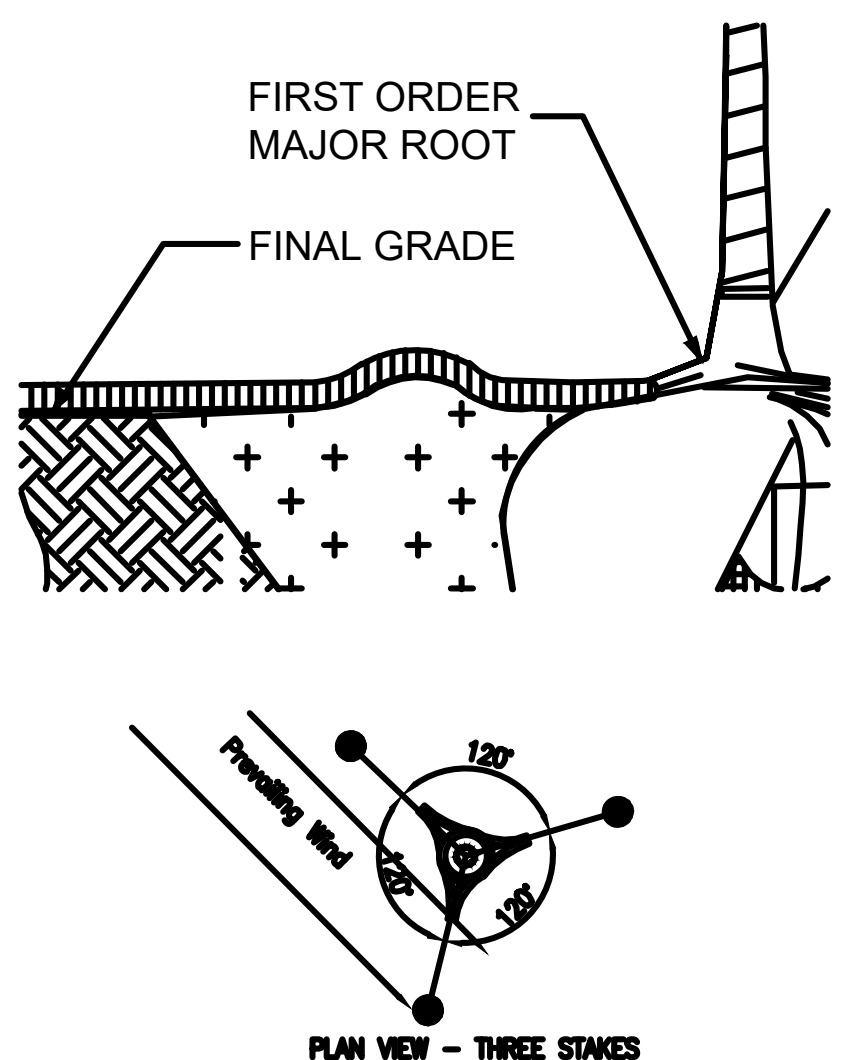
PRUNING NOTES:
ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR BRANCHES AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:
STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWS:
1-2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).
1-2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE.
3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

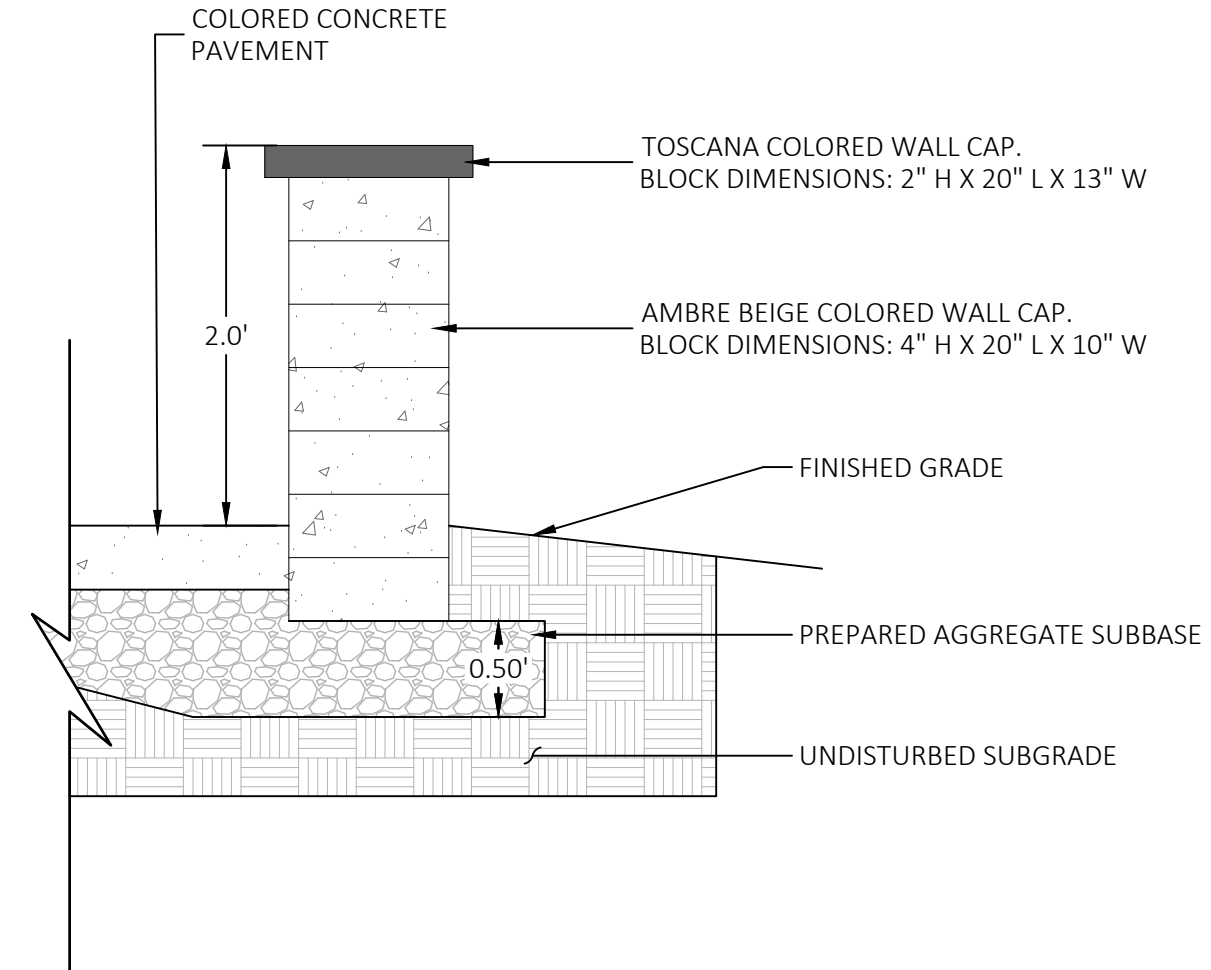


PLACEMENT NOTES:
SET SHRUB PLANTS, SPACE PLANTS, AND PLACE FOR BEST EFFECT.

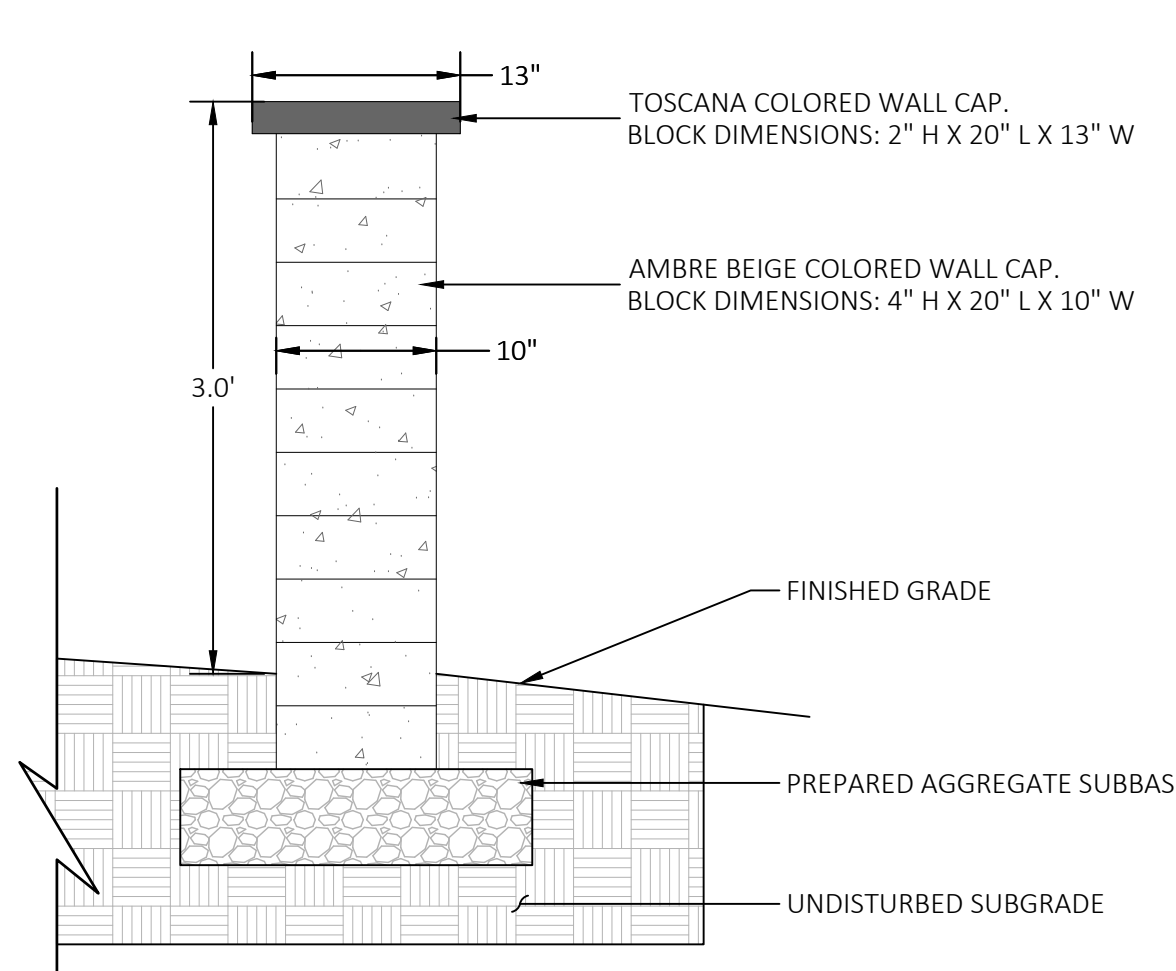
PRUNING NOTES:
DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY DEAD OR BROKEN BRANCHES. IF FORM IS COMPROMISED BY PRUNING, REPLACE SHRUB.



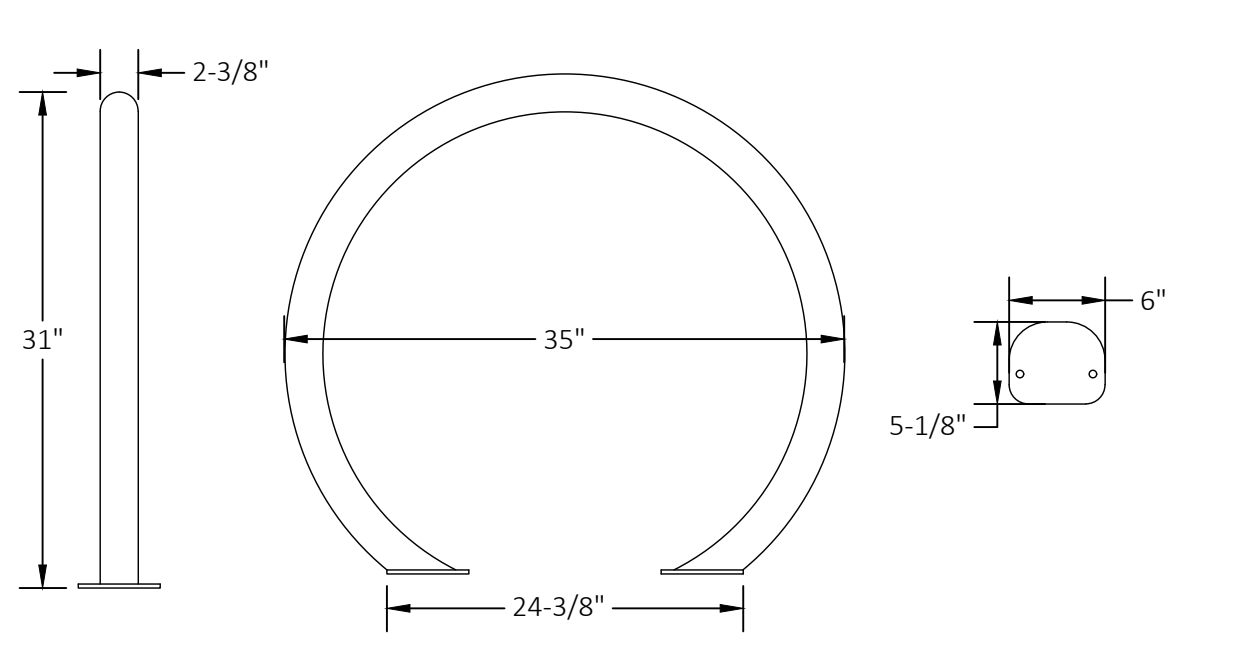
A EDGE TREATMENT
NOT TO SCALE



B SEAT WALL DETAIL
NOT TO SCALE

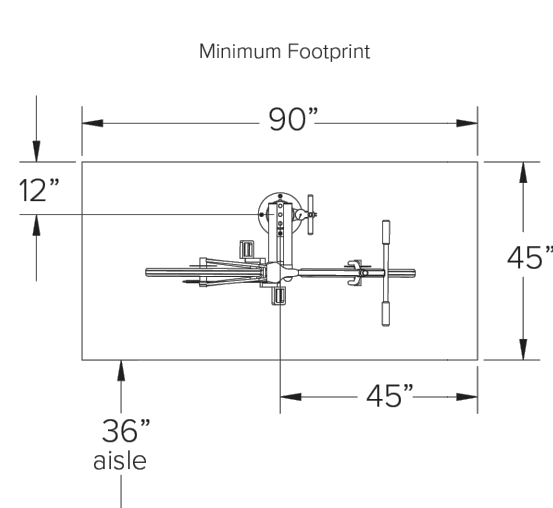
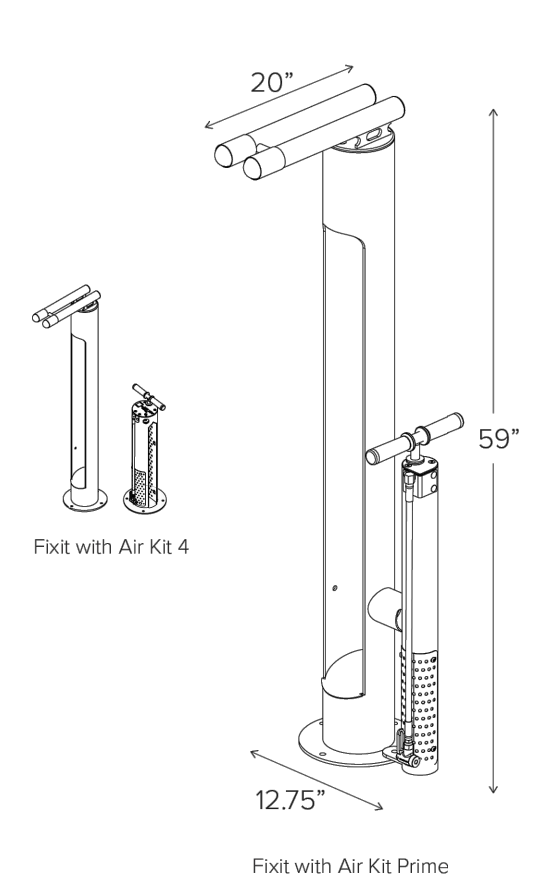


C SCREEN WALL DETAIL
NOT TO SCALE



BELSON.COM, 2-BIKE CIRCULAR BIKE RACK,
STAINLESS STEEL, SURFACE MOUNT
MODEL # CBBR-2CR-SS

D CIRCULAR BIKE RACK DETAIL
NOT TO SCALE



E BICYCLE REPAIR STATION
NOT TO SCALE

Submittal Sheet

CAPACITY: 1 Bike

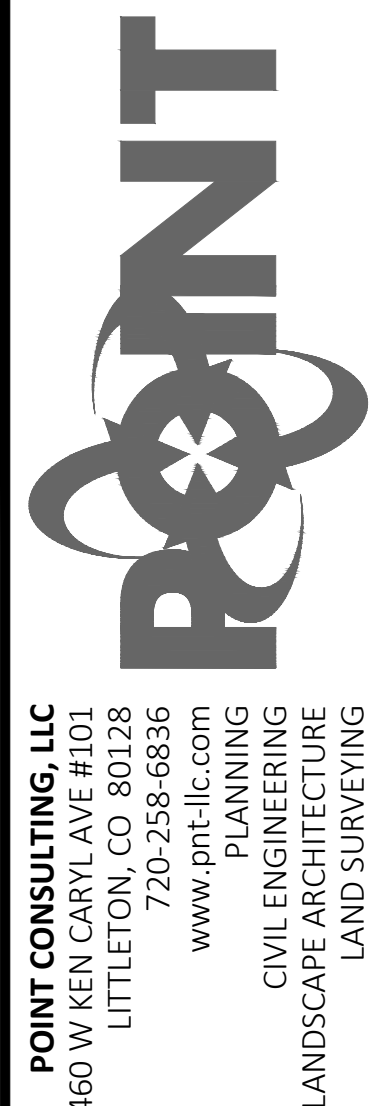
MATERIALS:
Main body: 6" x 154" tube
Bike Hanger: 1.5" sch. 40 pipe, 1/4" plate
Foot: 10" dia. x .25" plate
Tool holders: 5/8" stainless steel cable
Manual air pump
Hand tools:
Phillips and flat head screwdrivers
2.5, 3, 4, 5, 6, 8mm Allen wrenches
Headset wrench
Pedal wrench
8, 9, 10, 11mm box wrenches
Tire levers (2)

FINISHES:
 Galvanized
An after fabrication hot dipped galvanized finish is our standard option.
 Powder Coat
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGC polyester powder coat
 Stainless
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

MOUNT OPTIONS:
Surface only
Fixit has 10" diameter x .25" foot with four anchors per foot. Tamper-resistant fasteners are included.

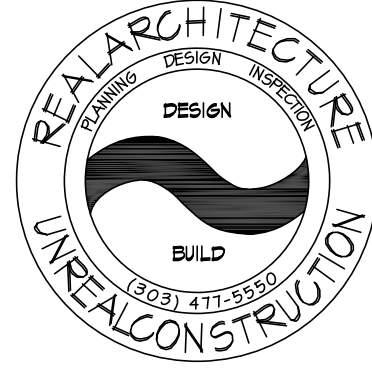
PUMP OPTIONS:
 No Pump
 Air Kit Prime
 Attached to Fixit
 Separate
 Air Kit 4

An optional wheel catch is available to hold bikes with no kick stands



OFFICIAL DEVELOPMENT PLAN
GREENLAWN SUBDIVISION
WESTMINSTER, COLORADO

DATE	DESCRIPTION
2022.02.23	1ST ODP SUBMITTAL
2022.10.03	2ND ODP SUBMITTAL
2023.02.27	3RD ODP SUBMITTAL
2023.03.30	4TH ODP SUBMITTAL
2023.04.17	5TH ODP SUBMITTAL

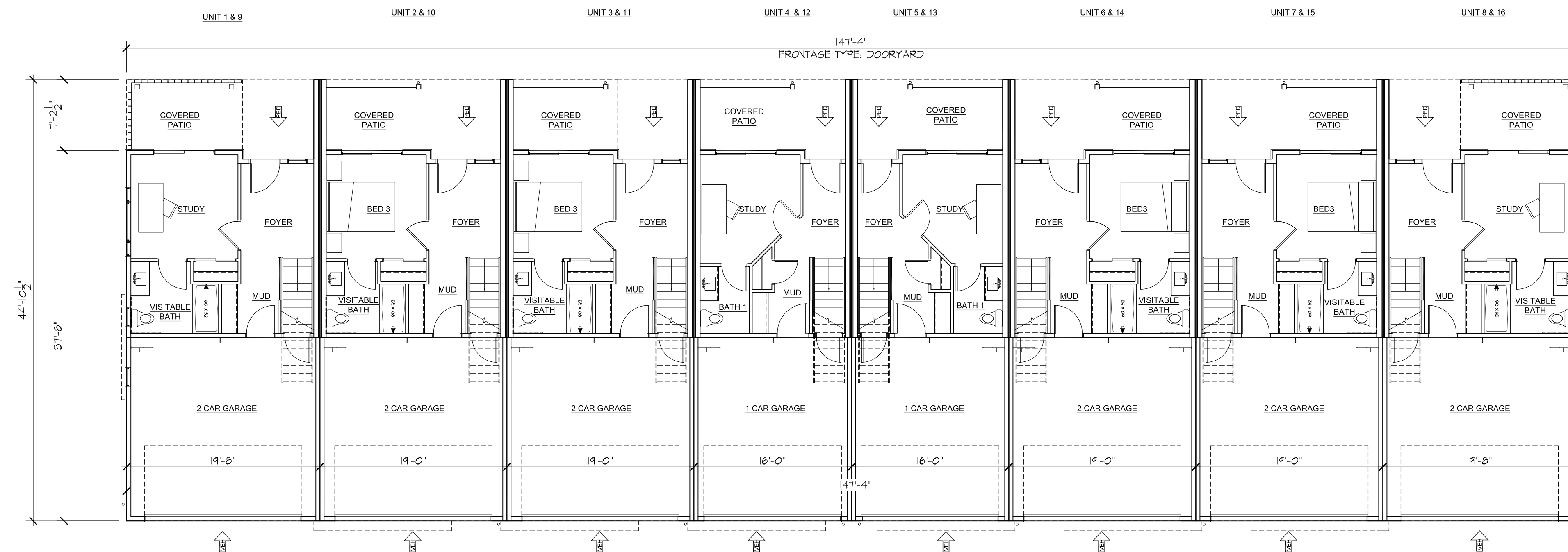
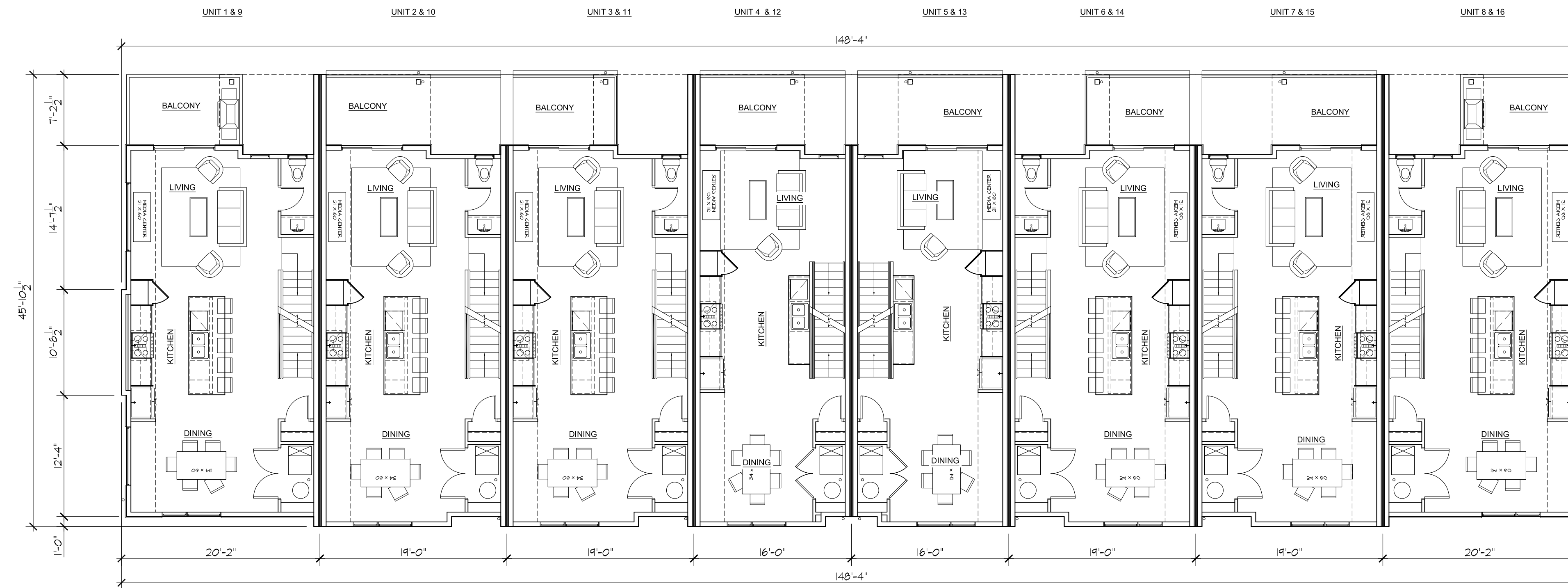


FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 10 OF 23

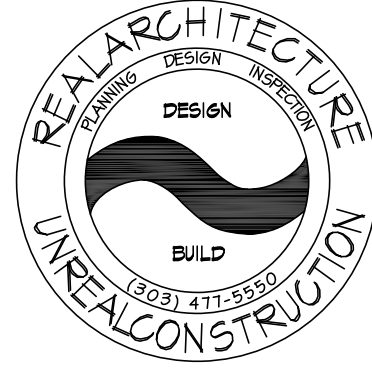
BUILDINGS 1 & 2					
UNITS 1 & 8 / UNITS 9 & 16		UNITS 2,3,6,7 / UNITS 10,11,14,15		UNITS 4 & 5 / UNITS 12 & 13	
1ST LEVEL	= 373 SF	1ST LEVEL	= 365 SF	1ST LEVEL	= 310 SF
2ND LEVEL	= 745 SF	2ND LEVEL	= 728 SF	2ND LEVEL	= 617 SF
3RD LEVEL	= 696 SF	3RD LEVEL	= 724 SF	3RD LEVEL	= 613 SF
		ROOF ACCESS	= 47 SF		
FINISHED FLOOR AREA	= 1,814 SF	FINISHED FLOOR AREA	= 1,864 SF	FINISHED FLOOR AREA	= 1,540 SF
(2) UNITS @ 1,814 SF	= 3,628 SF	(4) UNITS @ 1,864 SF	= 7,456 SF	(2) UNITS @ 1,540 SF	= 3,080 SF
GARAGE (NOT INCLUDED IN F.F.A.)	= 366 SF	GARAGE (NOT INCLUDED IN F.F.A.)	= 354 SF	GARAGE (NOT INCLUDED IN F.F.A.)	= 298 SF
UNITS @ 366 SF	= 732 SF	(4) UNITS @ 354 SF	= 1,416 SF	(2) UNITS @ 298 SF	= 596 SF
		BUILDING 1 & 2 TOTAL F.F. AREA (8 UNITS) = 14,164 SF		BUILDING 1 & 2 TOTAL G.F. AREA (8 UNITS) = 16,908 SF	

ALL INTERIOR WALLS
ARE SHOWN FOR
INFORMATION ONLY



DATE	DESCRIPTION
02.22.2022	1ST ODP SUBMITTAL
10.03.2022	2ND ODP SUBMITTAL
12.23.2022	3RD ODP SUBMITTAL
03.30.2023	4TH ODP SUBMITTAL
04.17.2023	5TH ODP SUBMITTAL

FLOOR PLANS - JOB NO. 21.037
SHEET 10/23

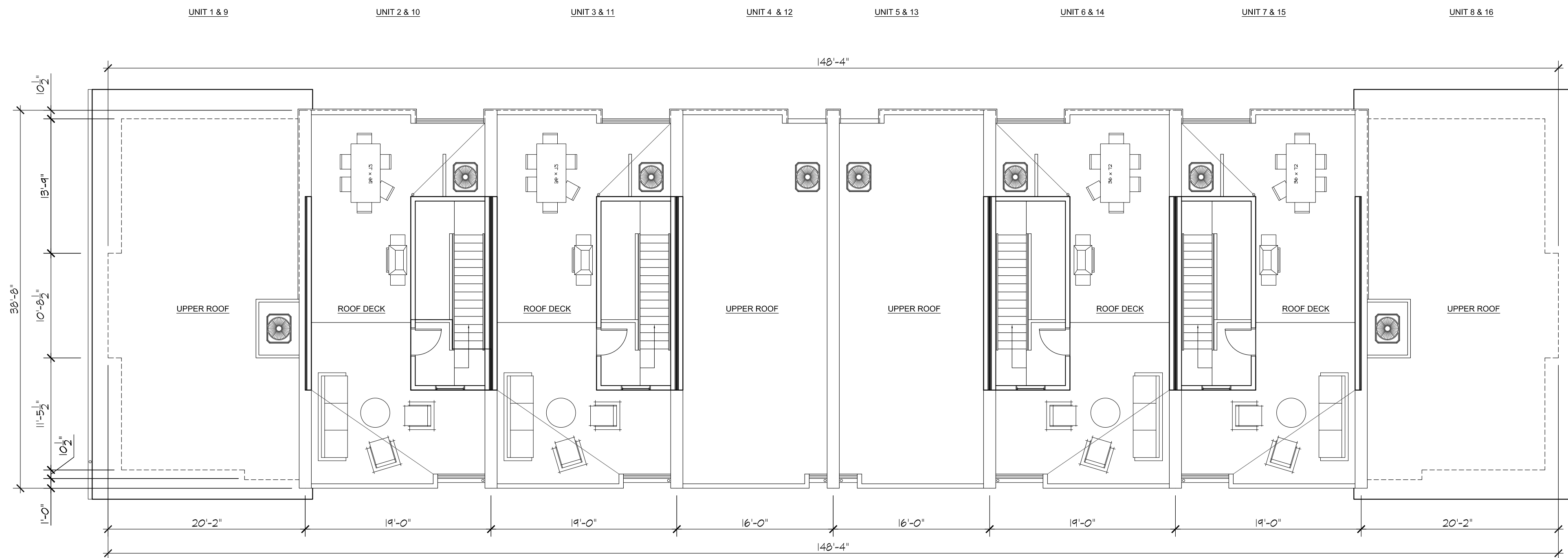


FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 11 OF 23

FLOOR AREA CALCULATIONS					
BUILDINGS 1 & 2		UNITS 2,3,6,7 / UNITS 10,11,14,15		UNITS 4 & 5 / UNITS 12 & 13	
UNITS 1 & 8 / UNITS 9 & 16		UNITS 2,3,6,7 / UNITS 10,11,14,15		UNITS 4 & 5 / UNITS 12 & 13	
1ST LEVEL	= 373 SF	1ST LEVEL	= 365 SF	1ST LEVEL	= 310 SF
2ND LEVEL	= 745 SF	2ND LEVEL	= 728 SF	2ND LEVEL	= 617 SF
3RD LEVEL	= 696 SF	3RD LEVEL	= 724 SF	3RD LEVEL	= 613 SF
		ROOF ACCESS	= 47 SF		
FINISHED FLOOR AREA	= 1,814 SF	FINISHED FLOOR AREA	= 1,864 SF	FINISHED FLOOR AREA	= 1,540 SF
(2) UNITS @ 1,814 SF	= 3,628 SF	(4) UNITS @ 1,864 SF	= 7,456 SF	(2) UNITS @ 1,540 SF	= 3,080 SF
GARAGE (NOT INCLUDED IN F.F.A.)	= 366 SF	GARAGE (NOT INCLUDED IN F.F.A.)	= 354 SF	GARAGE (NOT INCLUDED IN F.F.A.)	= 298 SF
UNITS @ 366 SF	= 732 SF	(4) UNITS @ 354 SF	= 1,416 SF	(2) UNITS @ 298 SF	= 596 SF
BUILDING 1 & 2 TOTAL F.F. AREA (8 UNITS) = 14,164 SF		BUILDING 1 & 2 TOTAL G.F. AREA (8 UNITS) = 16,908 SF		BUILDING 1 & 2 TOTAL F.F. AREA (8 UNITS) = 14,164 SF	
				BUILDING 1 & 2 TOTAL G.F. AREA (8 UNITS) = 16,908 SF	

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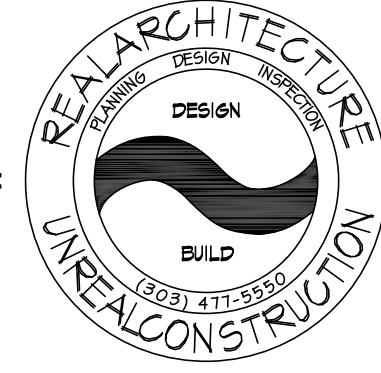
4 ROOF ACCESS - BUILDING 1 & 2
SCALE: 1/8" = 1'-0"



3 3RD LEVEL - BUILDING 1 & 2
SCALE: 1/8" = 1'-0"



DATE	DESCRIPTION
02.22.2022	1ST ODP SUBMITTAL
10.03.2022	2ND ODP SUBMITTAL
12.23.2022	3RD ODP SUBMITTAL
03.30.2023	4TH ODP SUBMITTAL
04.17.2023	5TH ODP SUBMITTAL

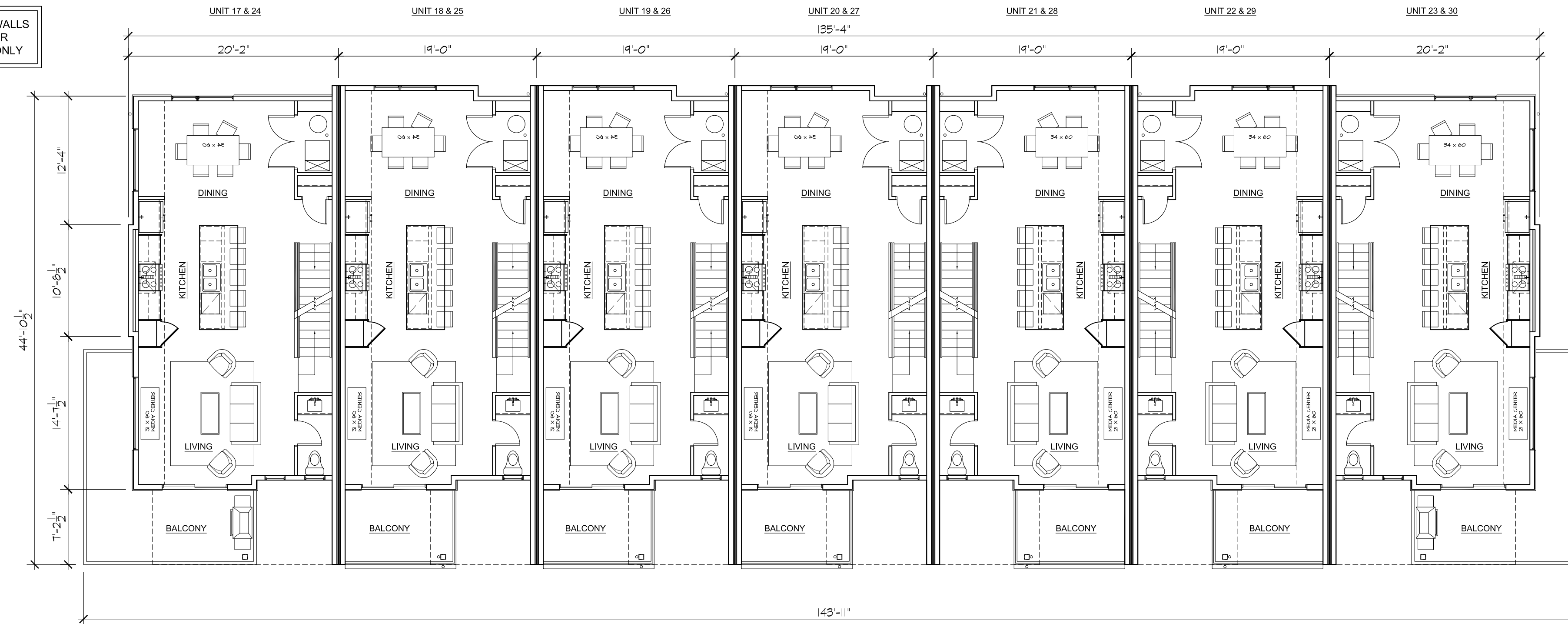


FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

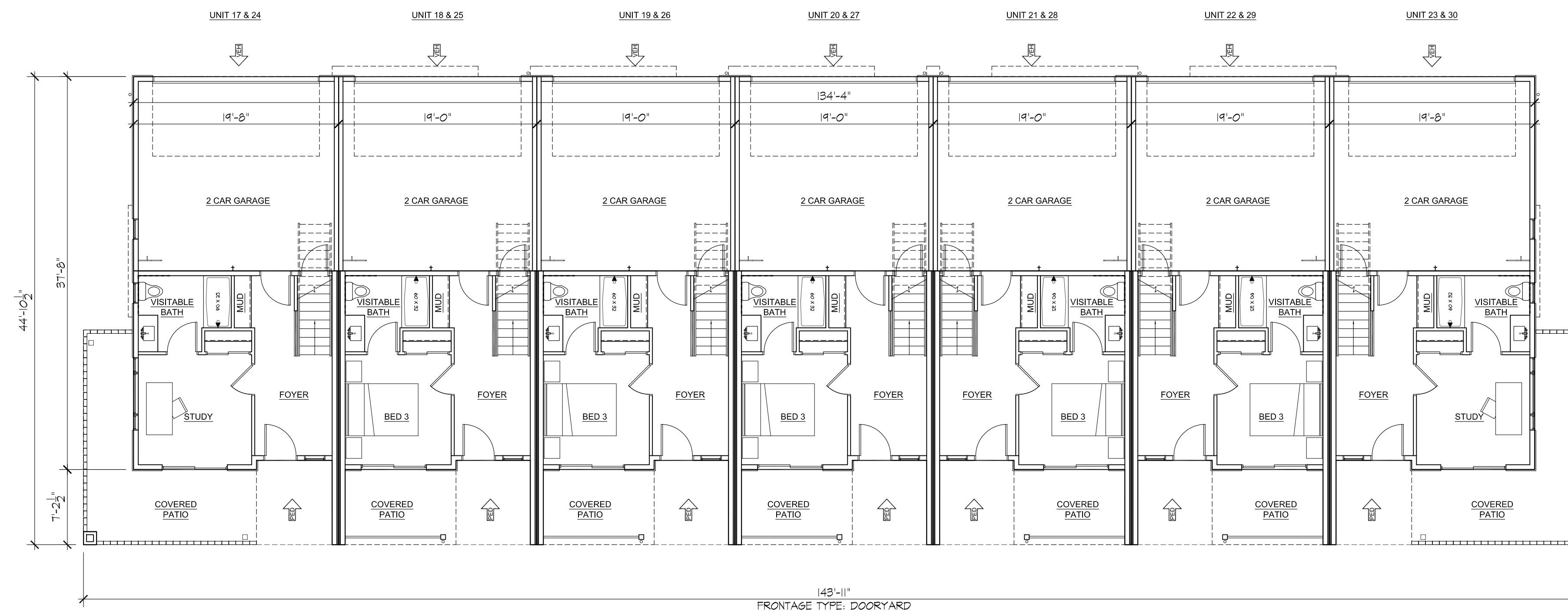
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 12 OF 23

FLOOR AREA CALCULATIONS			
BUILDINGS 3 & 4			
UNITS 17 & 23 / UNITS 24 & 30			
1ST LEVEL	=	373 SF	
2ND LEVEL	=	745 SF	
3RD LEVEL	=	696 SF	
ROOF ACCESS	=	47 SF	
FINISHED FLOOR AREA	=	1,814 SF	
(2) UNITS @ 1,814 SF	=	3,628 SF	
GARAGE (NOT INCLUDED IN F.F.A.)	=	366 SF	
UNITS @ 366 SF	=	732 SF	
UNITS 18 - 22 / UNITS 25-29			
1ST LEVEL	=	364 SF	
2ND LEVEL	=	732 SF	
3RD LEVEL	=	724 SF	
ROOF ACCESS	=	47 SF	
FINISHED FLOOR AREA	=	1,867 SF	
(5) UNITS @ 1,867 SF	=	9,335 SF	
GARAGE (NOT INCLUDED IN F.F.A.)	=	354 SF	
(5) UNITS @ 354 SF	=	1,770 SF	
BUILDING 3 & 4 TOTAL F.F. AREA (7 UNITS) = 12,963 SF			
BUILDING 3 & 4 TOTAL G.F. AREA (7 UNITS) = 15,465 SF			

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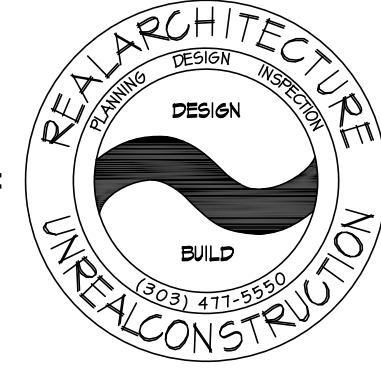
2 2ND LEVEL - BUILDING 3 & 4
SCALE: 1/8" = 1'-0"



1 1ST LEVEL - BUILDING 3 & 4
SCALE: 1/8" = 1'-0"



DATE	DESCRIPTION
02.22.2022	1ST ODP SUBMITTAL
10.03.2022	2ND ODP SUBMITTAL
12.23.2022	3RD ODP SUBMITTAL
03.30.2023	4TH ODP SUBMITTAL
04.17.2023	5TH ODP SUBMITTAL

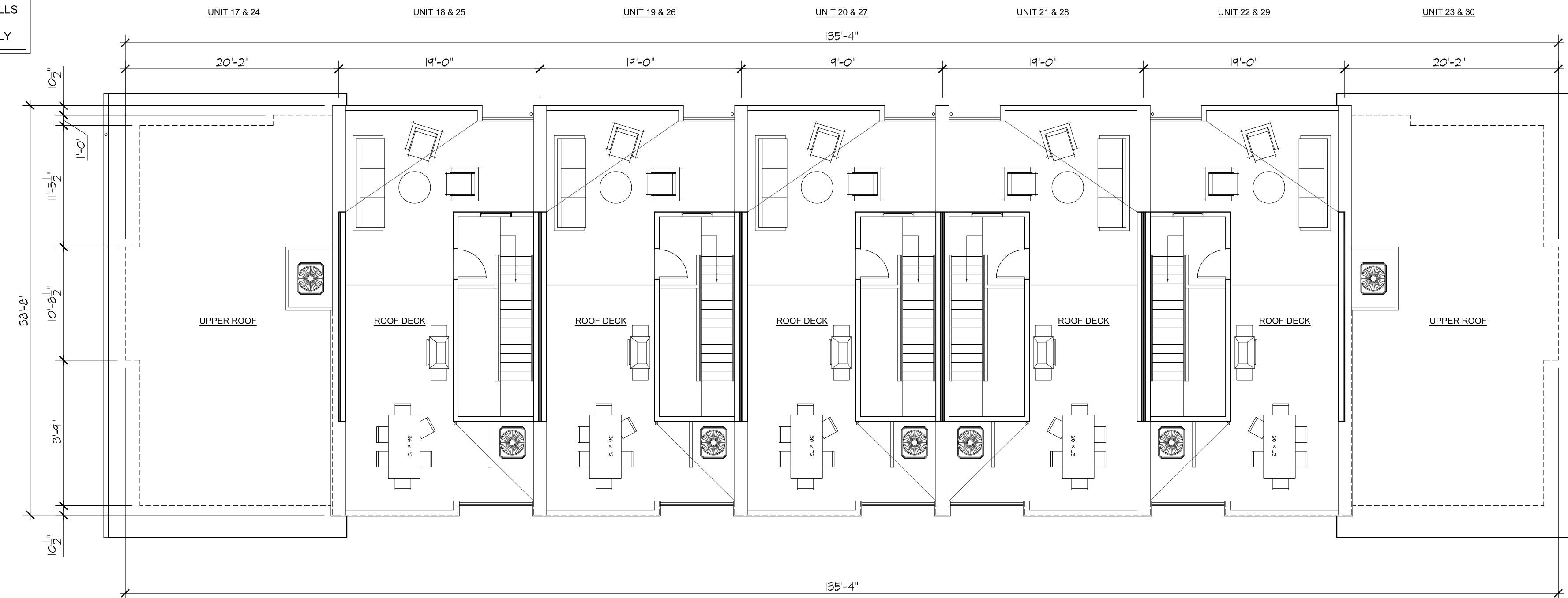


FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 13 OF 23

FLOOR AREA CALCULATIONS			
BUILDINGS 3 & 4			
UNITS 17 & 23 / UNITS 24 & 30		UNITS 18 - 22 / UNITS 25-29	
1ST LEVEL	= 373 SF	1ST LEVEL	= 364 SF
2ND LEVEL	= 745 SF	2ND LEVEL	= 732 SF
3RD LEVEL	= 696 SF	3RD LEVEL	= 724 SF
		ROOF ACCESS	= 47 SF
FINISHED FLOOR AREA	= 1,814 SF	FINISHED FLOOR AREA	= 1,867 SF
(2) UNITS @ 1,814 SF	= 3,628 SF	(5) UNITS @ 1,867 SF	= 9,335 SF
GARAGE (NOT INCLUDED IN F.F.A.)	= 366 SF	GARAGE (NOT INCLUDED IN F.F.A.)	= 354 SF
UNITS @ 366 SF	= 732 SF	(5) UNITS @ 354 SF	= 1,770 SF
		BUILDING 3 & 4 TOTAL F.F. AREA (7 UNITS) =	12,963 SF
		BUILDING 3 & 4 TOTAL G.F. AREA (7 UNITS) =	15,465 SF

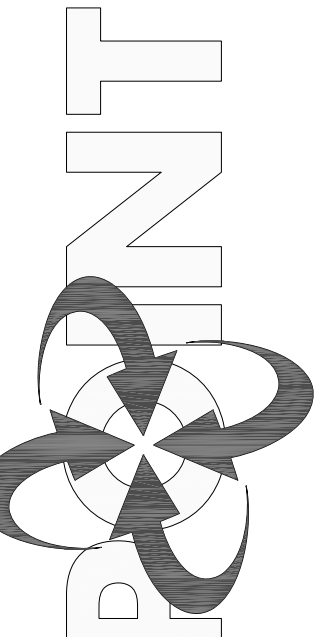
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2
ROOF ACCESS LEVEL - BUILDING 3 & 4
SCALE: 1/8" = 1'-0"



1
3RD LEVEL - BUILDING 3 & 4
SCALE: 1/8" = 1'-0"



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OFFICIAL DEVELOPMENT PLAN

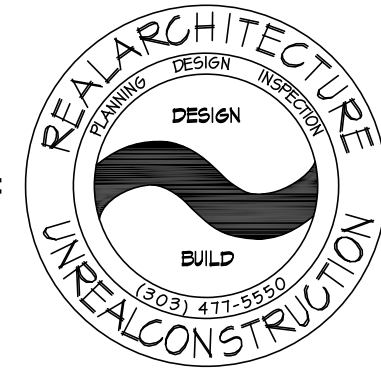
GREENLAWN SUBDIVISION

WESTMINSTER, COLORADO

DATE	DESCRIPTION
09.29.2022	1ST ODP SUBMITTAL
10.03.2022	2ND ODP SUBMITTAL
12.23.2022	3RD ODP SUBMITTAL
03.30.2023	4TH ODP SUBMITTAL
04.17.2023	5TH ODP SUBMITTAL

FLOOR PLANS - JOB NO. 21.037

SHEET 13/23

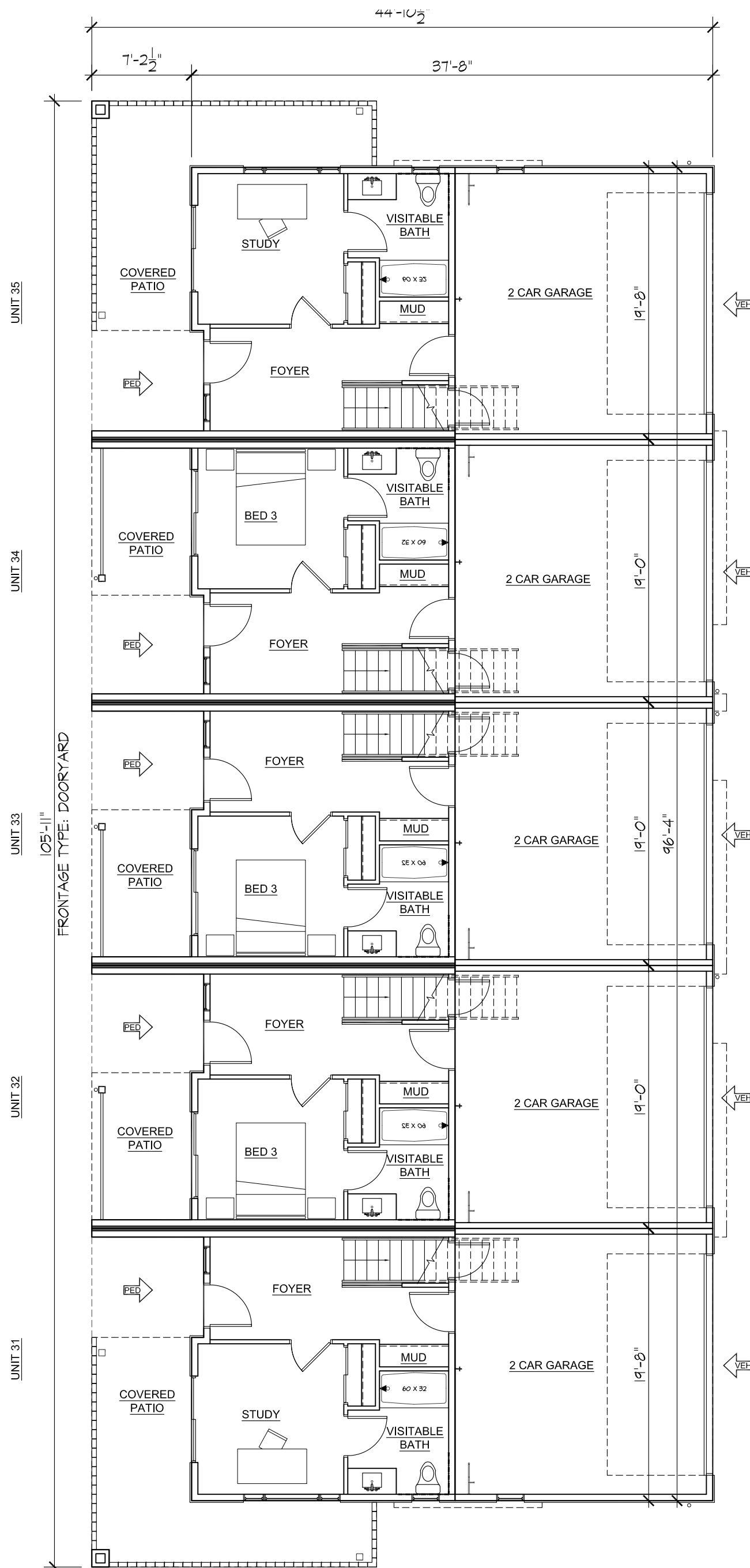
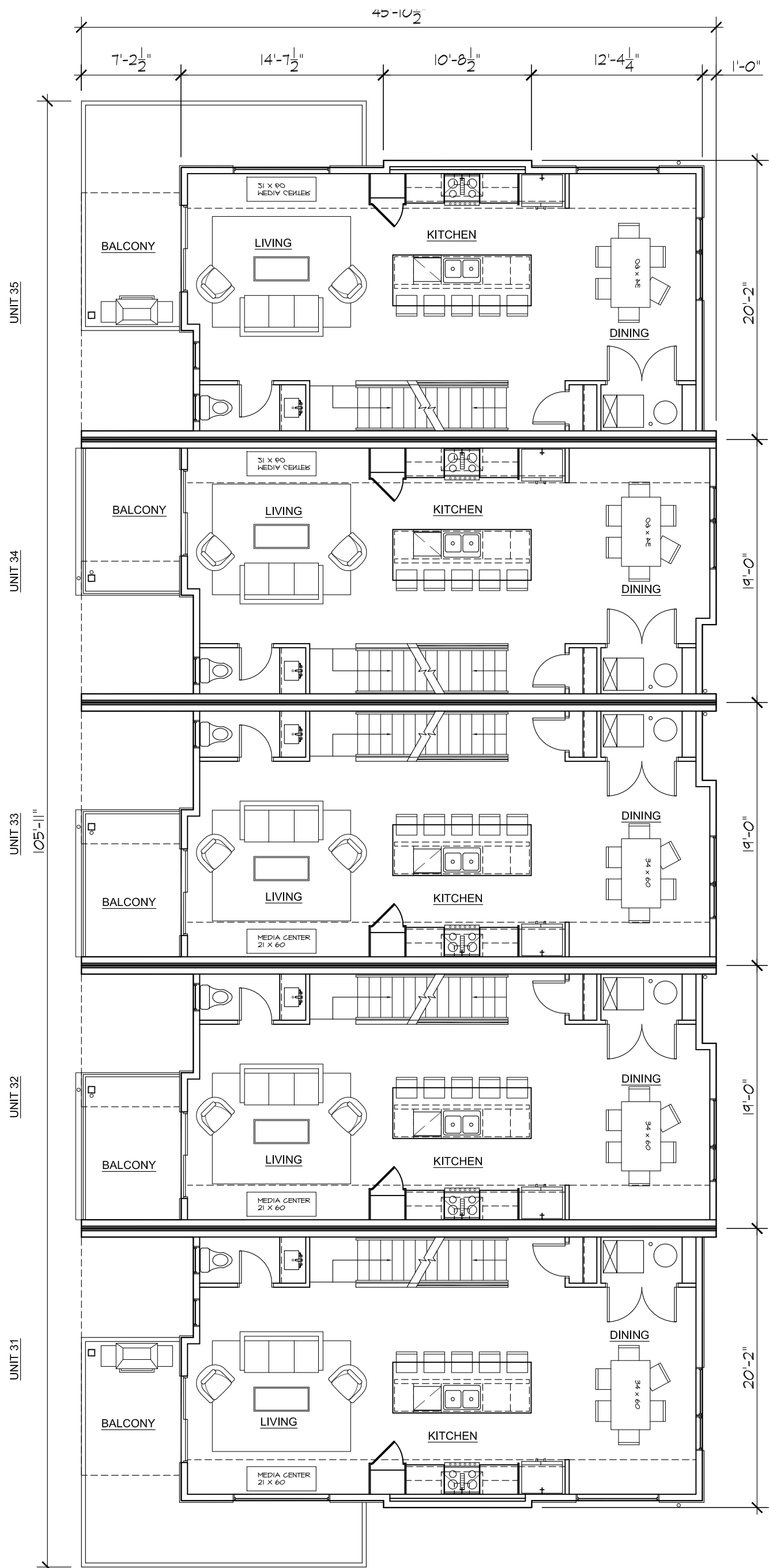
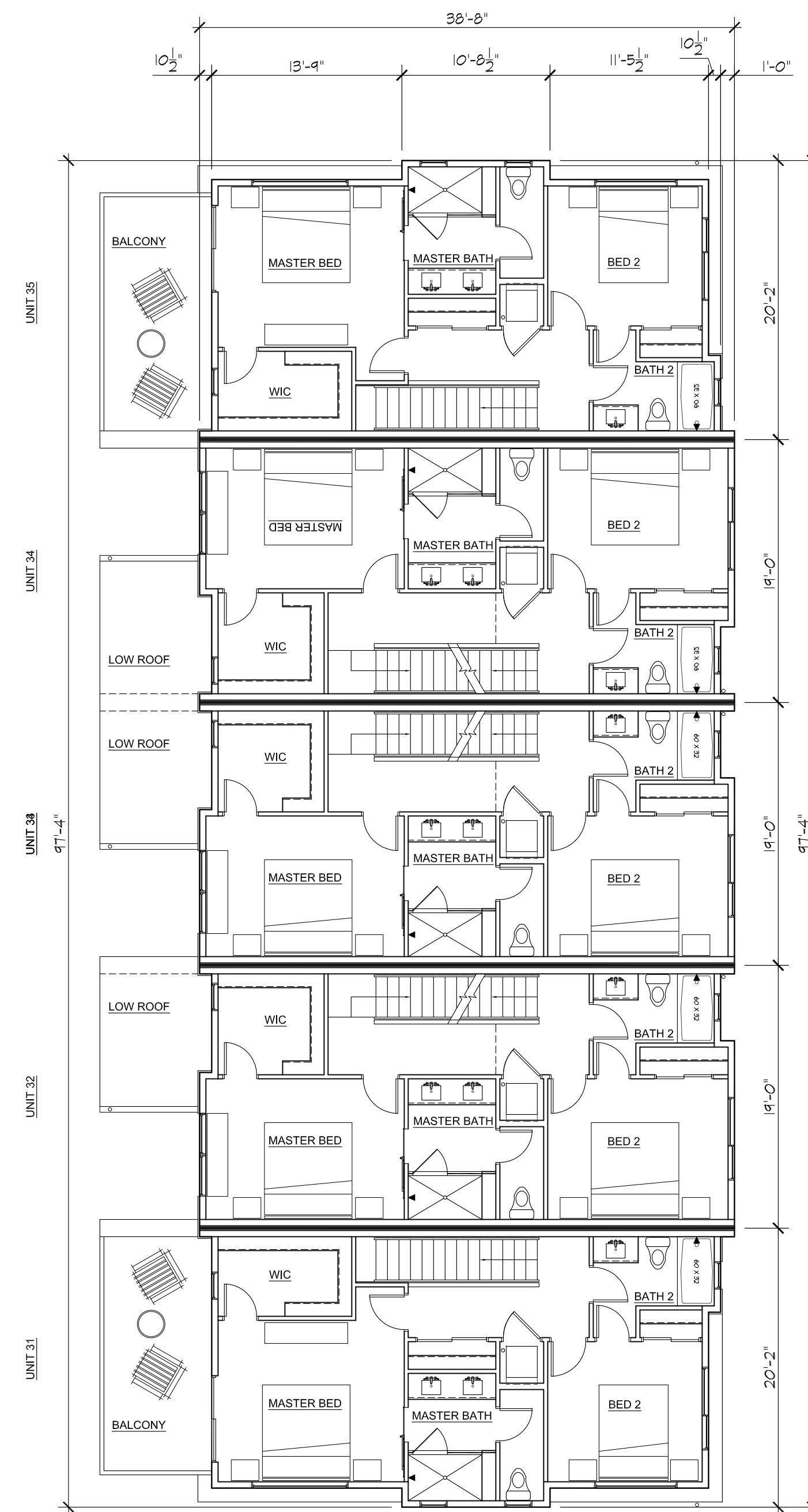
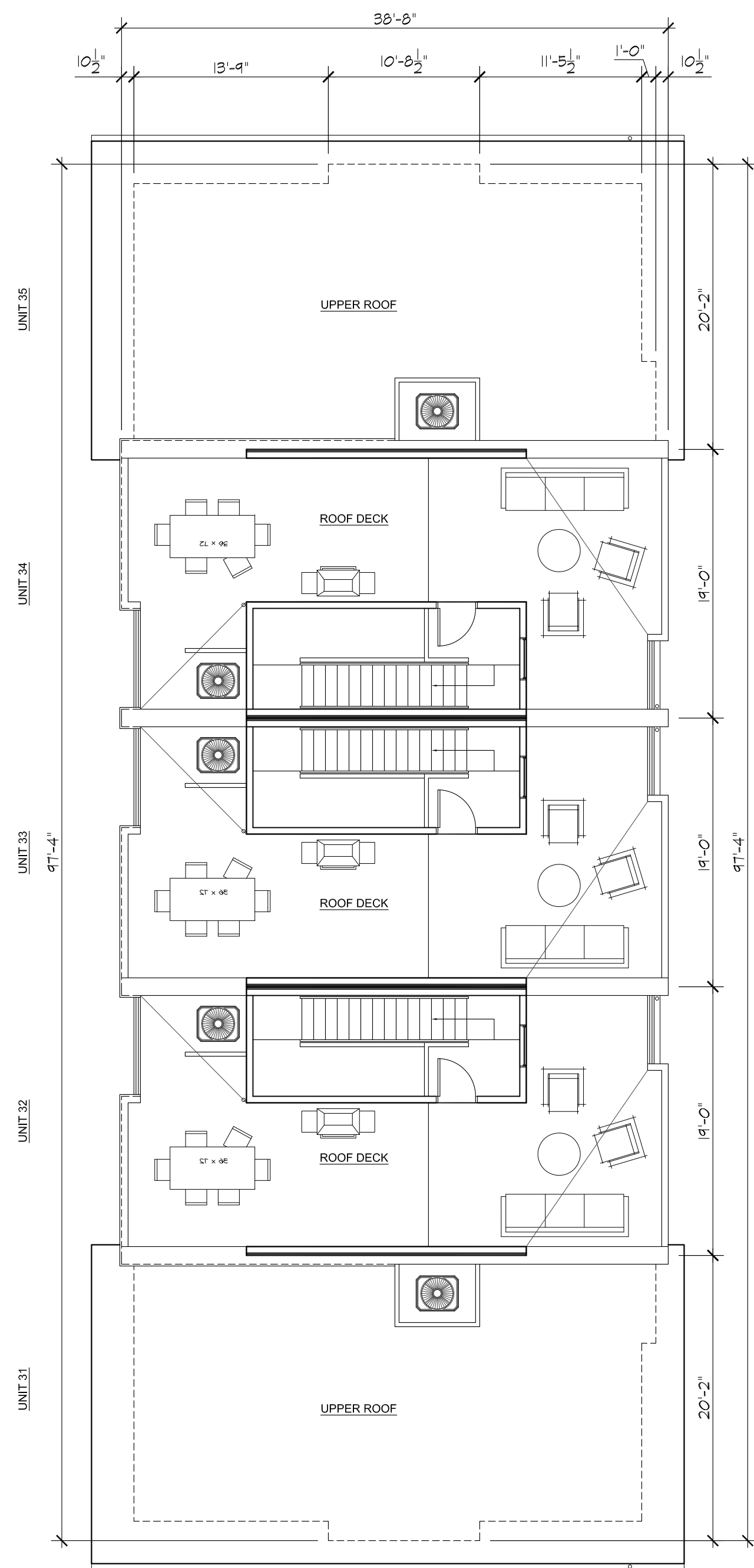


FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 14 OF 23

FLOOR AREA CALCULATIONS					
BUILDING 5 & 6		UNITS 32 & 34 / UNITS 37 & 39			
UNITS 31 & 35 / UNITS 36 & 40					
1ST LEVEL	=	373 SF	1ST LEVEL	=	364 SF
2ND LEVEL	=	745 SF	2ND LEVEL	=	732 SF
3RD LEVEL	=	636 SF	3RD LEVEL	=	723 SF
			ROOF ACCESS	=	47 SF
FINISHED FLOOR AREA	=	1,814 SF	FINISHED FLOOR AREA	=	1,866 SF
(2) UNITS @ 1,814 SF	=	3,628 SF	(3) UNITS @ 1,866 SF	=	5,598 SF
GARAGE (NOT INCLUDED IN F.F.A.)	=	366 SF	GARAGE (NOT INCLUDED IN F.F.A.)	=	354 SF
UNITS @ 366 SF	=	732 SF	(3) UNITS @ 354 SF	=	1,062 SF
BUILDING 5 & 6 TOTAL F.F. AREA (5 UNITS) = 9,226 SF		BUILDING 5 & 6 TOTAL G.F. AREA (5 UNITS) = 11,020 SF			

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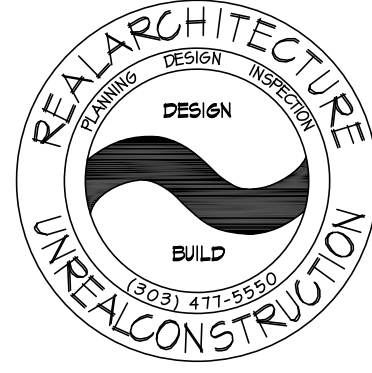
4 ROOF ACCESS - BUILDING 5
SCALE: 1/8" = 1'-0"

3 3RD LEVEL - BUILDING 5
SCALE: 1/8" = 1'-0"

2 2ND LEVEL - BUILDING 5
SCALE: 1/8" = 1'-0"

1 1ST LEVEL - BUILDING 5
SCALE: 1/8" = 1'-0"



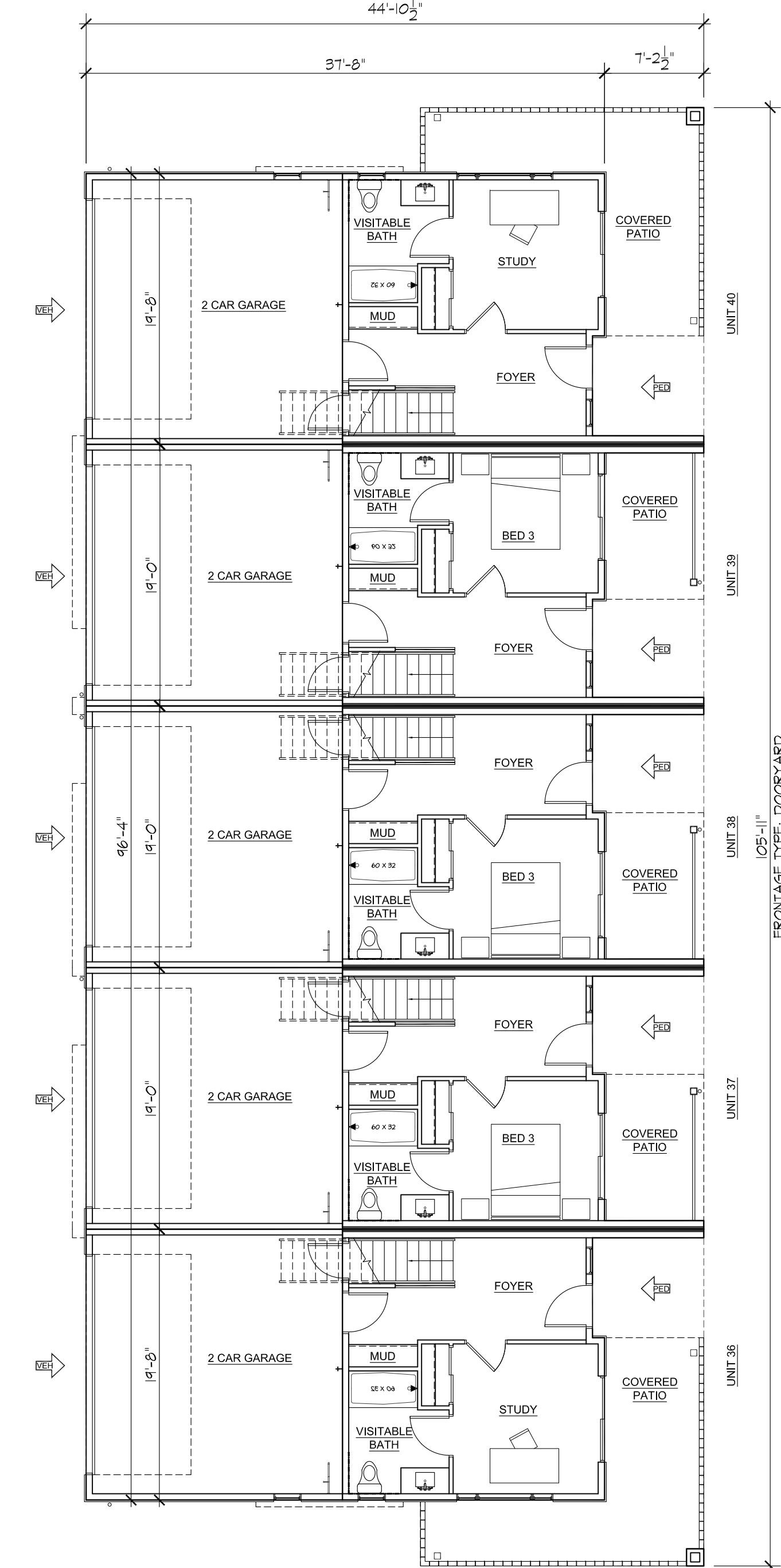
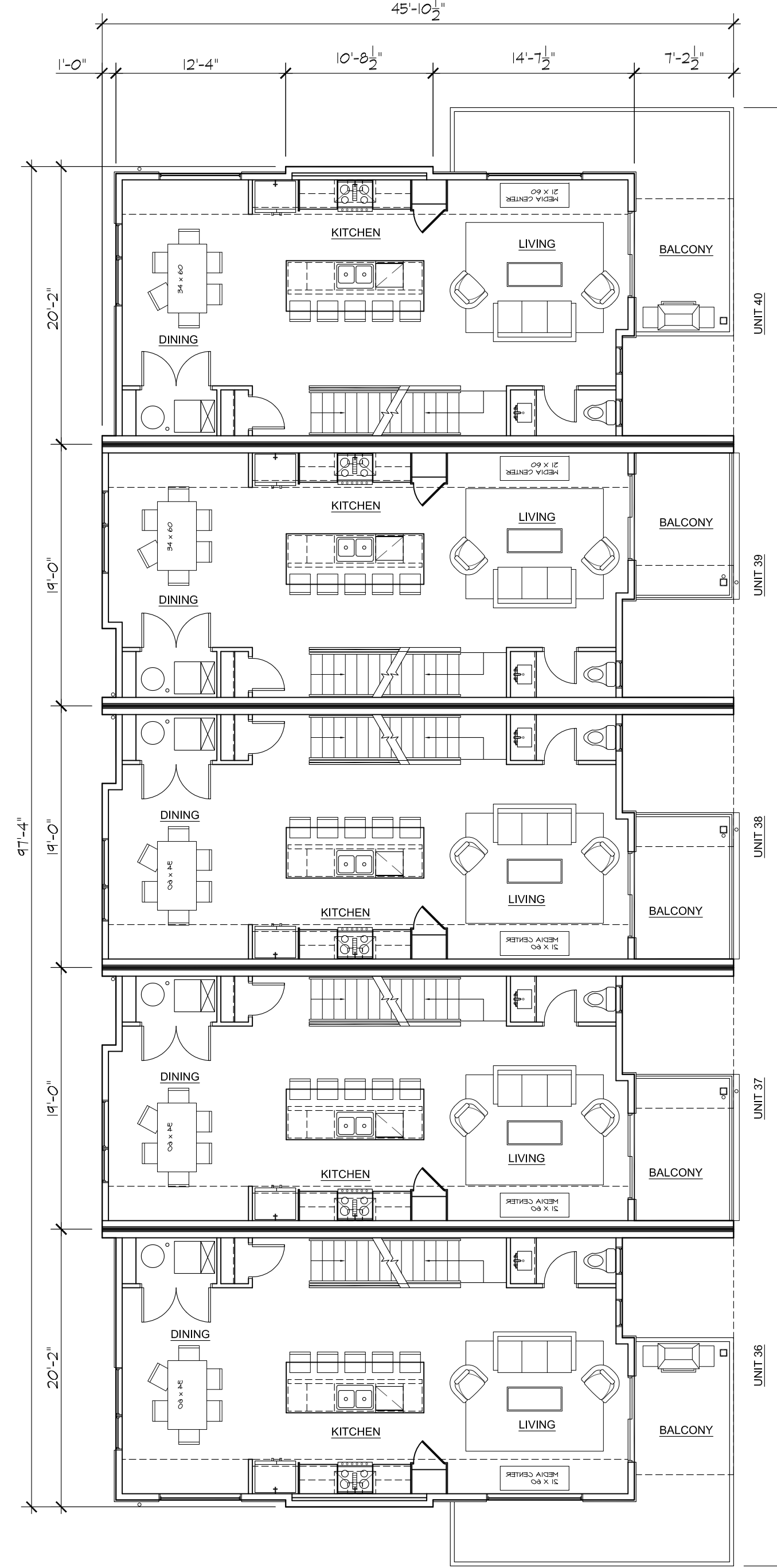
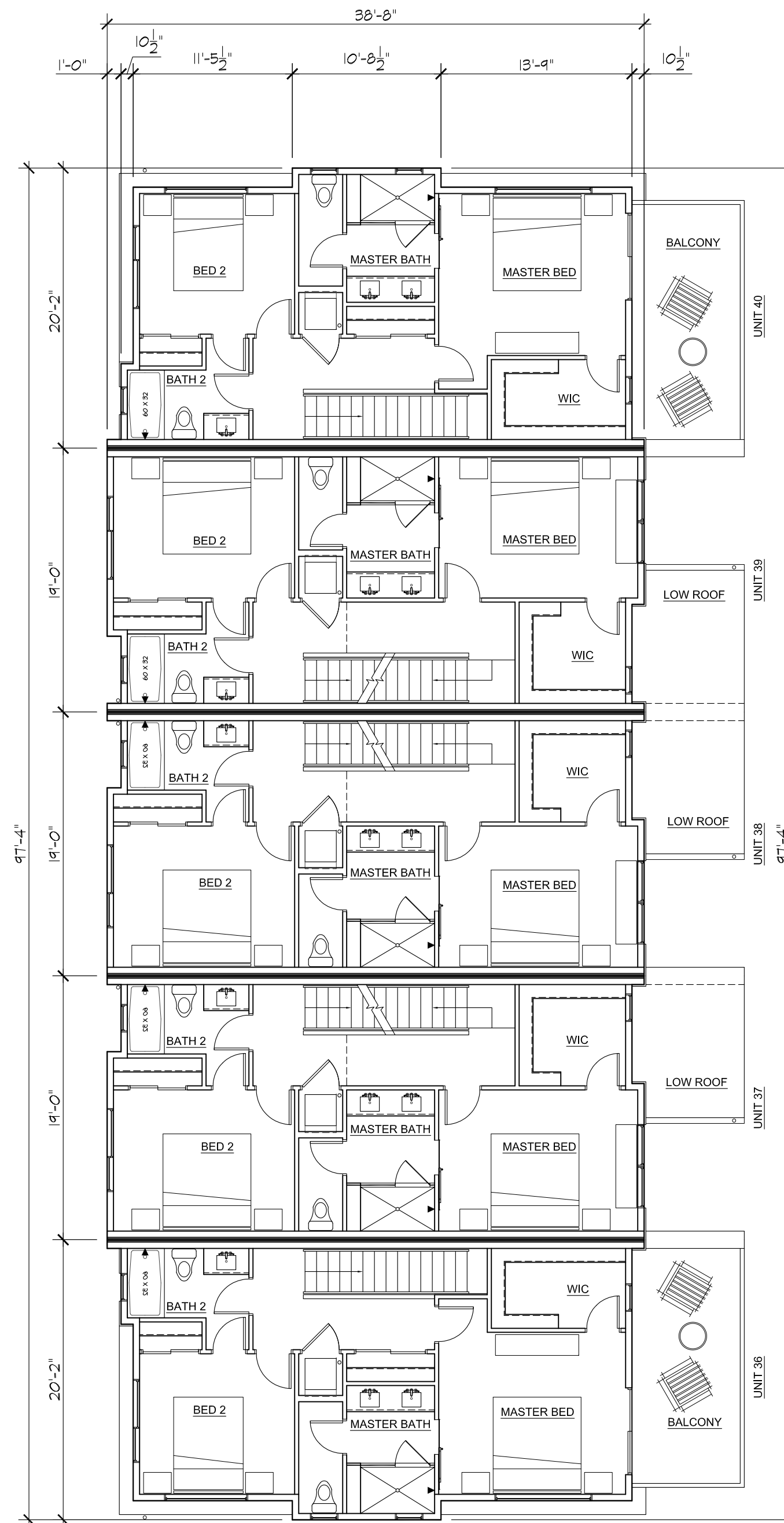
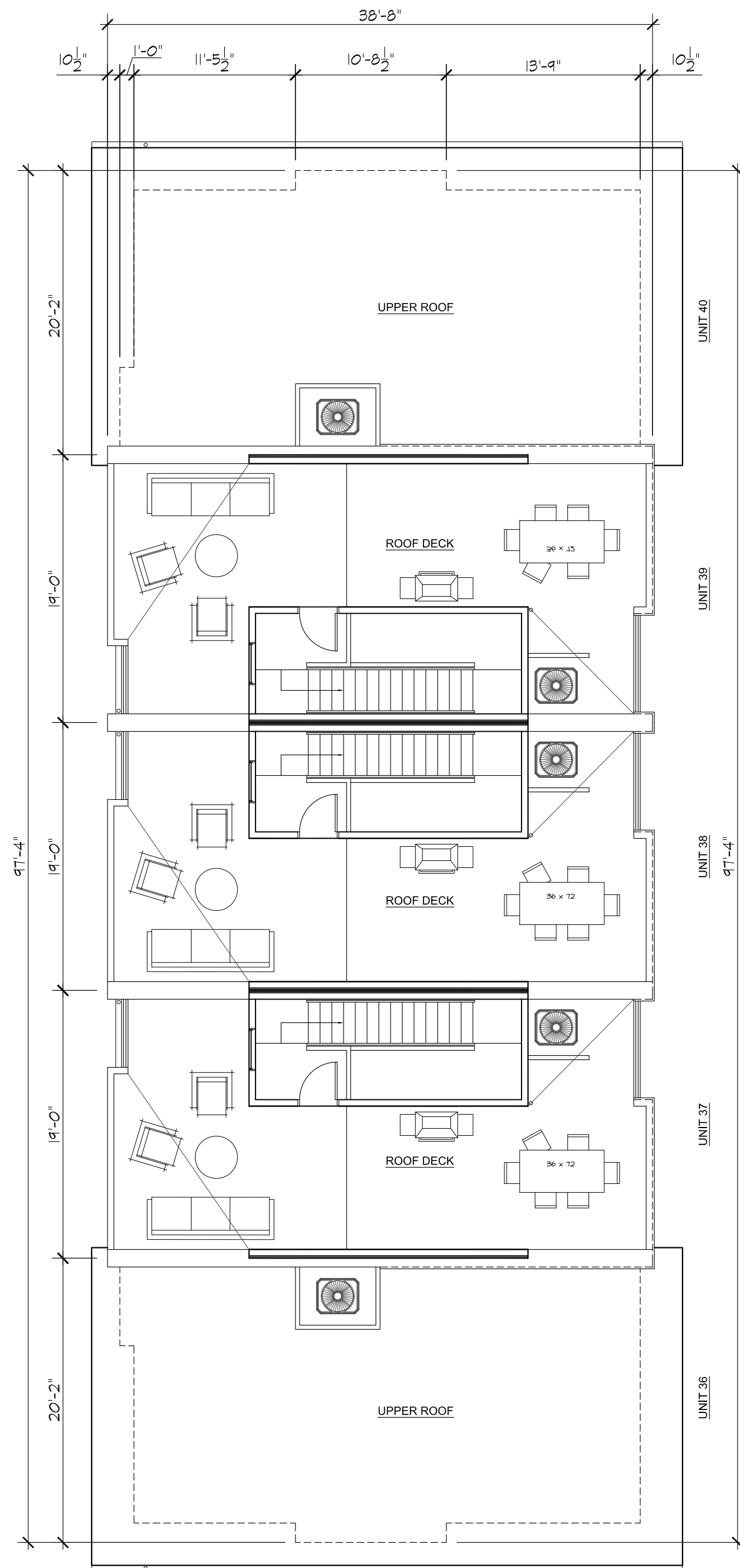


FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 15 OF 23

BUILDING 5 & 6		UNITS 31 & 35 / UNITS 36 & 40		UNITS 32 & 34 / UNITS 37 & 39	
1ST LEVEL	= 373 SF	1ST LEVEL	= 364 SF	1ST LEVEL	= 364 SF
2ND LEVEL	= 745 SF	2ND LEVEL	= 732 SF	2ND LEVEL	= 732 SF
3RD LEVEL	= 636 SF	3RD LEVEL	= 723 SF	3RD LEVEL	= 723 SF
		ROOF ACCESS	= 47 SF		
FINISHED FLOOR AREA	= 1,814 SF	FINISHED FLOOR AREA	= 1,866 SF	FINISHED FLOOR AREA	= 1,866 SF
(2) UNITS @ 1,814 SF	= 3,628 SF	(3) UNITS @ 1,866 SF	= 5,598 SF	(3) UNITS @ 1,866 SF	= 5,598 SF
GARAGE (NOT INCLUDED IN F.F.A.)	= 366 SF	GARAGE (NOT INCLUDED IN F.F.A.)	= 354 SF	GARAGE (NOT INCLUDED IN F.F.A.)	= 354 SF
UNITS @ 366 SF	= 732 SF	UNITS @ 354 SF	= 1,062 SF	UNITS @ 354 SF	= 1,062 SF
		BUILDING 5 & 6 TOTAL F.F. AREA (5 UNITS) = 9,226 SF			
		BUILDING 5 & 6 TOTAL G.F. AREA (5 UNITS) = 11,020 SF			

ALL INTERIOR WALLS
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4 ROOF ACCESS - BUILDING 6
SCALE: 1/8" = 1'-0"

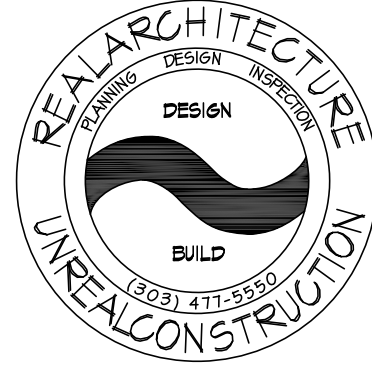
3 3RD LEVEL - BUILDING 6
SCALE: 1/8" = 1'-0"

2 2ND LEVEL - BUILDING 6
SCALE: 1/8" = 1'-0"

1 1ST LEVEL - BUILDING 6
SCALE: 1/8" = 1'-0"



DATE	DESCRIPTION
02.22.2022	1ST ODP SUBMITTAL
10.03.2022	2ND ODP SUBMITTAL
12.23.2022	3RD ODP SUBMITTAL
03.30.2023	4TH ODP SUBMITTAL
04.17.2023	5TH ODP SUBMITTAL



FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 16 OF 23

MATERIAL LEGEND

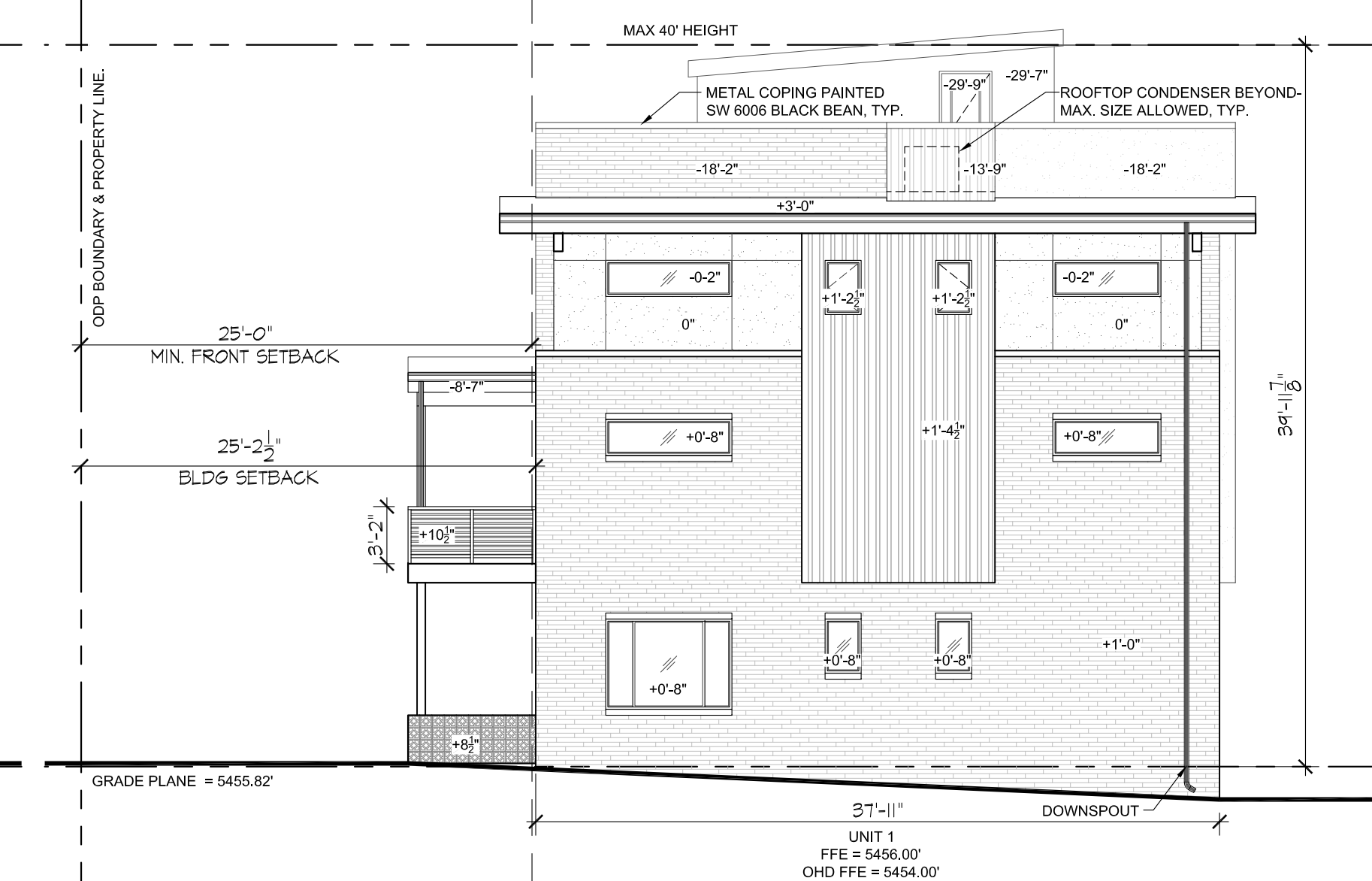
HATCH	DESCRIPTION
	STONE VENEER ELDORADO STONE - OCEAN FLOOR
	STUCCO SHERWIN WILLIAMS - DARK THYME
	VERTICAL CORRUGATED METAL SIDING WESTERN WAVE - COPPER PENNY

- NOTES:
- ALL ALUMINUM GUTTERS & DOWNSPOUTS, ALL METAL COPING AND ALL HARDBOARD FASCIA TO BE PAINTED SW 6006 BLACK BEAN.
 - ALL METAL RAILINGS, AWNINGS, AND COLUMNS TO BE POWDER COATED SW 6006 BLACK BEAN.
 - ALL EXTERIOR WINDOWS AND DOORS TO BE BLACK VINYL.
 - SEE MATERIALS BOARD FOR SAMPLES.
 - CLADDING WILL EXTEND TO THE GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE THE GRADE, WHERE A MAXIMUM OF 18 INCHES OF FOUNDATION WILL BE EXPOSED

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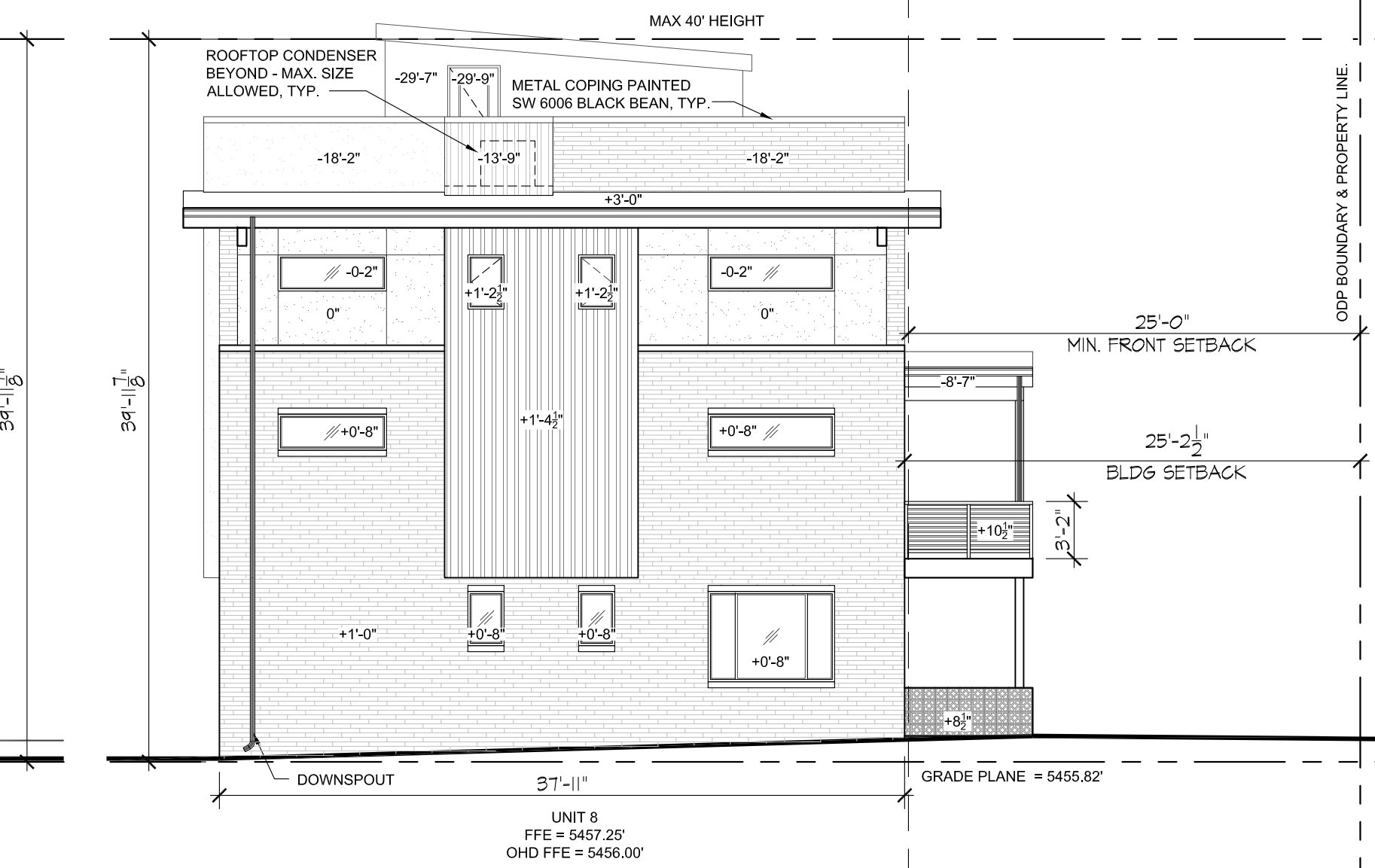
4 BUILDING 1 - NORTH ELEVATION (92ND STREET)
SCALE: 1/8" = 1'-0"



2 BUILDING 1 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 1 - SOUTH ELEVATION (DRIVE AISLE)
SCALE: 1/8" = 1'-0"



1 BUILDING 1 - EAST ELEVATION
SCALE: 1/8" = 1'-0"

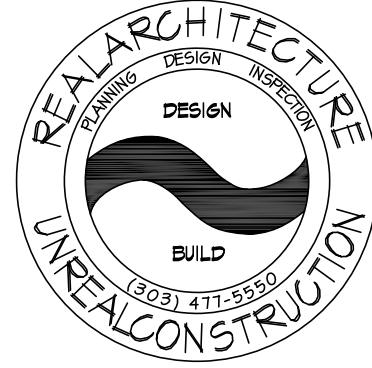


OFFICIAL DEVELOPMENT PLAN
GREENLAWN SUBDIVISION
WESTMINSTER, COLORADO

ELEVATIONS JOB NO. 21.037

DATE	DESCRIPTION
02.22.2022	1ST ODP SUBMITTAL
10.03.2022	2ND ODP SUBMITTAL
12.23.2022	3RD ODP SUBMITTAL
03.30.2023	4TH ODP SUBMITTAL
04.17.2023	5TH ODP SUBMITTAL

SHEET 16/23



FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF JEFFERSON, STATE OF COLORADO
 SHEET 17 OF 23

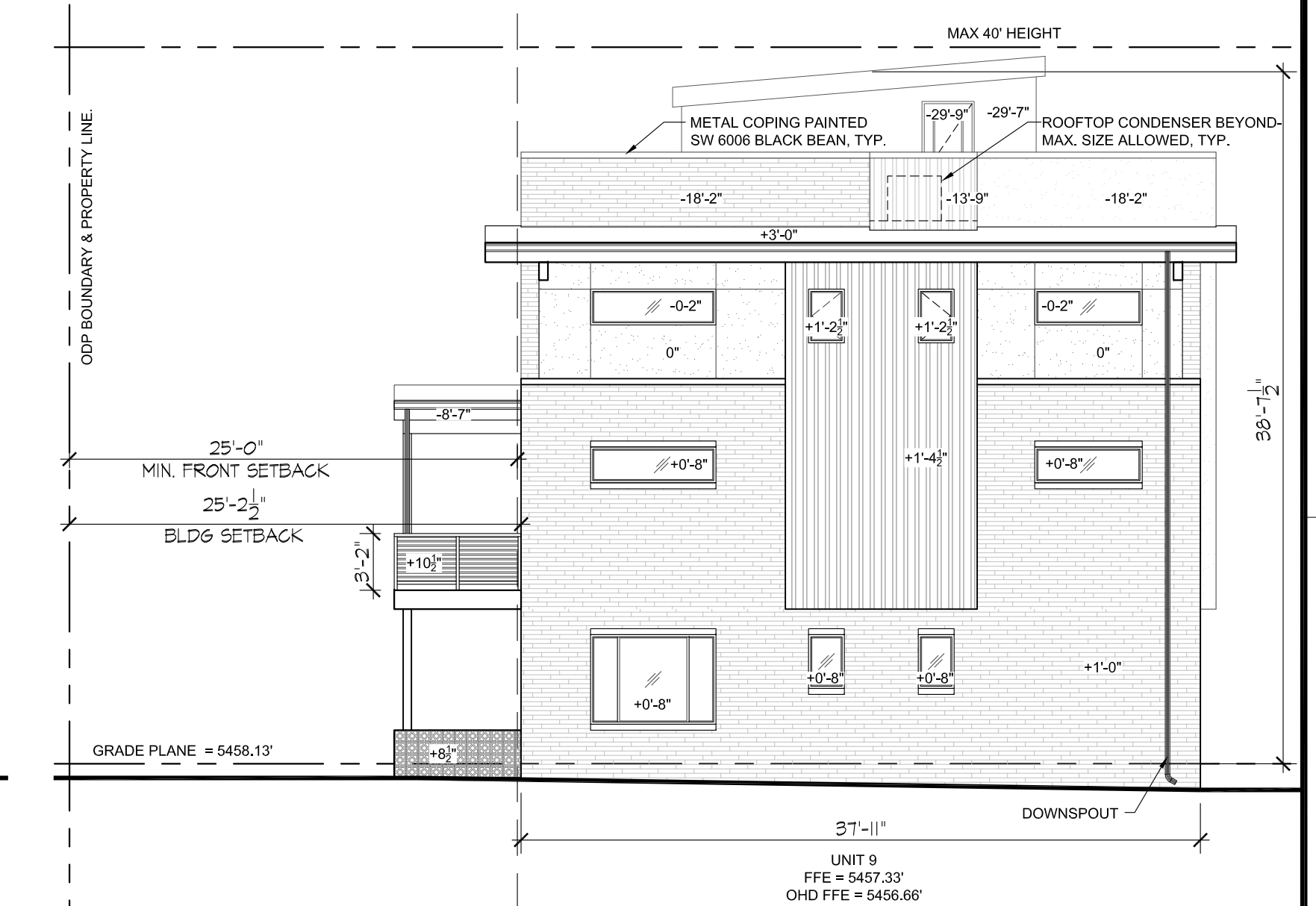
MATERIAL LEGEND

HATCH	DESCRIPTION
	STONE VENEER ELDORADO STONE - OCEAN FLOOR
	STUCCO SHERWIN WILLIAMS - DARK THYME
	VERTICAL CORRUGATED METAL SIDING WESTERN WAVE - COPPER PENNY

- NOTES:
- ALL ALUMINUM GUTTERS & DOWNSPOUTS, ALL METAL COPING AND ALL HARDBOARD FASCIA TO BE PAINTED SW 6006 BLACK BEAN.
 - ALL METAL RAILINGS, AWNINGS, AND COLUMNS TO BE POWDER COATED SW 6006 BLACK BEAN.
 - ALL EXTERIOR WINDOWS AND DOORS TO BE BLACK VINYL.
 - SEE MATERIALS BOARD FOR SAMPLES.
 - CLADDING WILL EXTEND TO THE GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE THE GRADE, WHERE A MAXIMUM OF 18 INCHES OF FOUNDATION WILL BE EXPOSED



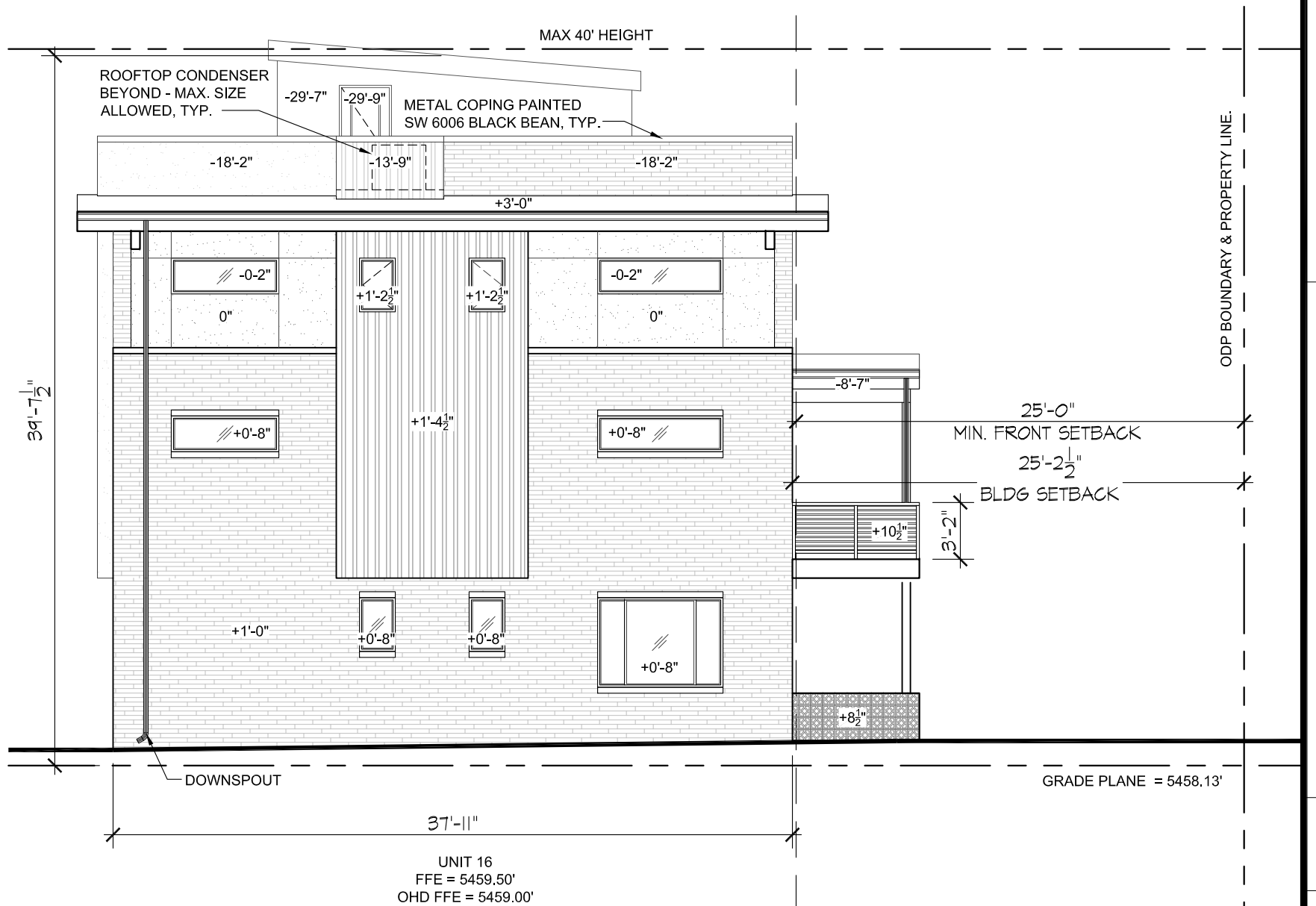
4 BUILDING 2 - NORTH ELEVATION (92ND STREET)
 SCALE: 1/8" = 1'-0"



2 BUILDING 2 - WEST ELEVATION
 SCALE: 1/8" = 1'-0"

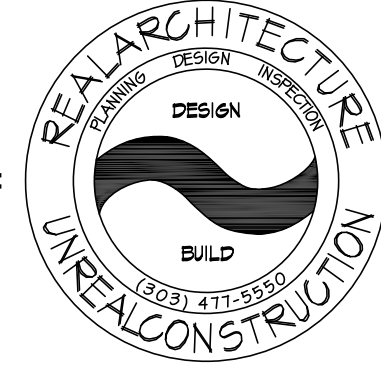


3 BUILDING 2 - SOUTH ELEVATION (DRIVE AISLE)
 SCALE: 1/8" = 1'-0"



1 BUILDING 2 - EAST ELEVATION
 SCALE: 1/8" = 1'-0"





FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 18 OF 23

MATERIAL LEGEND

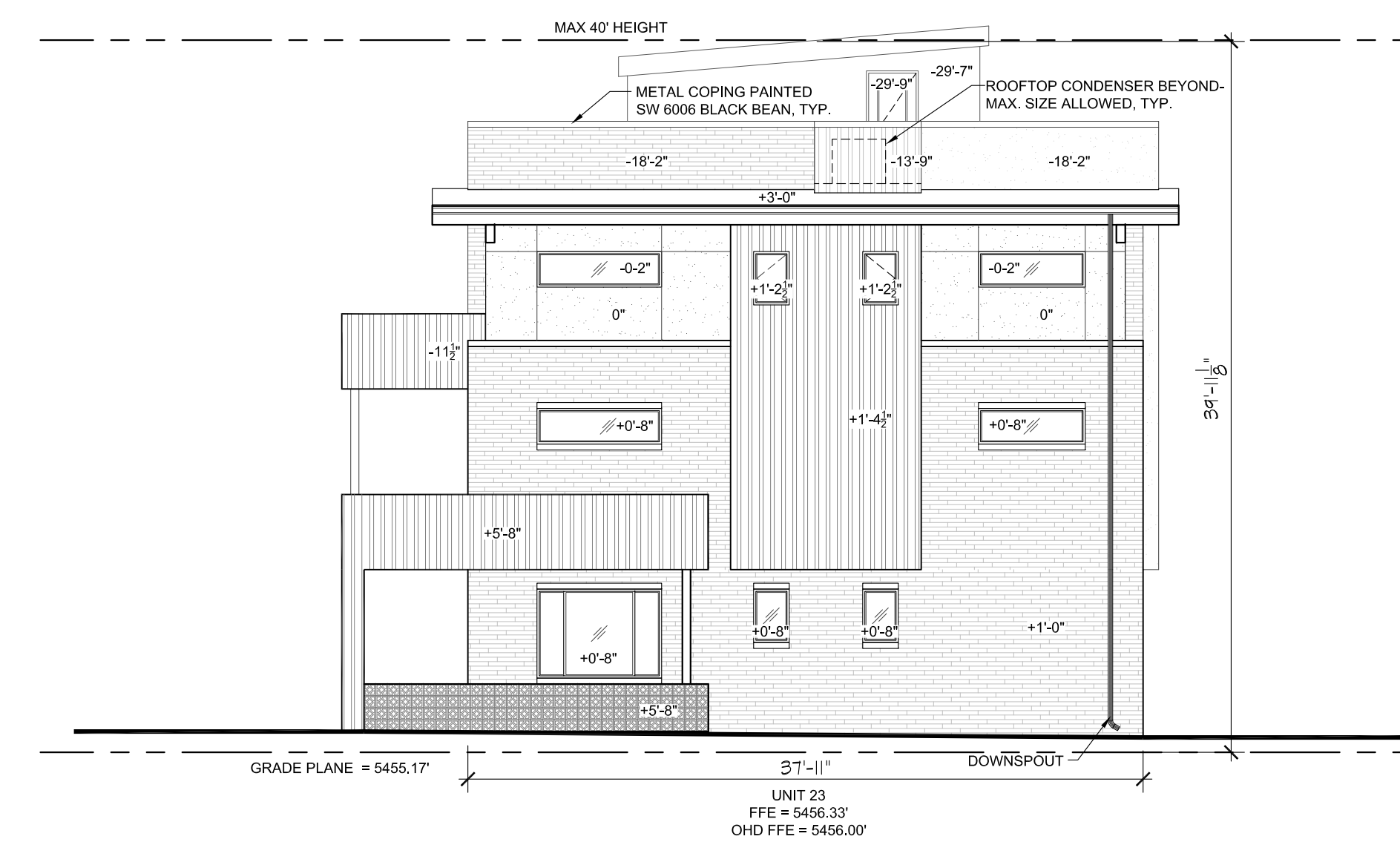
HATCH	DESCRIPTION
	STONE VENEER ELDORADO STONE - OCEAN FLOOR
	STUCCO SHERWIN WILLIAMS - SLATE TILE
	VERTICAL CORRUGATED METAL SIDING WESTERN WAVE - COPPER PENNY

- NOTES:
- ALL ALUMINUM GUTTERS & DOWNSPOUTS, ALL METAL COPING AND ALL HARDBOARD FASCIA TO BE PAINTED SW 6006 BLACK BEAN.
 - ALL METAL RAILINGS, AWNINGS, AND COLUMNS TO BE POWDER COATED SW 6006 BLACK BEAN.
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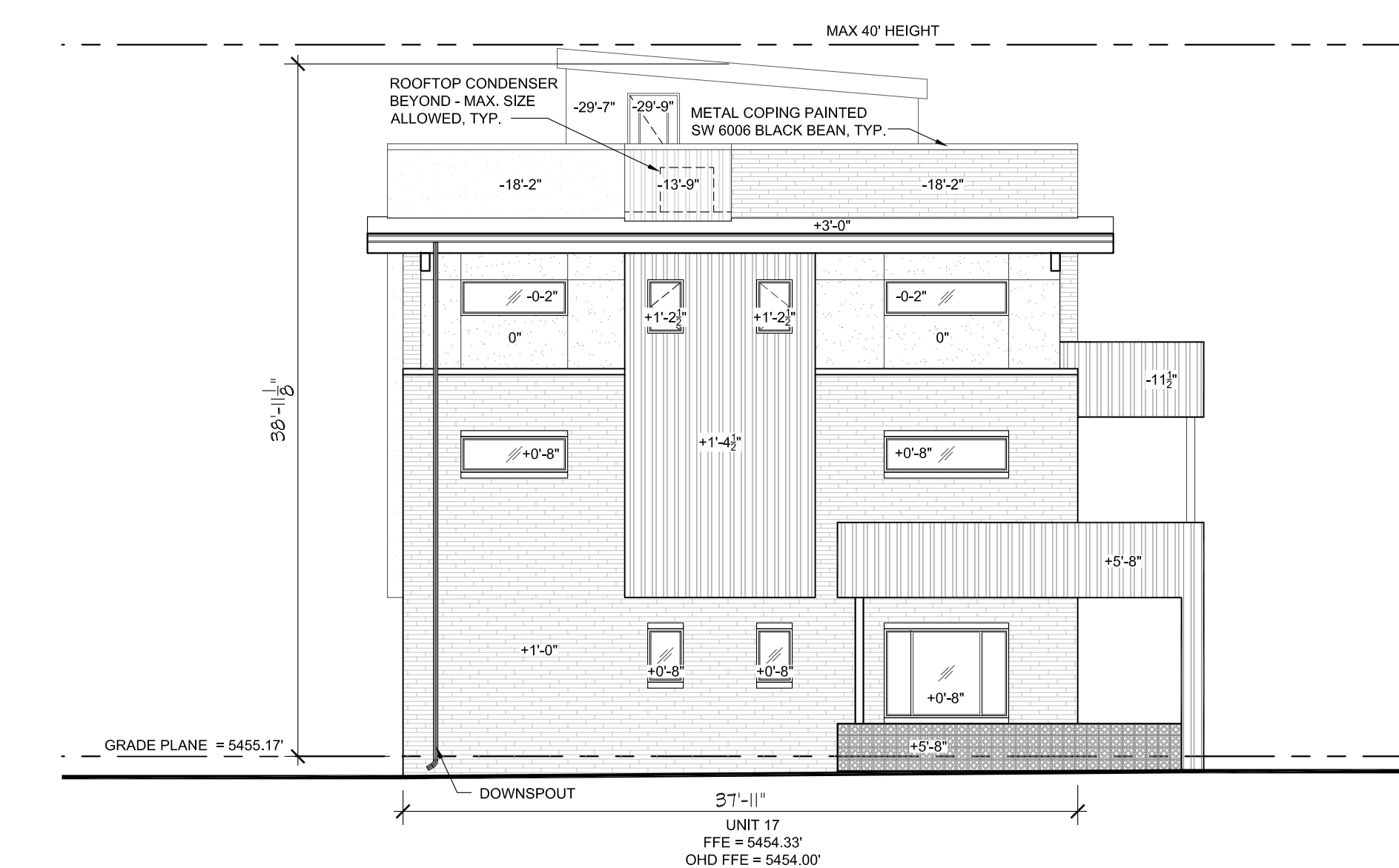
4 BUILDING 3 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 3 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 3 - NORTH ELEVATION (DRIVE AISLE)
SCALE: 1/8" = 1'-0"

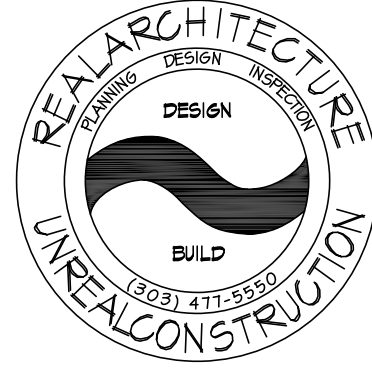


1 BUILDING 3 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN
GREENLAWN SUBDIVISION
WESTMINSTER, COLORADO
ELEVATIONS JOB NO. 21.037
SHEET 18/23

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FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 19 OF 23

MATERIAL LEGEND

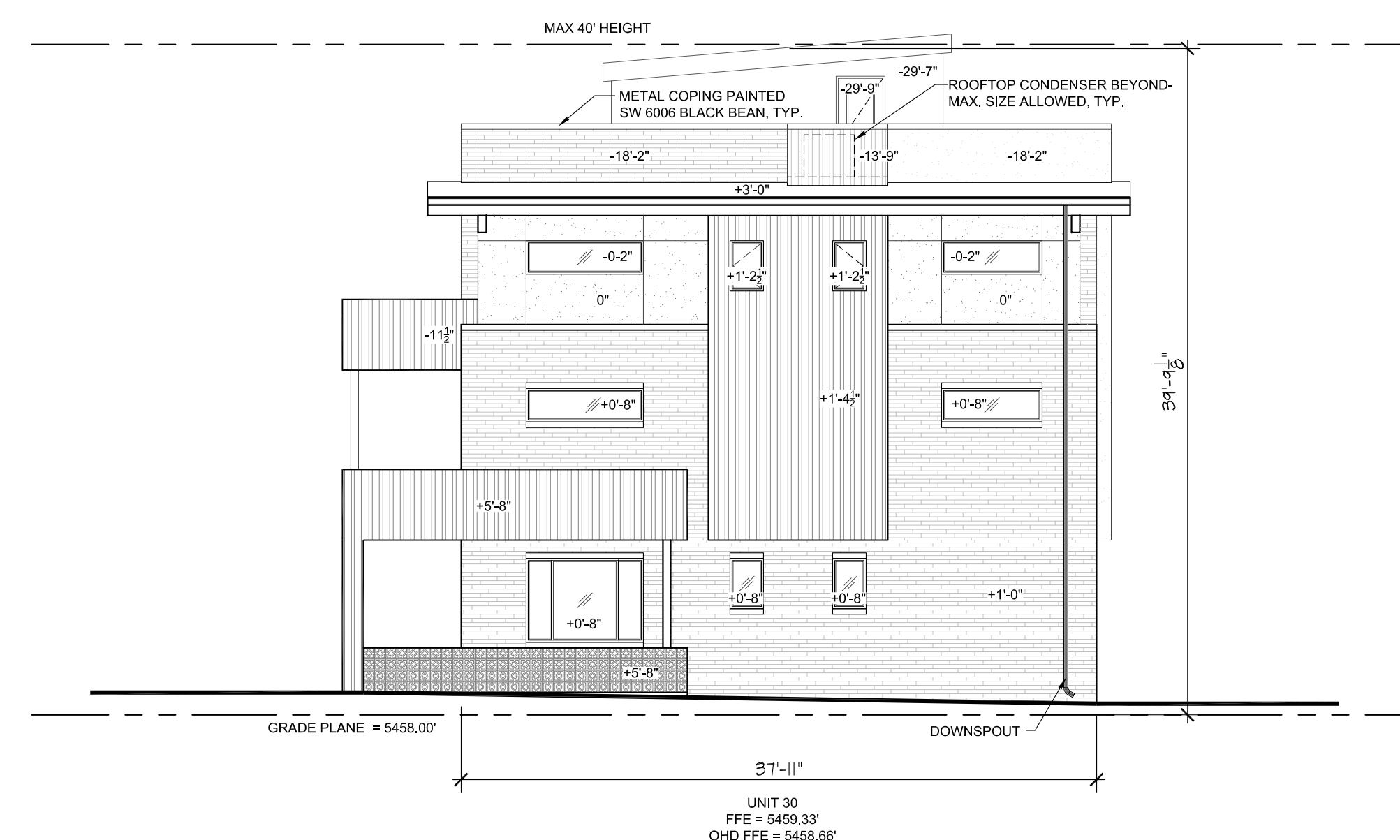
HATCH	DESCRIPTION
	STONE VENEER ELDORADO STONE - OCEAN FLOOR
	STUCCO SHERWIN WILLIAMS - SLATE TILE
	VERTICAL CORRUGATED METAL SIDING WESTERN WAVE - COPPER PENNY

- NOTES:
- ALL ALUMINUM GUTTERS & DOWNSPOUTS, ALL METAL COPING AND ALL HARDBOARD FASCIA TO BE PAINTED SW 6006 BLACK BEAN.
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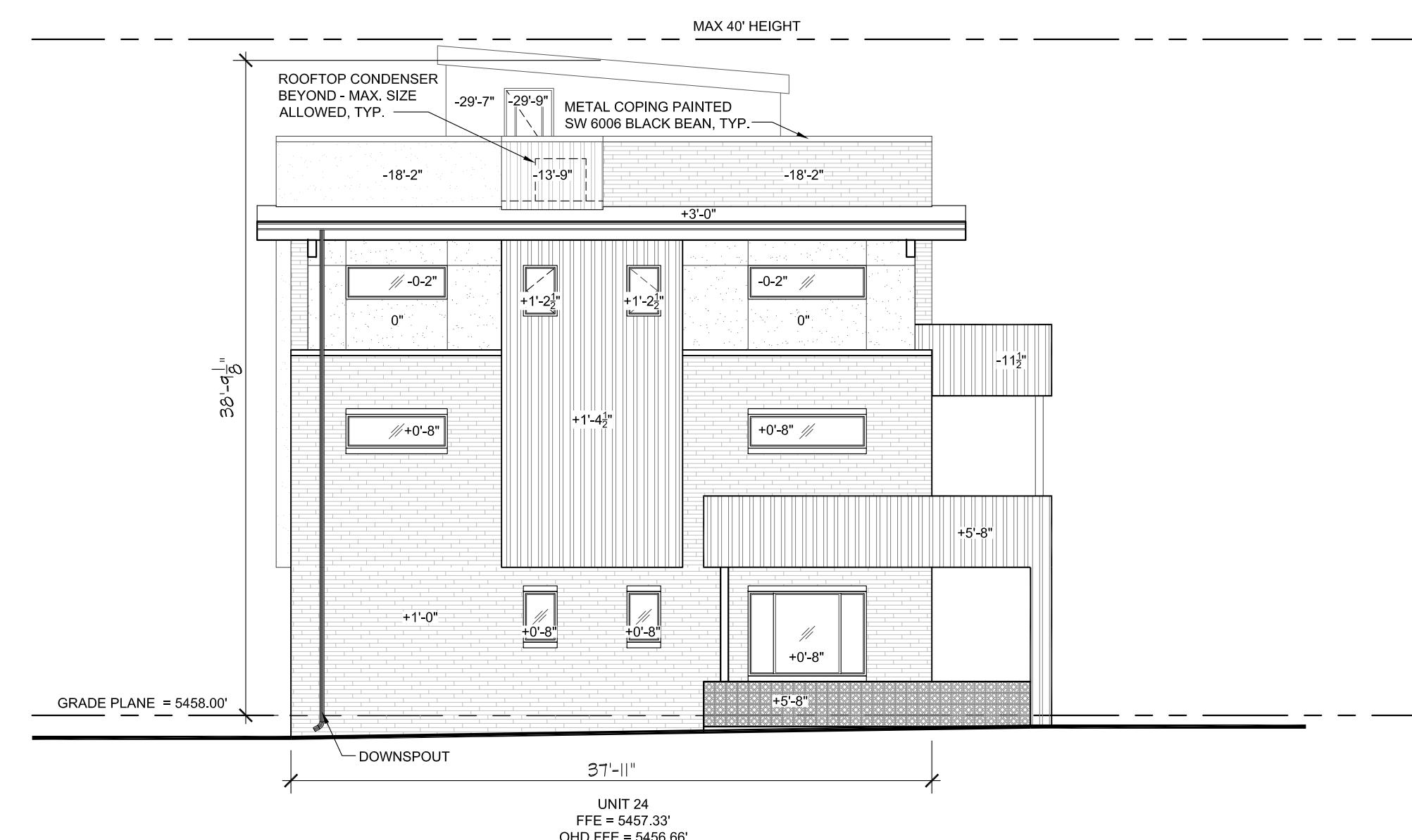
4 BUILDING 4 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 4 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 4 - NORTH ELEVATION (DRIVE AISLE)
SCALE: 1/8" = 1'-0"



1 BUILDING 4 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



OFFICIAL DEVELOPMENT PLAN

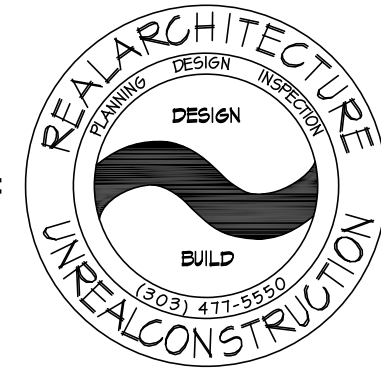
GREENLAWN SUBDIVISION

WESTMINSTER, COLORADO

ELEVATIONS - JOB NO. 21.037

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SHEET 19/23



FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 20 OF 23

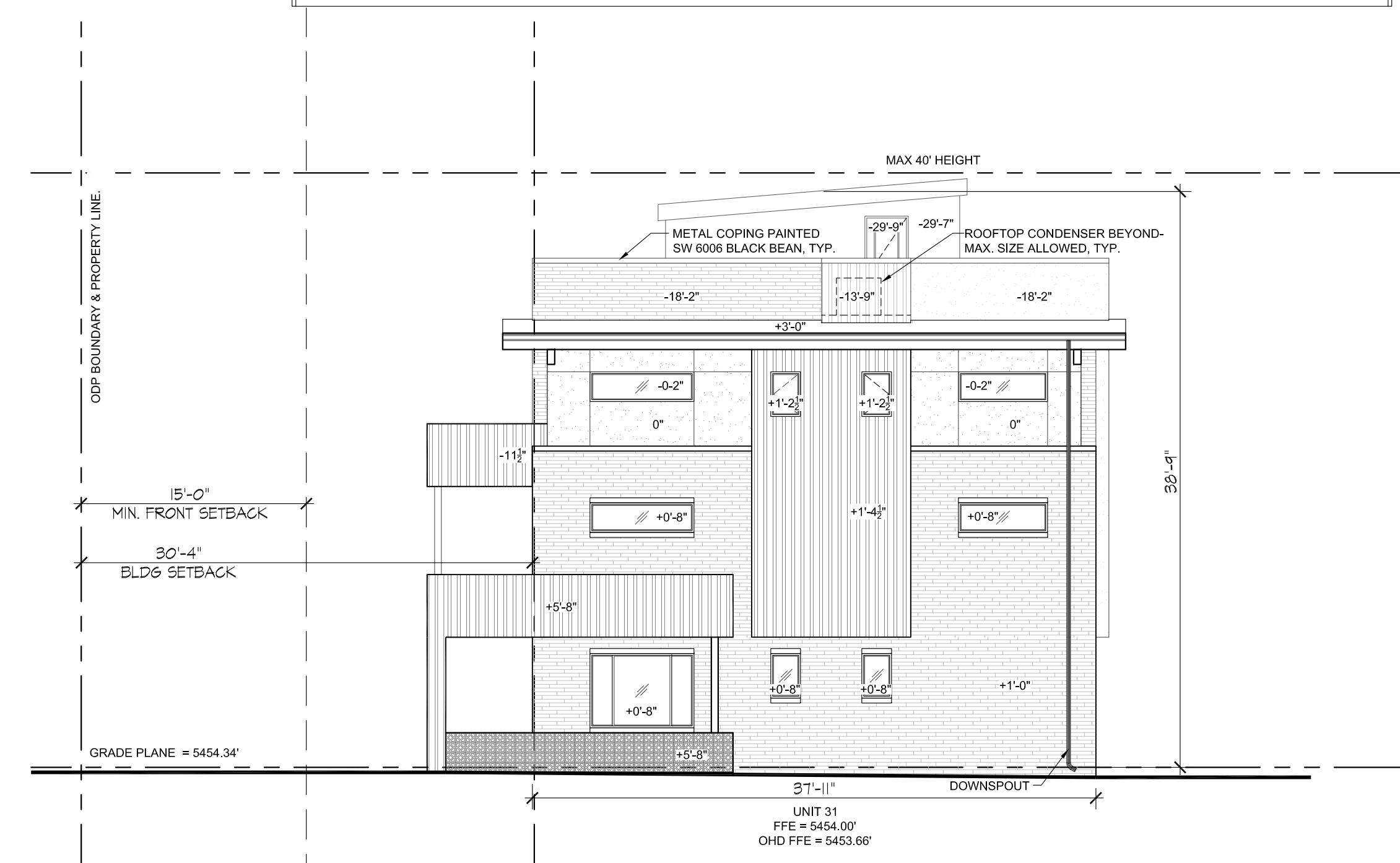
MATERIAL LEGEND

HATCH	DESCRIPTION
	STONE VENEER ELDORADO STONE - OCEAN FLOOR
	STUCCO SHERWIN WILLIAMS - SLATE TILE
	VERTICAL CORRUGATED METAL SIDING WESTERN WAVE - COPPER PENNY

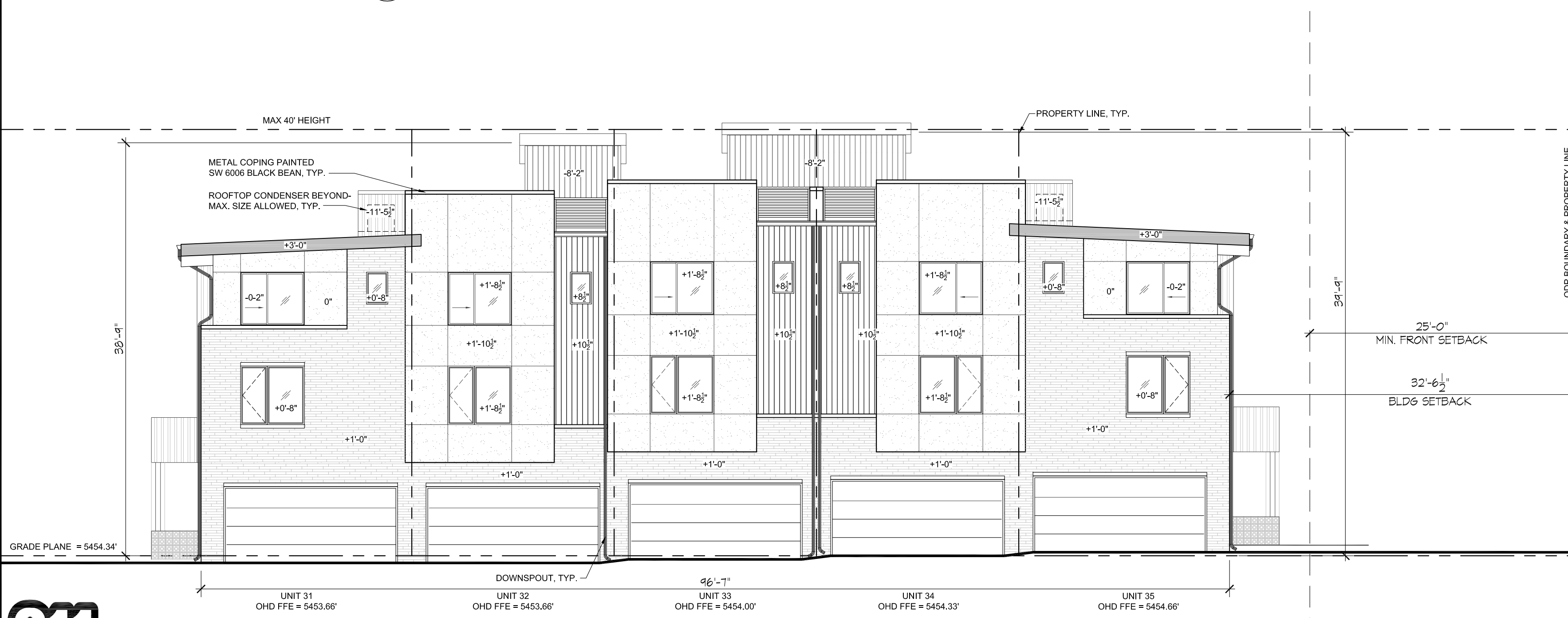
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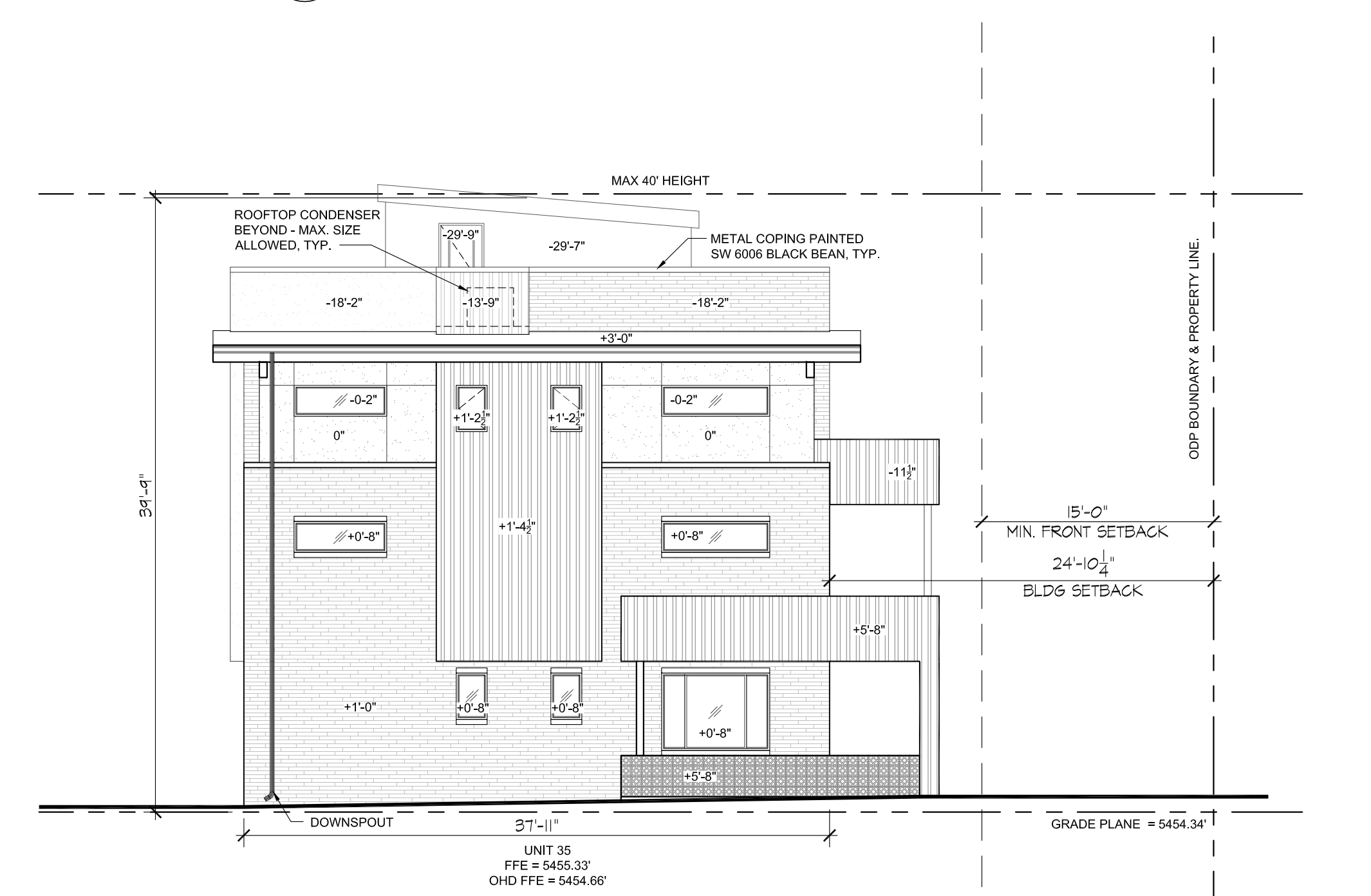
4 BUILDING 5 - WEST ELEVATION (91ST COURT)
SCALE: 1/8" = 1'-0"



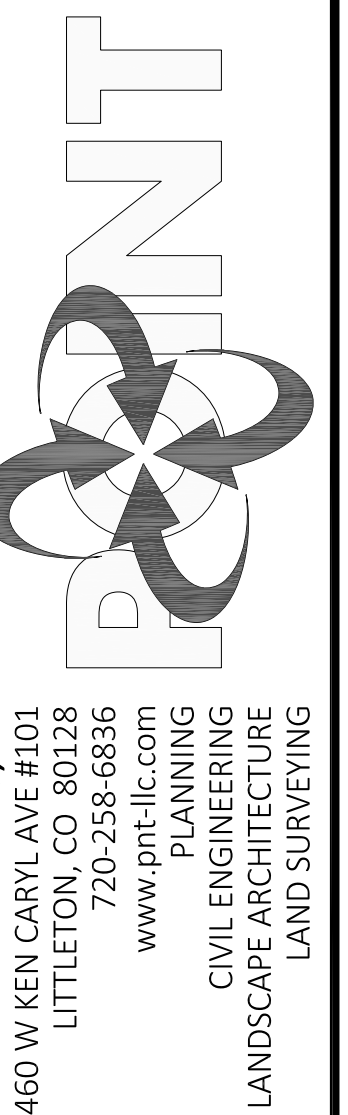
2 BUILDING 5 - SOUTH ELEVATION (92ND STREET)
SCALE: 1/8" = 1'-0"



3 BUILDING 5 - EAST ELEVATION (DRIVE AISLE)
SCALE: 1/8" = 1'-0"



1 BUILDING 5 - NORTH ELEVATION (92ND STREET)
SCALE: 1/8" = 1'-0"

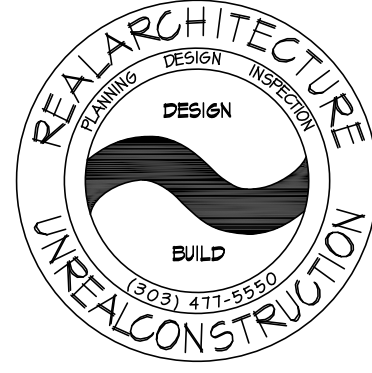


OFFICIAL DEVELOPMENT PLAN
GREENLAWN SUBDIVISION
WESTMINSTER, COLORADO

ELEVATIONS JOB NO. 21.037

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04.17.2023	5TH ODP SUBMITTAL

SHEET 20/23



FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 21 OF 23

MATERIAL LEGEND

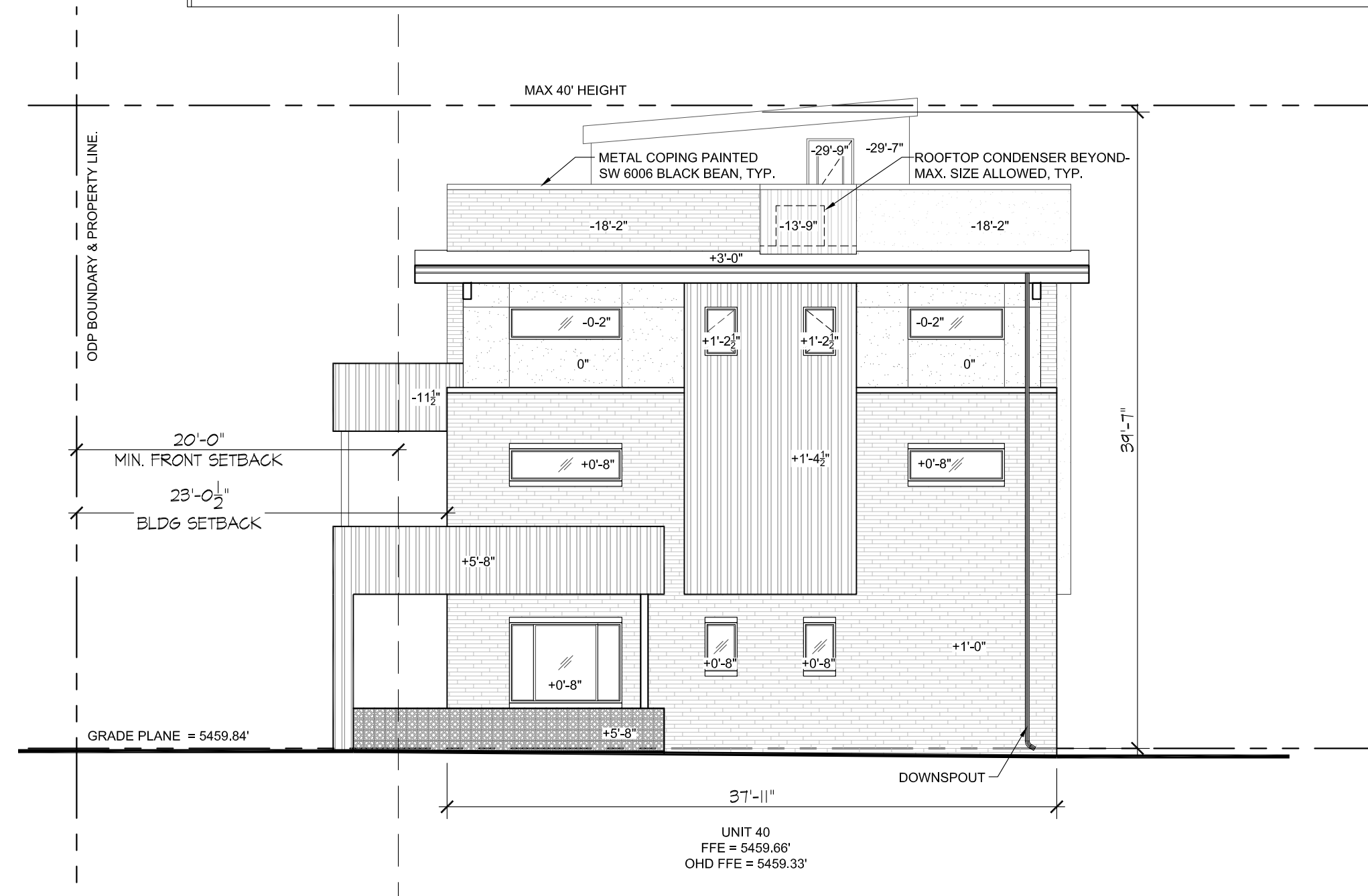
HATCH	DESCRIPTION
	STONE VENEER ELDORADO STONE - OCEAN FLOOR
	STUCCO SHERWIN WILLIAMS - SLATE TILE
	VERTICAL CORRUGATED METAL SIDING WESTERN WAVE - COPPER PENNY

- NOTES:
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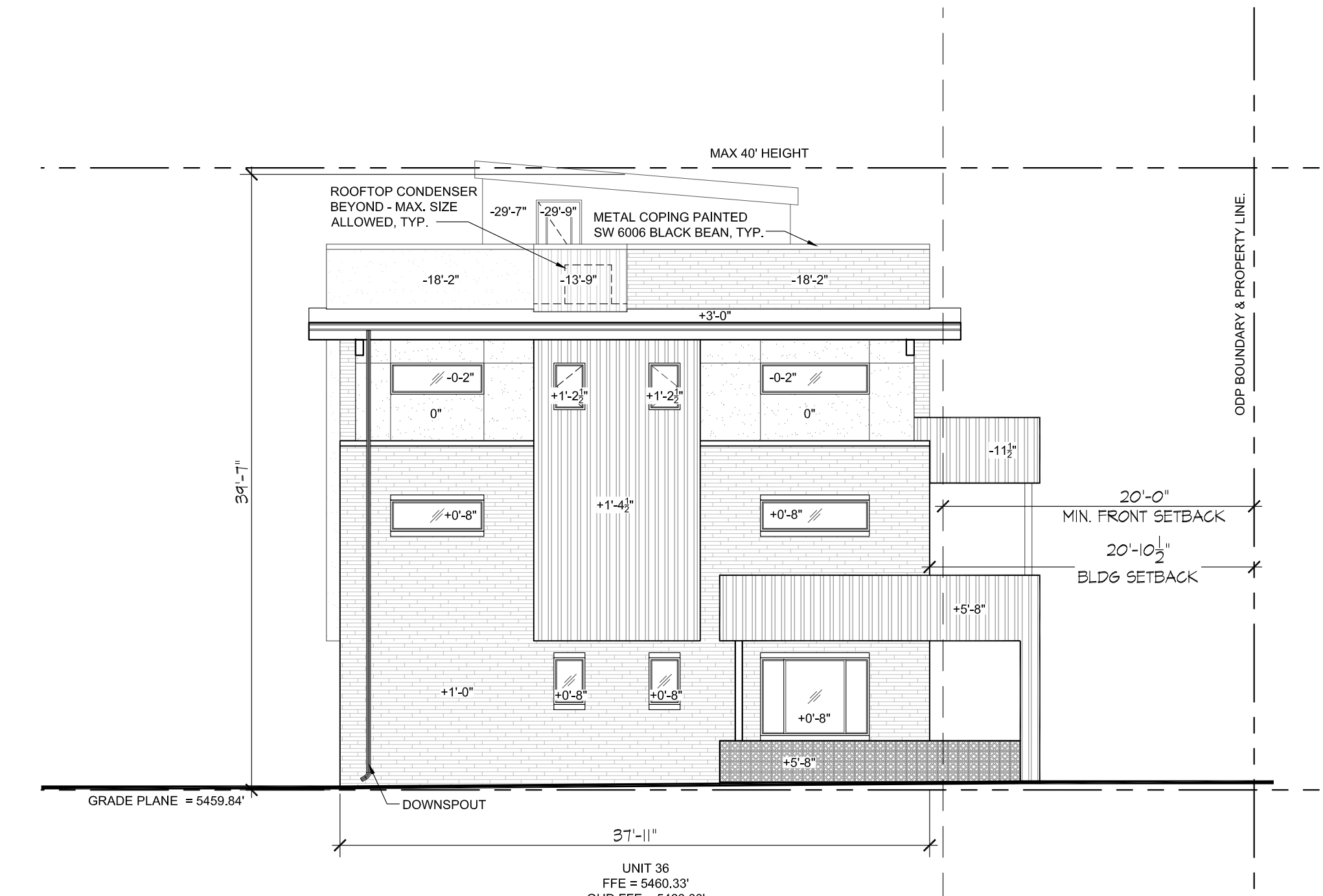
4 BUILDING 6 - EAST ELEVATION (PIERCE STREET)
SCALE: 1/8" = 1'-0"



2 BUILDING 6 - NORTH ELEVATION (92ND STREET)
SCALE: 1/8" = 1'-0"



3 BUILDING 6 - WEST ELEVATION (DRIVE AISLE)
SCALE: 1/8" = 1'-0"

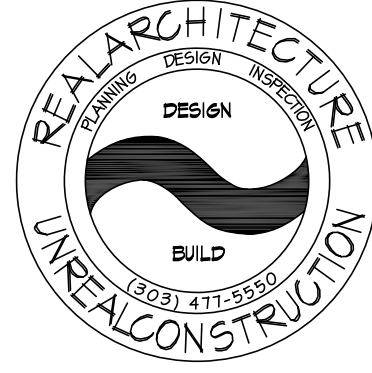


1 BUILDING 6 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



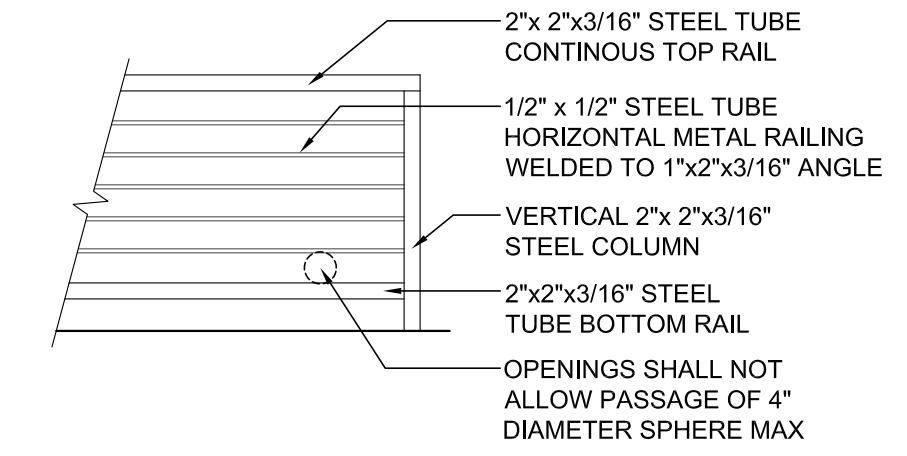
OFFICIAL DEVELOPMENT PLAN
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WESTMINSTER, COLORADO
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SHEET 21/23

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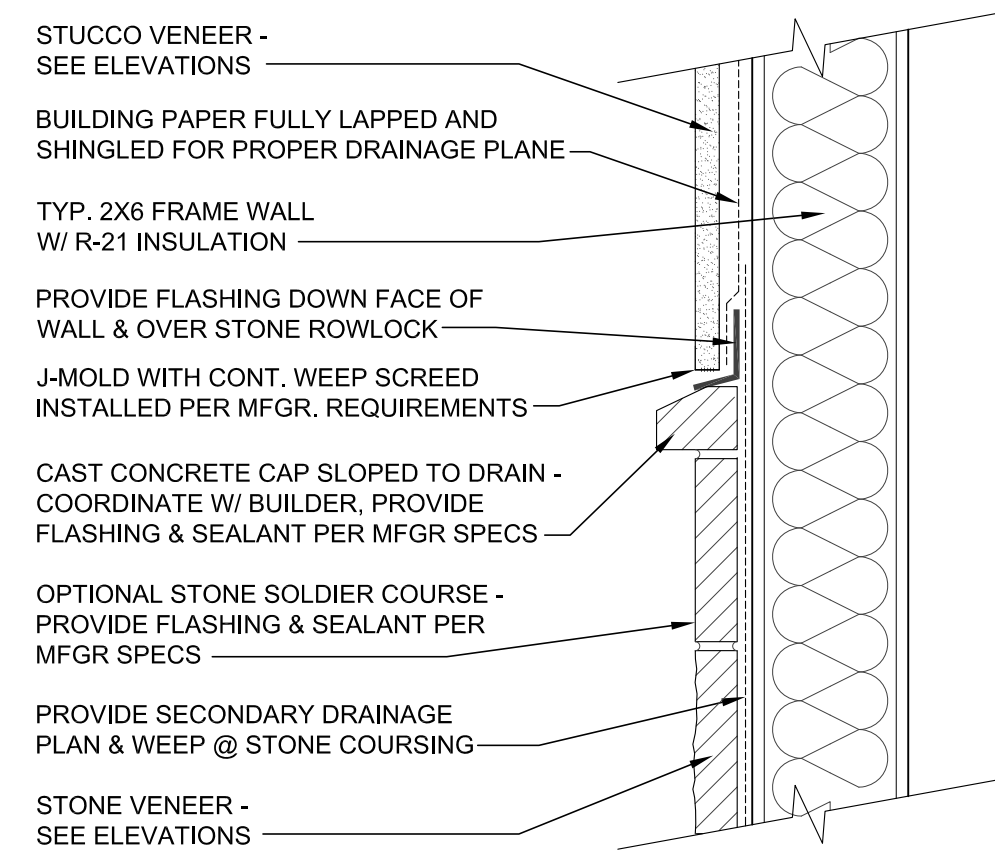


FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

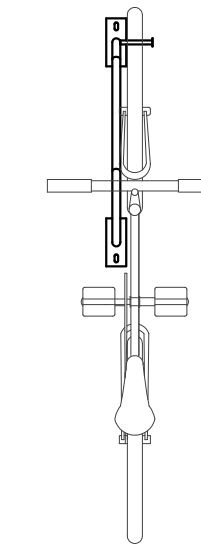
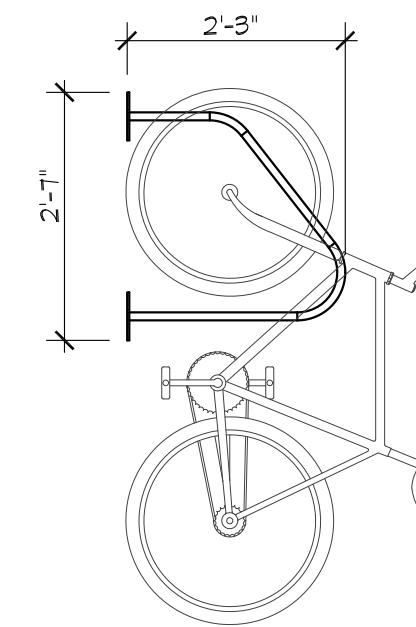
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF JEFFERSON, STATE OF COLORADO
SHEET 22 OF 23



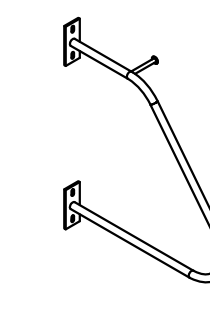
3 METAL GUARDRAIL
SCALE: 1/2"=1'-0"



5 STUCCO TO STONE TRANSITION
SCALE: 1 1/2"=1'-0"

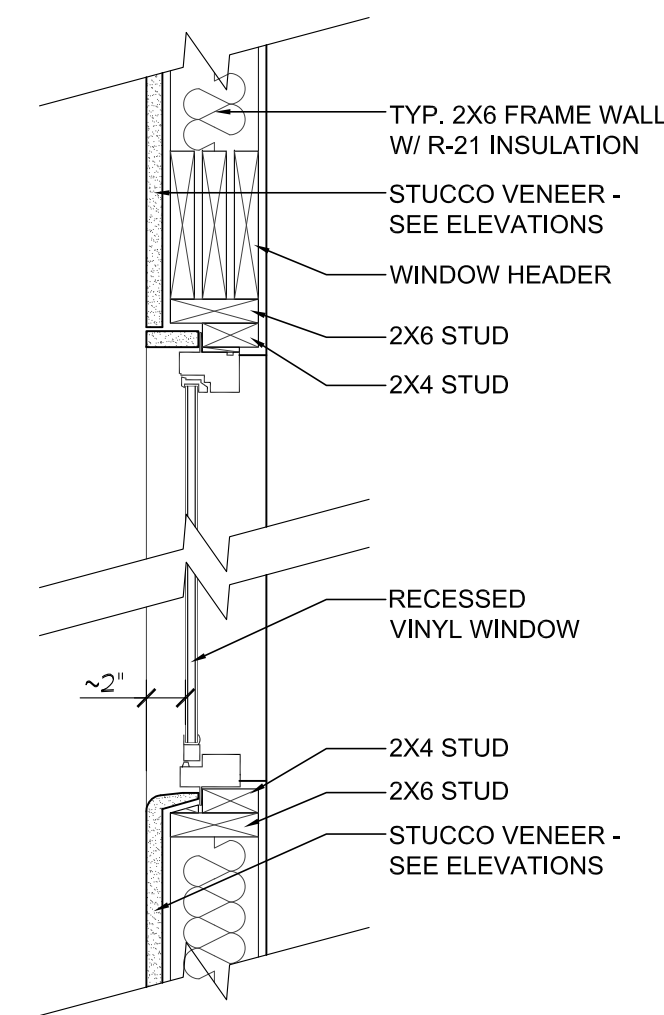
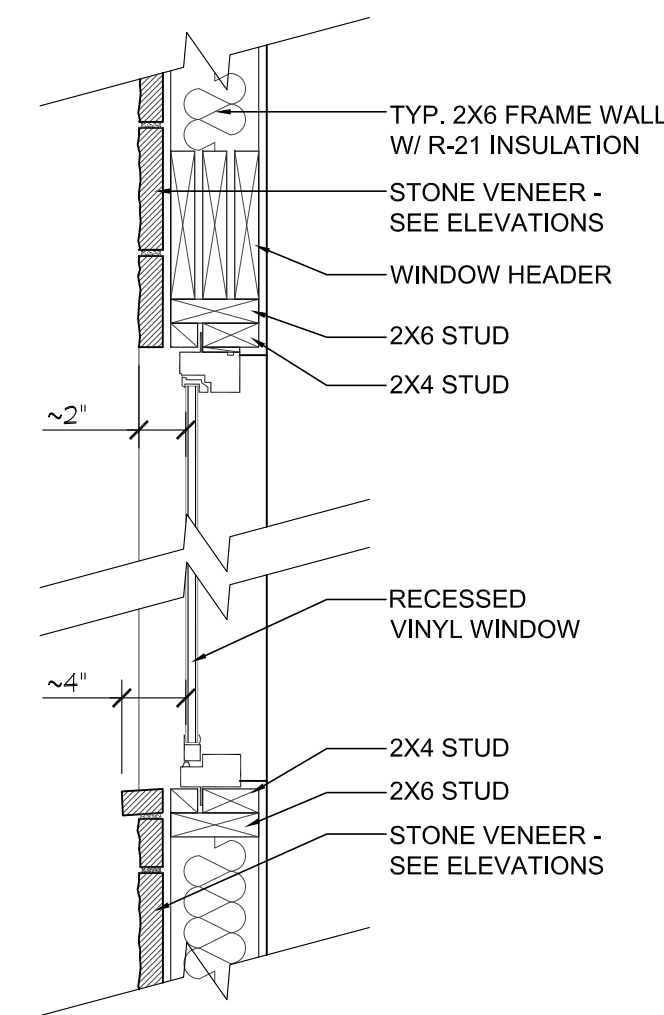


PROVIDE BICYCLE RACKS MANUFACTURED BY DERO BIKE RACK CO., 504 MALCOLM AVENUE SE, SUITE 100, MINNEAPOLIS, MN 55414, 1-888-337-6729, FAX: 612-331-2731, WEBSITE: WWW.DERO.COM

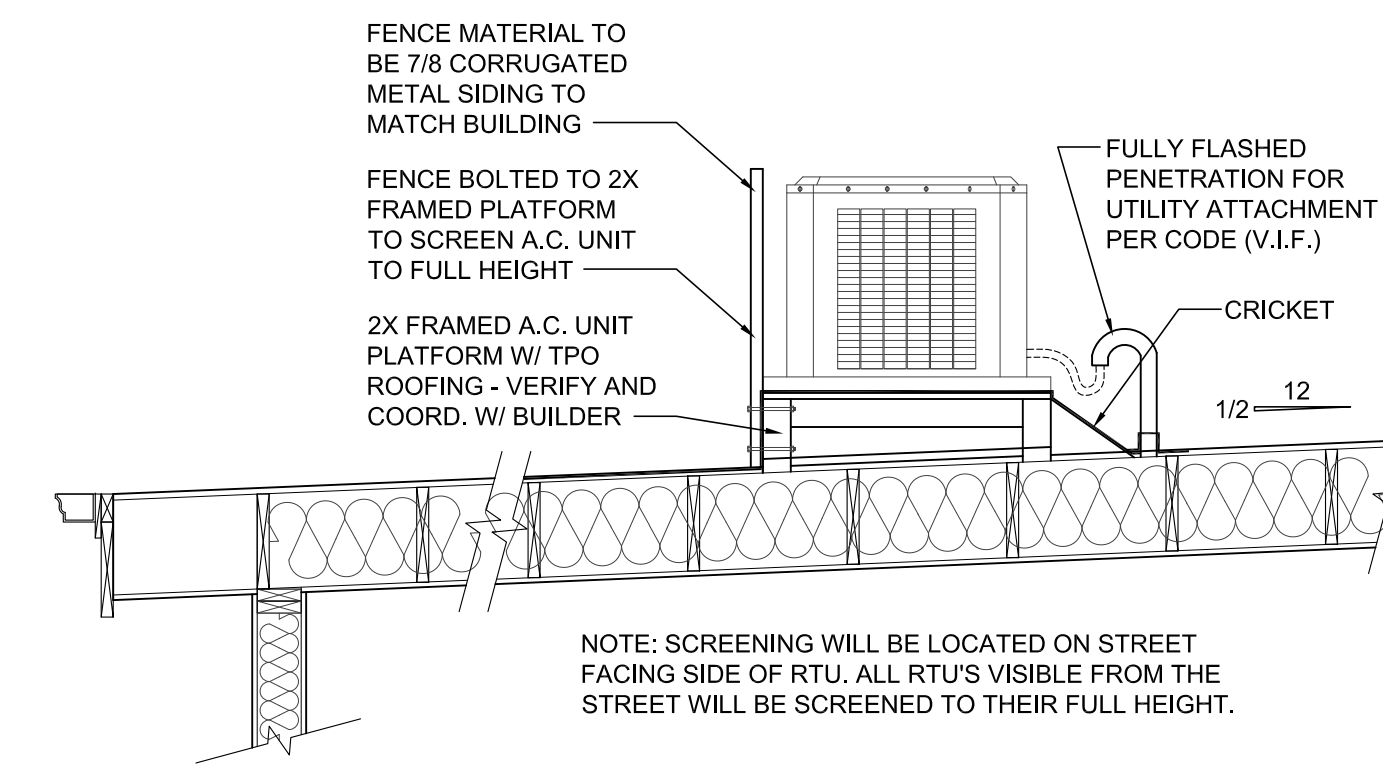


DERO ULTRA SPACE SAVER SINGLE BIKE RACK

2 LONG-TERM BIKE STORAGE RACK DETAIL
SCALE: 1/2"=1'-0"



4 TYPICAL WINDOW SECTIONS @ STONE & STUCCO
SCALE: 1"=1'-0"

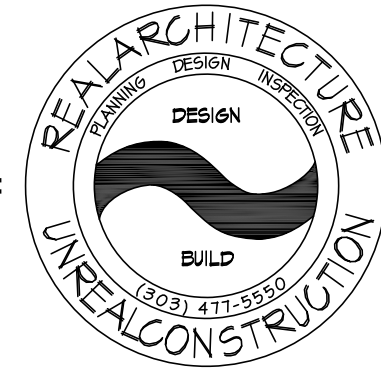


NOTE: SCREENING WILL BE LOCATED ON STREET FACING SIDE OF RTU. ALL RTU'S VISIBLE FROM THE STREET WILL BE SCREENED TO THEIR FULL HEIGHT.

1 ROOF A.C. SCREEN DETAIL
SCALE: 1/2"=1'-0"

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FIFTH AMENDED OFFICIAL DEVELOPMENT PLAN GREENLAWN SUBDIVISION - FILING NO. 1

A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF JEFFERSON, STATE OF COLORADO
 SHEET 23 OF 23

LIGHTING SPECIFICATION



Dimensions:
Length: 11 1/4"
Depth: 22 3/4"
Height: 20'

Product Series: VS
 Input Power: 136 W
 # of LEDs: 60
 Lumens: 15K Nominal (VPS-60L-136)
 CCT: 4000 K
 CRI: 70
 Pole: 20' Square Straight Steel
 Anchor Bolts: With anchor bolts/Template
 NRTL Certified
 UL 1598 & 8750 Wet Location Listed

- Features:**
- 500,000 hours at full load and 25°C ambient conditions per MIL-217F Notice 2.
 - Dark bronze (textured) Beacote V polyester powder-coat



ZB1-4-20W-4K: Zen Slim ZB1 Bollard

Dimensions:
Length: 5 1/2"
Depth: 5 1/2"
Height: 29"

Model: ZEN Slim 13" Lens
 Volts: 347-480VAC
 Surge Protector: 20 Kv
 Lumens: 1800 lm
 CCT: 4000 K
 Life (hours): 100,000 (L70/TM-21)
 Warranty 5-year Limited Warranty
 C UL US: Certified for wet location use in Canada and US

- Features:**
- Smooth or textured finish meets ASTM G7, B117, D1654 and D2247
 - Exterior polyester powder coating meets AAMA 2604 requirements



P550103-031-30: 6IN CYL RND

Dimensions:
Length: 6"
Depth: 8-15/16"
Height: 12"

Number of Modules: 1
 Input Power: 32 W
 Input Voltage: 120 VAC
 Input Frequency: 60 Hz
 Lumens/LPW (Delivered): 953/29 (LM-79)
 CCT: 3000 K
 CRI: 90 CRI
 Life (hours) 50,000: (L70/TM-21)
 EMI/RFI: FCC Title: 47, Part 15, Class B
 Warranty 5-year Limited Warranty
 Labels cCSAus Wet Location Listed

- Features:**
- Dimmable to 10% brightness
 - Canopy covers a standard 4" recessed outlet box: 4.45 in W., 4.45 in ht., 0.65 in depth
 - Mounting backplate for outlet box included
 - 6 in of wire supplied

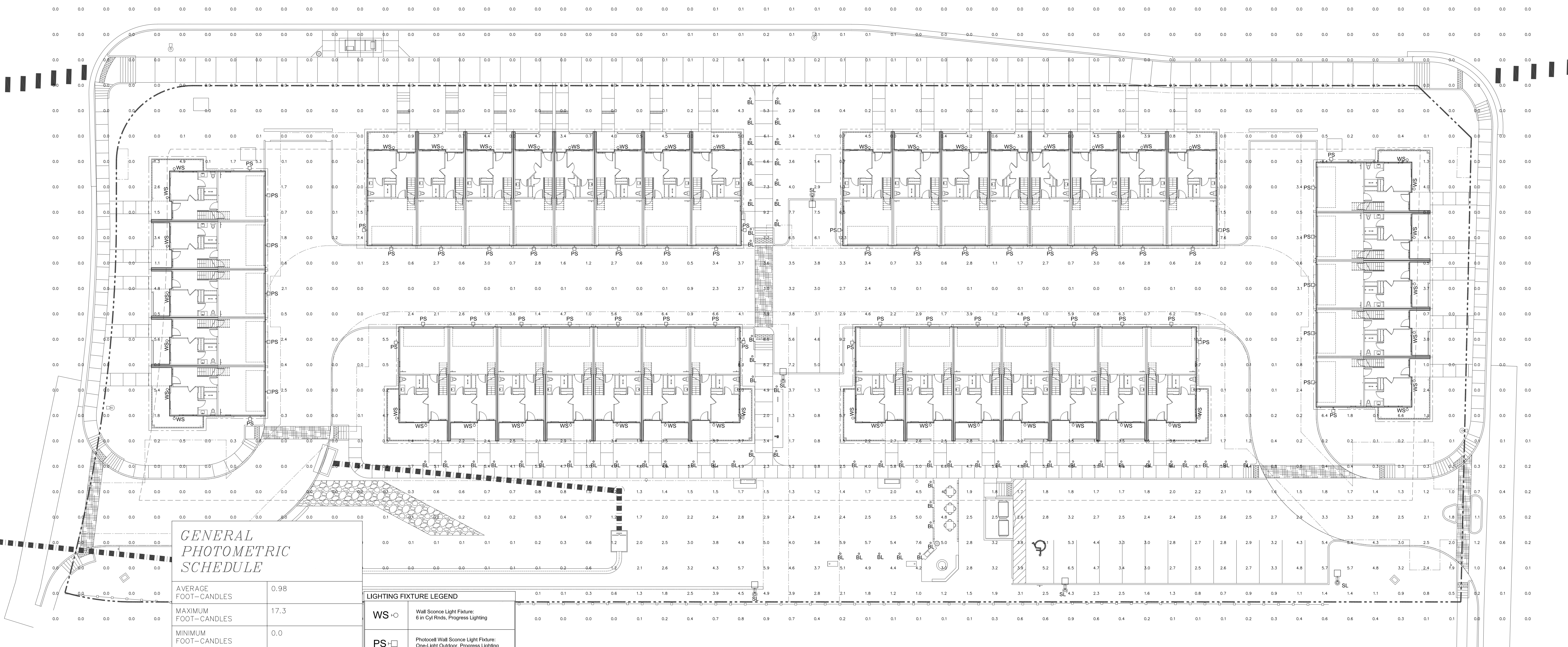


P5647-31/30K: One-Light Outdoor

Dimensions:
Width: 6"
Depth: 8-7/8"
Height: 12"
H/CTR: 4-1/2"

Number of Modules: 1
 Input Power: 29.6W
 Input Voltage: 120 V
 Input Frequency: 60 Hz
 Lumens/LPW (Delivered): 1,050/29 (LM-79)
 CCT: 3000 K
 CRI: 90 CRI
 Life (hours): 60,000 (L70/TM-21)
 FCC: FCC Title 47, Part 15, Class B
 Warranty: 5 year warranty
 Labels: cCSAus Wet location listed

- Features:**
- Black (-31) (powder coat paint)
 - Die cast and extruded aluminum construction
 - Interior finish matches exterior finish.
 - Die-cast aluminum construction with durable powder coated finish
 - 1,050 lumens 29 lumens/watt (delivered)
 - 3000K color temperature, 90+ CRI
 - Dimmable to 10% brightness
 - Back plate covers a standard 4" octagonal recessed outlet box
 - Mounting strap for outlet box included
 - 6" of wire supplied



GENERAL PHOTOMETRIC SCHEDULE

AVERAGE FOOT-CANDLES	0.98
MAXIMUM FOOT-CANDLES	17.3
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	17.27 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.98 / 0.00

LIGHTING FIXTURE LEGEND

WS ○	Wall Sconce Light Fixture: 6 in Cyl Rnds, Progress Lighting
PS □	Photocell Wall Sconce Light Fixture: One-Light Outdoor, Progress Lighting
BL ○	Bollard Light Fixture: Zen Slim ZB1 Bollard, Cyclone Lighting
SL ○	Street Light Fixture: VIPER S + L SERIES LUMINAIRE POLE COMBO, Hubbell Outdoor Lighting



POINT CONSULTING, LLC
 8460 W. KEN CARY AVE #101
 LITTLETON, CO 80128
 720-258-6836
 www.pnt-llc.com

CIVIL ENGINEERING
 PLANNING
 LANDSCAPE ARCHITECTURE
 LAND SURVEYING

OFFICIAL DEVELOPMENT PLAN
GREENLAWN SUBDIVISION
 WESTMINSTER, COLORADO
 PHOTOMETRIC PLAN JOB NO. 21.037

DATE	DESCRIPTION
02.22.2022	1ST ODP SUBMITTAL
10.03.2022	2ND ODP SUBMITTAL
12.23.2022	3RD ODP SUBMITTAL
03.30.2023	4TH ODP SUBMITTAL
04.17.2023	5TH ODP SUBMITTAL

SHEET 23/23