



PLANNING COMMISSION MEETING AGENDA

1. ROLL CALL
2. CONSIDERATION OF PREVIOUS MEETING MINUTES
Meeting Minutes of February 13, 2024
3. CONSIDERATION OF NEW BUSINESS
 - a. Public Hearing and Recommendation of a Preliminary Development Plan Amendment for Foster Property
Prepared by: Jacob Kasza, Senior Planner
 - b. Public Hearing and Recommendation of an Official Development Plan for Uplands Filing 3, Block 2/PA-C(2)
Prepared by: Nathan Lawrence, Senior Planner
4. OLD BUSINESS
5. MISCELLANEOUS BUSINESS
6. ADJOURNMENT

PLEASE NOTE

The following are the procedures used by the Planning Commission for in-person meetings.
For participation guidelines please visit www.cityofwestminster.us/pc

1. Staff will present agenda items. The Developer may present after Staff.
2. Those in attendance who favor the proposed development may address the Commission, followed by those who do not favor the proposed development. The Chair may impose time limits on speakers.
PLEASE SIGN THE SHEET IN THE FRONT OF THE COUNCIL CHAMBERS IF YOU WISH TO SPEAK.
3. All questions shall be addressed to the Chair of the Planning Commission. The Chair will call on Staff to address questions at the end of the hearing. Planning Commission reserves the right to question anyone at any time during the Public Hearing.
4. The Commission is charged with the review of Comprehensive Plan Amendments, Rezoning, Preliminary Development Plans, Amended Preliminary Development Plans, Official Development Plans, Amended Official Development Plans, Preliminary Plats and Amended Preliminary Plats that are not approved administratively by the City Manager.
5. There are two different procedures involved in the review of applications for development plan approval and the procedure depends on the type of plan under consideration:
 - a. After review and a public hearing, the Planning Commission may recommend approval of an application, approval subject to specified conditions, or denial of an application. The Planning Commission is **not** the final authority on these applications. The City Council is the final decision maker.
 - a. On applications for Official Development Plans and Amended Official Development Plans, the Planning Commission **does** make the final decision, unless the decision of the Planning Commission is appealed to the City Council within 10 days of the Planning Commission decision by a "party-in-interest," as described in Section 11-5-13(B.1) of the Westminster Municipal Code. If a decision of the Planning Commission is properly appealed to the City Council, the City Council will schedule the item for consideration at one of their upcoming meetings and, after holding a public hearing, make a final decision on the application.

If you need further information regarding this process, or any other matter related to the City's development review process, please contact the City Planning Division at 303-658-2092.

NOTE: Persons needing an accommodation, such as an interpreter for another language, or who have an impairment that requires accommodation, must notify the Planning Aide no later than noon on the Thursday prior to the scheduled Planning Commission hearing to allow adequate time to discuss arrangements. Please call 303-658-2092/TTY711 or State Relay or email jbaden@westminsterco.gov to make a reasonable accommodation request.



WESTMINSTER

CITY OF WESTMINSTER
PLANNING COMMISSION
Meeting Minutes
February 13, 2024-DRAFT

1. ROLL CALL

The meeting was called to order at 7:00 pm by Acting Chair Carpenter. Present were Commissioners Chennou Xiong, Rick Mayo, David Carpenter, and Larry Dunn. Excused from attendance were Chair Jim Boschert, Commissioners Tracy Colling, and David Tomecek. Also present: Staff members, Secretary/Associate Planner Jennifer Baden, Administrative Assistant Dawn Aguilar, Senior Planner Jacob Kasza, Assistant City Engineer Heath Klein, Fire Lieutenant Sarah Krzanowsky, Interim Planning Manager John McConnell, and Deputy City Attorney Greg Graham.

ATTENDANCE FROM THE PREVIOUS MINUTES

Commissioner Colling was identified at the prior meeting as “absent - unexcused.” Commissioner Colling was unavoidably detained in a manner that prevented her from providing notice prior to the meeting, Acting Chair Carpenter determined that the basis for the absence is excusable, and the absence will now be deemed excused.

CITY COUNCIL LIAISON

Councilor Hott introduced themselves as the new City Council Liaison to the Planning Commission. Councilor Hott exited the meeting after the introduction.

CONSIDERATION OF MINUTES

Meeting Minutes from January 9, 2024.

Commissioner Dunn made a motion to accept the minutes from the January 9, 2024, Planning Commission meeting. Commissioner Mayo seconded the motion. The minutes were unanimously accepted (4-0).

2. CONSIDERATION OF NEW BUSINESS AND PUBLIC HEARINGS

4a) Public Hearing and Consideration of an Official Development Plan for Uplands Filing 1, Block 4 / PA-A(4)

Acting Chair Carpenter opened the public hearing at 7:02 pm.

Jacob Kasza, Senior Planner, entered into the record the agenda memorandum, attachments, PowerPoint presentation, certification of mailed notice, certification of posted notice, and public notice affidavit of publication from the *Westminster Window* on February 1, 2024. Mr. Kasza narrated a PowerPoint presentation for the proposal to:

- a. Hold a public hearing.
- b. Recommend that City Council approve the Official Development Plan for Uplands Filing 1, Block 4 / PA-A(4), subject to the conditions set forth in the Summary of Staff Recommendations herein.

The applicant team, represented by Marcus Pachner with The Pachner Group, gave a presentation.

Acting Chair Carpenter asked the applicant about the entry median exception. The applicant stated that is being provided at 86th & Federal which has been determined will provide compliance with city code. Staff also confirmed that the overall larger parcel A does have an entry way median provided but the A4 specific block does not. He stated that this does comply with city code.

Acting Chair Carpenter also asked the applicant about the distance between the houses on the site plan. The applicant stated the minimum separation is 10 feet between buildings.

Acting Chair Carpenter asked the applicant about a right turn lane at 84th Avenue. The applicant responded that there are no plans, and this was taken into account with the Master Traffic Study for the Preliminary Development Plan (PDP).

Acting Chair Carpenter opened the public testimony at 7:36 pm.

There was public testimony regarding concerns with Shaw Boulevard storm water run off and a 100-year flood event and the request to add inlets to the area.

There were also concerns with the applicant presentation and a slide that was displayed showing and a possible conflict of interest between Acting Chair Carpenter who is on the board for the Westminster Chamber of Commerce, whom is a sponsor of the project, and the applicant. Deputy City Attorney (DCA) Graham stated that a conflict of interest is not present because Acting Chair Carpenter does not have a financial interest in the Chamber of Commerce. Acting Chair Carpenter stated he is a board member with the Chamber. DCA Graham asked Acting Chair Carpenter if he can be fair and impartial in this hearing. Acting Chair Carpenter responded yes.

Another concern was the widening/improvements to Lowell Boulevard.

Acting Chair Carpenter asked the applicant about the improvement to Lowell Boulevard. The applicant responded that the traffic study and the PDP included street sections that were found in the overall traffic study and that were a part of the initial rezoning. Presently, the right-of-way for Lowell from 84th Avenue to 88th Avenue is a 60-foot right-of-way. This application proposes to expand this by 17 feet as part of the infrastructure improvements that are underway. The additional 17 feet are all on the east side, all within the Uplands property, and not coming from any other property. She went on to say that ultimately this street section will have two 10.5-foot travel lanes, two 5-foot bike lanes, two 6-foot parking lanes, and the east side along Uplands will also include a 6-foot tree lawn and a 10-foot walk.

Acting Chair Carpenter asked for clarification if it would still just be one lane in each direction and the applicant responded yes.

The applicant team stated they appreciate the feedback, and they will remove the Westminster Chamber of Commerce from the slide moving forward.

The applicant team addressed the storm water run off concern. They stated that the A4 parcel connects to the stormwater system, and they are meeting with residents that will be affected. They stated that their plan for A4 is now going to retain and detain the water at a slower rate which is an improvement over current conditions. They stated that they are continuing to work with residents on other improvement suggestions and this is an on-going item.

Acting Chair Carpenter asked if drainage will be improved even if there are no improvements to specific existing lots. Mr. Klein responded that the City has been working with Mile High Flood District to evaluate the flood plain of this area. He stated that improvements being proposed with this project will further remove other properties from flood plain. Unfortunately, the property in question from the resident who spoke, will remain in the flood plain. The City is actively working with the resident for possible solutions.

Commissioner Xiong asked the applicant about the possibility of the previously suggested addition of inlets in the area. The applicant team responded that they are considering all options, and nothing is off the table, and nothing has been ruled out just yet.

Acting Chair Carpenter closed the public testimony at 7:54 pm.

Commissioner Dunn made a motion recommending that the Planning Commission recommend City Council approve the Official Development Plan for Uplands Filing 1, Block 4 / PA-A(4), subject to the conditions set forth in the Summary of Staff Recommendations herein. This recommendation is based on the finding that the Official Development Plan generally complies with the criteria in Section 11-5-15 of the Westminster Municipal Code.

Commissioner Mayo seconded the motion.

Commissioner Xiong asked staff to clarify if the applicant is in default of any obligations to the City. Staff responded that the applicant is not.

Commissioner Dunn stated his appreciation to the applicant team.

Commissioner Xiong stated that he feels the applicant has performed their due diligence but also encouraged the applicant to work through the Stormwater issue.

Acting Chair Carpenter echoed Commissioner Xiong's comments and stated his support for the motion.

The motion passed (4-0).

4. ADJOURNMENT

The meeting was adjourned at 7:58 p.m.

THE WESTMINSTER PLANNING COMMISSION

David Carpenter, Acting Chairperson

A full recording of the meeting has been posted on The City of Westminster website. www.cityofwestminster.us/pc



WESTMINSTER

Agenda Memorandum

Agenda Item 3a

Planning Commission Meeting
February 27, 2024



Strategic Priority 4: Quality of Life – Ensure that Westminster offers a diverse range of amenities and activities for residents, businesses, and visitors that honor the City's history and supports the arts, parks, recreation, open spaces, and libraries.

SUBJECT: Public Hearing and Recommendation of a Preliminary Development Plan Amendment for Foster Property

PREPARED BY: Jacob P. Kasza, Senior Planner

RECOMMENDED PLANNING COMMISSION ACTION:

1. Hold a public hearing.
2. Recommend that City Council approve the Fifth Preliminary Development Plan Amendment for Foster Property. This recommendation is based on the finding that the Preliminary Development Plan generally complies with the criteria in Section 11-5-14, Westminster Municipal Code.

SUMMARY STATEMENT:

- The proposed development consists of 89 acres of vacant land, located at the northeast corner of West 136th Avenue and Huron Street, see Attachment 1.
- The applicant is requesting approval of the Fifth Preliminary Development Plan (PDP) Amendment that would facilitate the development of a commercial development on 19 acres of the property and employment-flex uses on 70 acres of the property, see Attachment 6.

FISCAL IMPACT:

\$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

Should the Planning Commission recommend that City Council approve the PDP Amendment for the subject property known as Foster Property?

ALTERNATIVE(S):

The Planning Commission could choose to recommend denial of the PDP Amendment. Staff does not recommend this option because the PDP Amendment is generally supported by the criteria set forth in Section 11-5-14, Westminster Municipal Code (W.M.C.).

BACKGROUND INFORMATION:

Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a PDP and Official Development Plan (ODP) pursuant to the land use allowances established by the Comprehensive Plan. The Comprehensive Plan includes specific land use designations that provide a broad range of uses and identify allowed densities and intensities of use. The W.M.C. requires that all development be in compliance with the Comprehensive Plan.

The PDP serves as the principal zoning document for the site and establishes future development parameters in broad terms. Allowable land uses, descriptions of the future development, relationships between the site and surrounding properties, and street networks are established. The intent, limitations, and regulations for the project are created, if needed, and the timing and/or phasing of the development is identified.

The subject property is currently zoned Planned Unit Development (PUD), and has a valid PDP in place. The proposed PDP Amendment amends the permitted uses on the property. The proposed PDP Amendment requires review and consideration by the Planning Commission and approval by the City Council.

If the City Council chooses to approve this PDP Amendment, the next steps in the development review process will be to secure the approval of an ODP.

The ODP is a detailed plan for a development site and establishes locations for landscaping, parking, access, stormwater detention, building orientation, and architecture, in addition to other requirements. If the PDP were to be approved, the applicant may seek approval of an ODP that conforms to the approved PDP.

History of Subject Property

The overall PDP includes 135.5 acres of land that was annexed into the City in 1998 and zoned PUD. The PDP shown in Attachment 2, was approved in 1999. Since 1999, there have been three other PDP Amendments approved in 2005, 2010, and 2022 shown in Attachment 3, 4, and 5 respectively. In 2005, the City approved an ODP for 37.8 acres of land in the southeast section of the Foster Property which facilitated the development of the Lowe's shopping center.

Nature of Request

The applicant is seeking approval of a Fifth PDP Amendment for the Foster Property. The Amendment will change four items on the current, valid PDP:

1. Permitted uses will be revised to generally match the allowed uses under the 2040 Comprehensive Plan. The property is designated Commercial and Employment-Flex, see descriptions in Attachment 7. The applicant requests two exceptions from the permitted uses in the Comprehensive Plan, see sheet 3 of Attachment 6.
2. New public use parcels will be created, see sheet 4 of Attachment 6.
3. Dimensions and legal descriptions have been revised.
4. Removal of a use restriction that was included in the original PDP. The use restriction applies to the western 200 feet of Planning Area 2 and limits the allowed uses to “the uses ... permitted in the Office category as defined in the Westminster 1997 Comprehensive Land Use Plan”. The Office designation from the 1997 Comprehensive Plan is provided in Attachment 8.

Applicant

SCHUCK-CHAPMAN COMPANIES
2 N. CASCADE AVE, STE. 1280
COLORADO SPRINGS, CO 80903
O: 719.633.4500

Property Owner

136TH & HURON, LLC
BY GROWTH UNLIMITED, LLC
5450 TIRRAMNA COURT
FT. COLLINS, CO 80524
P: 719.640.3439

Location

The property is 89 acres of vacant land, located at the northeast corner of West 136th Avenue and Huron Street, see Attachment 1.

Surrounding Land Uses and Designations

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	Orchard Lakes	PUD	Employment-Flex; Employment Office/Institutional Campus	Public/Quasi- Public; Vacant
East	Lowes; I-25	PUD	Commercial; Public/Quasi-Public	Retail; Public/Quasi-Public
South	Interchange Business Center (Walmart)	PUD	Commercial	Retail; Vacant
West	Lambert Farms; Lexington	Broomfield; PUD	Broomfield; Residential Large Lot	Commercial; Residential Estate

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- **Published Notice:** Notice of public hearings scheduled before the Planning Commission or City Council shall be published and posted at least ten days prior to such hearing. Notice was published in the Westminster Window by the required deadline.
- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City's Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.
- **Written Notice:** At least ten days prior to the date of the public hearing, the applicant shall mail individual notices by first-class mail to all addresses within 1,000 feet of the subject property. The mailing list to be used shall be provided to the applicant by City staff. The applicant has provided the City's Planning Manager with a certification that the required notices were mailed by the required deadline.

Westminster Municipal Code Analysis

11-5-14. - Standards for Approval of Planned Unit Development Zoning, Preliminary Development Plans and Amendments to Preliminary Development Plans.

(A) In reviewing an application for approval of Planned Unit Development zoning and its associated Preliminary Development Plan, or an amended Preliminary Development Plan, the following criteria shall be considered:

1. *The Planned Unit Development (PUD) zoning and the proposed land uses in the associated Preliminary Development Plan are in conformance with the City's Comprehensive Plan and all City Codes, ordinances, and policies.*

The PDP Amendment generally conforms to the density and uses of the existing Comprehensive Plan designation and conforms with the City Code, ordinances, and policies. The applicant is requesting two exceptions from the permitted uses in the Comprehensive Plan, see sheet 3 of Attachment 6.

2. *The Preliminary Development Plan exhibits the application of sound, creative, innovative, and efficient planning principles.*

The PDP Amendment exhibits sound planning principles by keeping retail commercial uses at the intersection of two major arterials and limiting uses that may cause disruptions to the surrounding area.

3. *Any exceptions from standard Code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Preliminary Development Plan (PDP).*

The applicant is requesting two exceptions from the permitted uses in the Comprehensive Plan, see sheet 3 of Attachment 6.

4. *The PDP is compatible and harmonious with existing public and private development in the surrounding area.*

The PDP Amendment generally proposes uses that are compliant with the 2040 Comprehensive Plan. The ODP for the future development must comply with all standard Code requirements and must include appropriate setbacks, landscaping, and height restrictions to ensure the development is harmonious with private development in the area.

5. *The PDP provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

The PDP Amendment restricts uses that may cause adverse impacts on the surrounding area. The PDP Amendment is generally compliant with the 2040 Comprehensive Plan and ample setbacks will protect the development from potential adverse surrounding influences.

6. *The PDP has no significant adverse impacts upon existing or future land uses nor upon the future development of the immediate area.*

The PDP Amendment does not have significant adverse impacts upon existing or future land uses. The PDP Amendment is generally compliant with the 2040 Comprehensive Plan.

7. *Streets, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

The access points shown on the proposed PDP Amendment are consistent with the access points that were approved in the Fourth PDP Amendment, see Attachment 5. The vehicle access points will be designed with the ODP and will meet the City's Engineering Standards and Specifications.

8. *The City may require rights-of-way adjacent to existing or proposed arterial or collector streets, any easements for public utilities and any other public lands to be dedicated to the City as a condition to approving the PDP. Nothing herein shall preclude further public land dedications as a condition to ODP or plat approvals by the City.*

The PDP Amendment does not preclude dedication of future right-of-way or public land. Additional right of way will be needed for this development and will need to be shown on an ODP and Plat.

9. *Performance standards are included that ensure reasonable expectations of future Official Development Plans being able to meet the Standards for Approval of an Official Development Plan contained in Section 11-5-15, W.M.C.*

The PDP Amendment includes the necessary standards to ensure future ODPs are able to meet the standards of approval. The ODP will need to meet the requirements included in City Code, the Retail Commercial Design Guidelines, and the Landscape Regulations.

10. *The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant is not in default and does not have outstanding obligations to the City.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an application for Planned Unit Development zoning, a Preliminary Development Plan or an amendment to a Preliminary Development Plan.

Neighborhood Meeting(s) and Public Comments

The City did not require a neighborhood meeting for this application. The applicant completed their Concept Plan Review with no public comments. During the review of the Fourth PDP Amendment, only one person attended the neighborhood meeting and there were no comments or questions. The City will require either a mailer or neighborhood meeting during the ODP review when a development is proposed.

Staff received several public comments on the proposed amendment and those are included in Attachment 9.

Summary of Staff Recommendation

Staff recommends that the Planning Commission recommend approval of the Fifth PDP Amendment as it generally meets the standards for approval in Section 11-5-14, W.M.C.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of Quality of Life is met by facilitating new development and providing additional employment land uses.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "John McConnell". The signature is fluid and cursive, with the first name "John" being more prominent than the last name "McConnell".

John McConnell, AICP
Interim Planning Manager

ATTACHMENTS:

Attachment 1: Vicinity Map

Attachment 2: Foster Property Preliminary Development Plan

Attachment 3: Foster Property First Amended PDP

Attachment 4: Foster Property Second Amended PDP

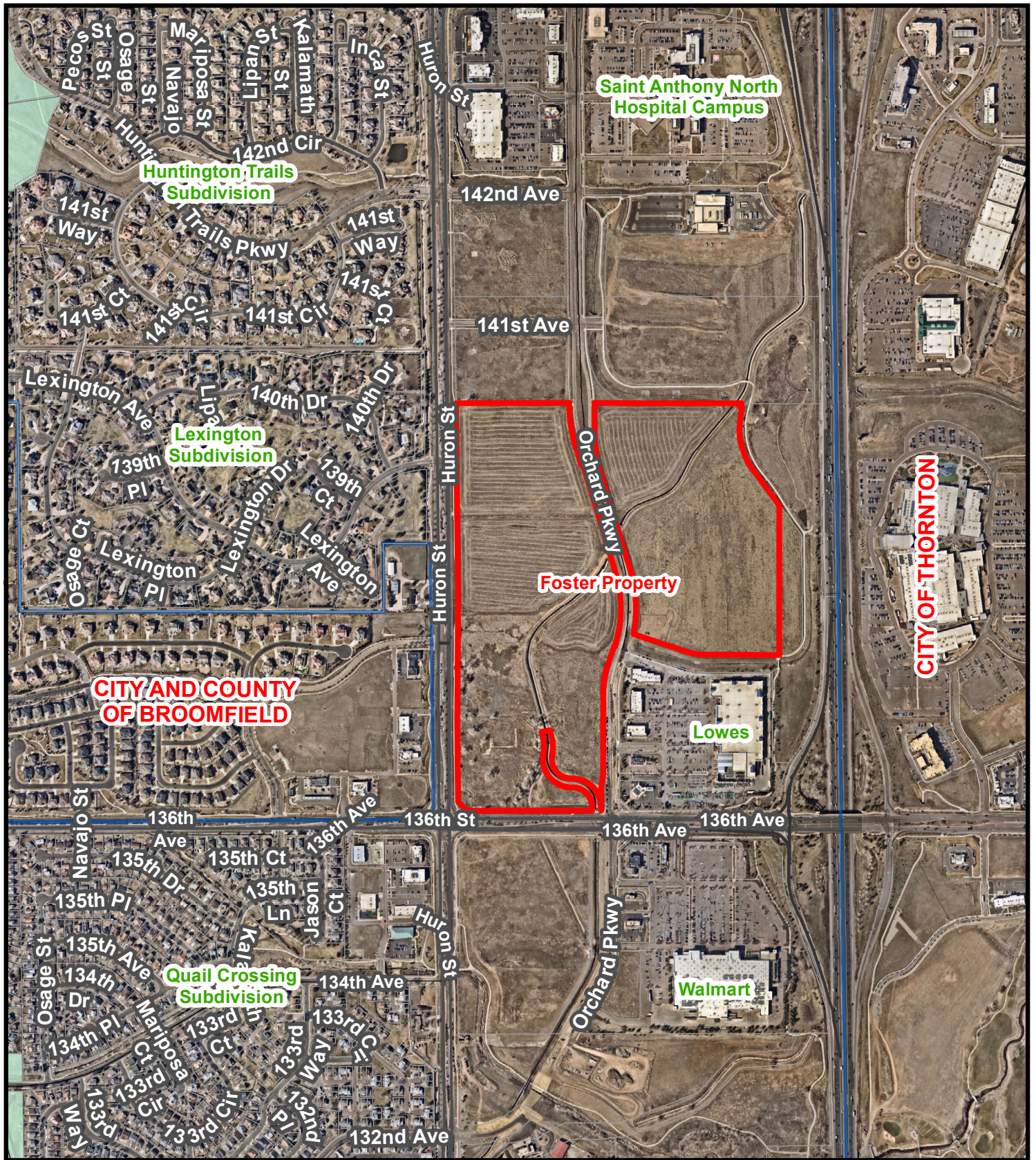
Attachment 5: Foster Property Fourth Amended PDP

Attachment 6: Proposed Foster Property Fifth Amended PDP

Attachment 7: Comprehensive Plan Designations

Attachment 8: Office Designation from 1997 Comprehensive Plan

Attachment 9: Public Comment



CITY AND COUNTY OF BROOMFIELD

CITY OF THORNTON

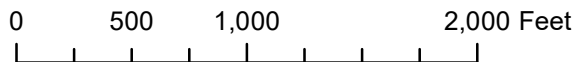
Vicinity Map

Foster Property

NEC of W 136th Ave and Huron



WESTMINSTER

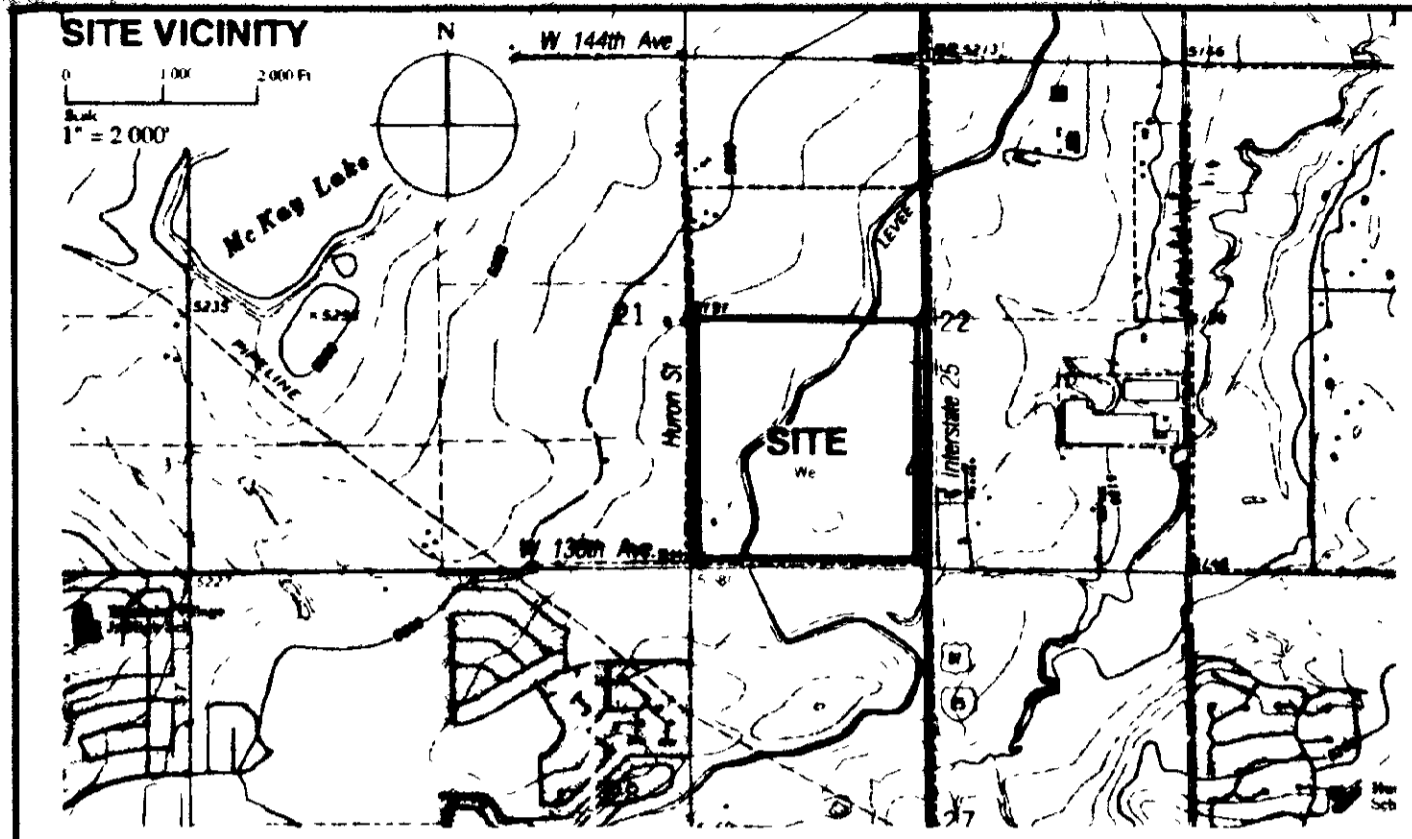


DRAWING - P.D.P.
Z 99-4
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
RECORDER BY NUMBER 0754R
PORTION LINE OF PRINT ON THIS LINE

DRAWING NUMBER
Foster Property
1 of 2
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PRELIMINARY DEVELOPMENT PLAN
FOSTER PROPERTY
A PLANNED UNIT DEVELOPMENT
CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO
Sheet 1 of 2

LEGAL DESCRIPTION

A PARCEL OF LAND LYING IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CONSISTING OF SAID QUARTER SECTION LESS DEDICATED RIGHT OF WAYS FOR INTERSTATE 25, HURON STREET AND WEST 136TH AVENUE AND THE FEE SIMPLE OWNERSHIP OF THE BULL CANAL, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO

GENERAL PROJECT CONCEPT

THE ZONING OF THIS LAND IS INTENDED TO PROVIDE A RANGE OF USES COMPATIBLE WITH A LARGER REGIONAL COMMERCIAL CENTER, SPECIFICALLY INCLUDING, RETAIL BUSINESS, COMMERCIAL, OFFICE, RESEARCH AND TECHNOLOGICAL USES

USE BY RIGHT

THE OWNER SHALL HAVE THE USE BY RIGHT TO CONTINUE USE OF THE PROPERTY FOR FARMING, RANCHING AND OTHER AGRICULTURAL PURPOSES, INCLUDING BY EXAMPLE AND NOT LIMITATION, THE RAISING OF CROPS AND GRAZING OF CATTLE ON THE PROPERTY. NOTWITHSTANDING THE ZONING OF THE PROPERTY, USE OF THE PROPERTY FOR AGRICULTURAL PURPOSES SHALL BE A USE BY RIGHT, PROVIDED, HOWEVER, AT SUCH TIME AS BUILDING PERMITS ARE ISSUED FOR THE DEVELOPMENT OF THE PROPERTY IN ACCORDANCE WITH THE PROPERTY'S OFFICIAL DEVELOPMENT PLAN; AT SUCH TIME BUILDING PERMITS ARE ISSUED, AGRICULTURAL USES WILL CEASE FOR THE PLATTED PORTION OF THE PROPERTY

THE FOLLOWING USES SHALL BE PROHIBITED: PAWN SHOPS, NEW AND USED CAR SALES, MASSAGE PARLORS, TATTOO PARLORS, OFF-TRACK BETTING, AUCTION HOUSES, MINI-STORAGE FACILITIES, THRIFT STORES, BILLIARD PARLORS, AND STAND ALONE GUN SHOPS

DEVELOPMENT CONDITIONS

THE PLANNED UNIT DEVELOPMENT AND OFFICIAL DEVELOPMENT PLAN (O D P) FOR THIS PROPERTY WILL CONFORM TO CONDITIONS OF THE PREANNEXATION AGREEMENT APPROVED BY THE WESTMINSTER CITY COUNCIL 12-11-98, ORDINANCE NUMBER 2646

SITE DEVELOPMENT CRITERIA

THE OFFICIAL DEVELOPMENT PLAN (O D P) SHALL MEET OR EXCEED THE CITY'S COMMERCIAL DESIGN GUIDELINES AND LANDSCAPE REGULATIONS

SITE AREA	±135.54 ACRES (EXCLUDES 55 FT FEE SIMPLE BULL CANAL R.O.W.)
BUILDING FLOOR AREA, MAX	NO RESTRICTION
SITE COVERAGE, MAX / LOT	NO RESTRICTION
BUILDING HEIGHT, MAX	NO RESTRICTION
PARKING STRUCT. HT., MAX	TO BE DETERMINED AT TIME OF O D P
LANDSCAPED AREA, MIN	20 PERCENT OF THE ENTIRE SITE
SETBACKS, MIN	TO BE DETERMINED AT TIME OF O D P WITH THE FOLLOWING EXCEPTIONS: ALL BUILDINGS SHALL BE SET BACK 50 FT FROM THE ULTIMATE RIGHT-OF-WAY (R.O.W.) OF HURON ST. ALL PARKING LOTS SHALL BE SET BACK 25 FT FROM THE ULTIMATE R.O.W. OF HURON ST. A SUB-AREA OF THE DEVELOPMENT SHALL BE CREATED ALONG THE EAST SIDE OF HURON ST BEGINNING AT THE NORTH PROPERTY LINE OF THE FOSTER PROPERTY TO APPROXIMATELY 1,270 FT TO THE SOUTH, AND FOR A DEPTH OF 200 FT EAST OF HURON ST. IN THAT SUB-AREA, NO BUILDINGS SHALL BE PERMITTED TO BE HIGHER THAN 50 FT. ADDITIONALLY IN THAT SUB-AREA, NO USES SHALL BE PERMITTED OTHER THAN THOSE PERMITTED IN THE "OFFICE" CATEGORY AS DEFINED IN THE WESTMINSTER COMPREHENSIVE LAND USE PLAN

SITE DEVELOPMENT

PHASING

THE INITIAL PHASE OF THE DEVELOPMENT WILL OCCUR UPON COMPLETION OF THE INTERCHANGE AT I-25. THE REMAINDER OF THE DEVELOPMENT IS EXPECTED TO OCCUR IN PHASES BASED ON MARKET DEMANDS

PERIMETER STREETS

DEVELOPER WILL BE RESPONSIBLE FOR ALL NORMAL R.O.W. PUBLIC IMPROVEMENTS. DEDICATED R.O.W. FOR BOTH HURON ST AND W 136th AVE SHALL NOT EXCEED A TOTAL OF 130 FT. THIS PROPERTY OWNER SHALL BE RESPONSIBLE FOR DEDICATION OF ONE-HALF OF 130 FT, OR 65 FT. AN ADDITIONAL 35 FT OF R.O.W. WILL BE DEDICATED TO MEET THIS REQUIREMENT FOR BOTH HURON ST AND W 136th AVE, WITH ADDITIONAL WIDTH FOR TURN LANES IF REQUIRED AT INTERSECTIONS, TO BE DETERMINED IN THE TRAFFIC STUDY AT TIME OF O D P. DEVELOPMENT PLANS WILL ACCOMMODATE THE FUTURE INTERCHANGE RAMP AT I-25. RIGHT-OF-WAY DEDICATION WILL OCCUR AT TIME OF FINAL PLAT, OR AT TIME STREET IMPROVEMENTS ARE MADE BY THE CITY, WHICHEVER OCCURS FIRST

ALL ADDITIONAL R.O.W. NECESSARY FOR THE WIDENING OF HURON ST WILL BE TAKEN FROM THE FOSTER PROPERTY SIDE. THE CITY WILL MOVE THE CENTERLINE OF HURON ST TO THE EAST 20 FT FROM ITS CURRENT LOCATION. ANY ADDITIONAL R.O.W. OVER THE PRESENT DEDICATION SHOWN ON THE PRELIMINARY DEVELOPMENT PLAN WOULD BE ACQUIRED BY THE CITY

THE CROSS-SECTION OF HURON ST SHALL INCLUDE A LANDSCAPED MEDIAN FOR THE ENTIRE LENGTH OF THE FOSTER PROPERTY EXCEPT WHERE PRECLUDED BY TURN LANES

RECOVERY COSTS

RECOVERY WILL BE DUE AT TIME OF FINAL PLAT APPROVAL FOR THE WATER LINE IN HURON ST AND THE SEWER LINE ALONG BULL CANAL. RECOVERIES WILL BE CALCULATED AS WW87-1 FOR \$261.90 / ACRE + INTEREST, AND WB7-1 FOR \$19.82 / LIN. FT. + INTEREST ALONG HURON ST FRONTAGE

ACCESS

ONE FULL MOVEMENT ACCESS WILL BE PERMITTED ON HURON ST AND AT LEAST ONE ON W 136th AVE. FULL MOVEMENT ACCESS AND RIGHT-IN, RIGHT-OUT ACCESS LOCATIONS WILL BE DETERMINED IN A TRAFFIC STUDY AT TIME OF O D P APPROVAL, WITH THE FOLLOWING EXCEPTION: ONLY ONE FULL ACCESS POINT SHALL BE PERMITTED ON HURON ST FOR THE FOSTER PROPERTY. ALL OTHER ACCESS POINTS SHALL BE RIGHT-IN / RIGHT-OUT ONLY. THE FULL TURN ACCESS POINT SHALL NOT BE CONSTRUCTED ACROSS FROM THE ACCESS TO LEXINGTON ESTATES

PARKING

ALL PARKING LAYOUTS, INCLUDING SPACE SIZE, AISLE DIMENSIONS, HANDICAPPED PROVISIONS, EMERGENCY ACCESS, AND LOADING WILL BE AS PER CITY CODE

LANDSCAPING

MATURE COTTONWOOD TREES WILL BE PRESERVED TO THE EXTENT PRACTICAL WHEN SITE PLANS ARE PREPARED. LANDSCAPING WILL COMPLY WITH CITY LANDSCAPING ORDINANCE IN EFFECT AT TIME OF O D P APPROVAL

SIGNS

SIGNAGE WILL COMPLY WITH CITY STANDARDS IN EFFECT AT TIME OF O D P APPROVAL

ARCHITECTURAL DEVELOPMENT

OVERALL CONCEPT

A CONSISTENT ARCHITECTURAL PHILOSOPHY WILL BE EMPLOYED IN DESIGN AND PLANNING OF THIS COMMERCIAL CENTER. BUILDING MASSING, MATERIALS AND DETAILS SHALL BE DESIGNED TO IMPART A HIGH QUALITY IMAGE TO THIS SITE LOCATION AT THE NORTHERN ENTRANCE TO THE CITY OF WESTMINSTER. DESIGN GUIDELINES WILL BE DEVELOPED AS PART OF THE OFFICIAL DEVELOPMENT PLAN APPROVAL

BUILDING ELEMENTS

A SINGLE BUILDING OR COMPLEX MUST BE STYLISTICALLY CONSISTENT ARCHITECTURAL STYLE, MATERIALS, COLOR, AND FORM SHALL WORK TOGETHER TO EXPRESS A SINGLE THEME

"FRANCHISE ARCHITECTURE" IS DISCOURAGED. BUILDING ELEVATIONS SHALL TAKE INTO ACCOUNT THE CHARACTER OF THE SURROUNDING ARCHITECTURE WHERE APPROPRIATE. INAPPROPRIATE ROOF LIGHTS, ROOF FORMS, NEON TRIM, INTERNALLY ILLUMINATED AWNINGS, BANNERS AND PENNANTS, AND OVERLY BOLD BRASH COLORS, ETC. THAT SACRIFICE THE INTEGRITY OF A STREETScape TO PROMOTE A SINGLE STRUCTURE, OR SINGLE TENANT, SHALL BE AVOIDED

EXTERIOR BUILDING DESIGN, INCLUDING ROOF STYLE, MATERIAL AND COLORS, ARCHITECTURAL FORMS AND DETAILING, SHALL BE CONSISTENT AMONG ALL BUILDINGS IN A COMPLEX TO ACHIEVE DESIGN HARMONY AND CONTINUITY

PAD BUILDINGS SHALL MATCH MATERIALS OF MAIN BUILDINGS, CARRYING OUT THE BUILDING DESIGN THEME AND OTHER THEMES OF THE CENTER

THE USE OF BRICK AS A PRIMARY MATERIAL IS HIGHLY ENCOURAGED. BUILDING COLORS ARE TO INCLUDED AS A PART OF THE OFFICIAL DEVELOPMENT PLAN. COLORS SHOULD GENERALLY BE IN HARMONY WITH THE SURROUNDING ENVIRONMENT

"360 DEGREE" ARCHITECTURE IS REQUIRED. ALL SIDES OF ALL BUILDINGS ARE TO BE TREATED WITH THE SAME DEGREE OF ARCHITECTURAL STYLE AND DETAIL AS THE FRONT ELEVATION OF THE BUILDING. ITEMS TO BE CONSIDERED INCLUDE CONSISTENT USE OF MATERIALS, COLORS, ARCADES, ENTRANCES AND DETAILING

IF THE BACKSIDE OF PAD SITE BUILDINGS FACES THE STREET, THAT SIDE OF THE BUILDINGS SHOULD READ LIKE THE FRONT. ONLY "ACTIVE" BUILDING ELEVATIONS (NO BLANK WALLS OR LOADING AREAS) SHOULD FACE PUBLIC STREETS

LONG LINEAR LOOKING BUILDINGS SHOULD BE AVOIDED. BUILDINGS SHOULD PROVIDE VARYING BUILDING HEIGHTS, CHANGES IN WALL PLANES AND SPATIAL VOLUMES, AS WELL AS A VARIETY OF WINDOW AREAS, ARCADES, MATERIALS AND ROOF ELEMENTS. IN SOME INSTANCES SEPARATION OF ONE BUILDING INTO TWO BUILDINGS MAY BE ENCOURAGED

ARCHITECTURAL LIGHTING INCLUDING ORNAMENTAL ARMATURES, FIXTURES, ETC. RELATING TO THE THEME OF THE DEVELOPMENT WILL BE REQUIRED

REVISION TO TEXT, SHEET 1 OF 1, 30 SEPT 1999

APPROVALS

OWNER APPROVAL

I, C.E. Foster, PROPERTY OWNER DO SO APPROVE THIS P D P FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS 17th DAY OF Nov, 1999

C E Foster Owner
SIGNATURE TITLE

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER THIS 25th DAY OF May, 1999

James W. English
CHAIRMAN

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER THIS 13th DAY OF Sept, 1999

Nancy M. Heil
MAYOR

Michele Kelley
ATTEST CITY CLERK

CLERK AND RECORDER'S CERTIFICATE

3130 P U D NO
06631777 RECEPTION NO

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS 13th DAY OF JANUARY, 2000, AT 12:34 O'CLOCK P M

CAROL A. SNYDER
ADAMS COUNTY CLERK AND RECORDER

SANDY GRAYBILL
BY DEPUTY (SEAL)



DRAWING - P.D.P.
Z 99-4

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
RECORDER BY NUMBER 075AR
POSITION EDGE OF PRINT ON THIS LINE

DRAWING NUMBER
Foster Property

2 of 2

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
RECORDER BY NUMBER 075AR
POSITION EDGE OF PRINT ON THIS LINE

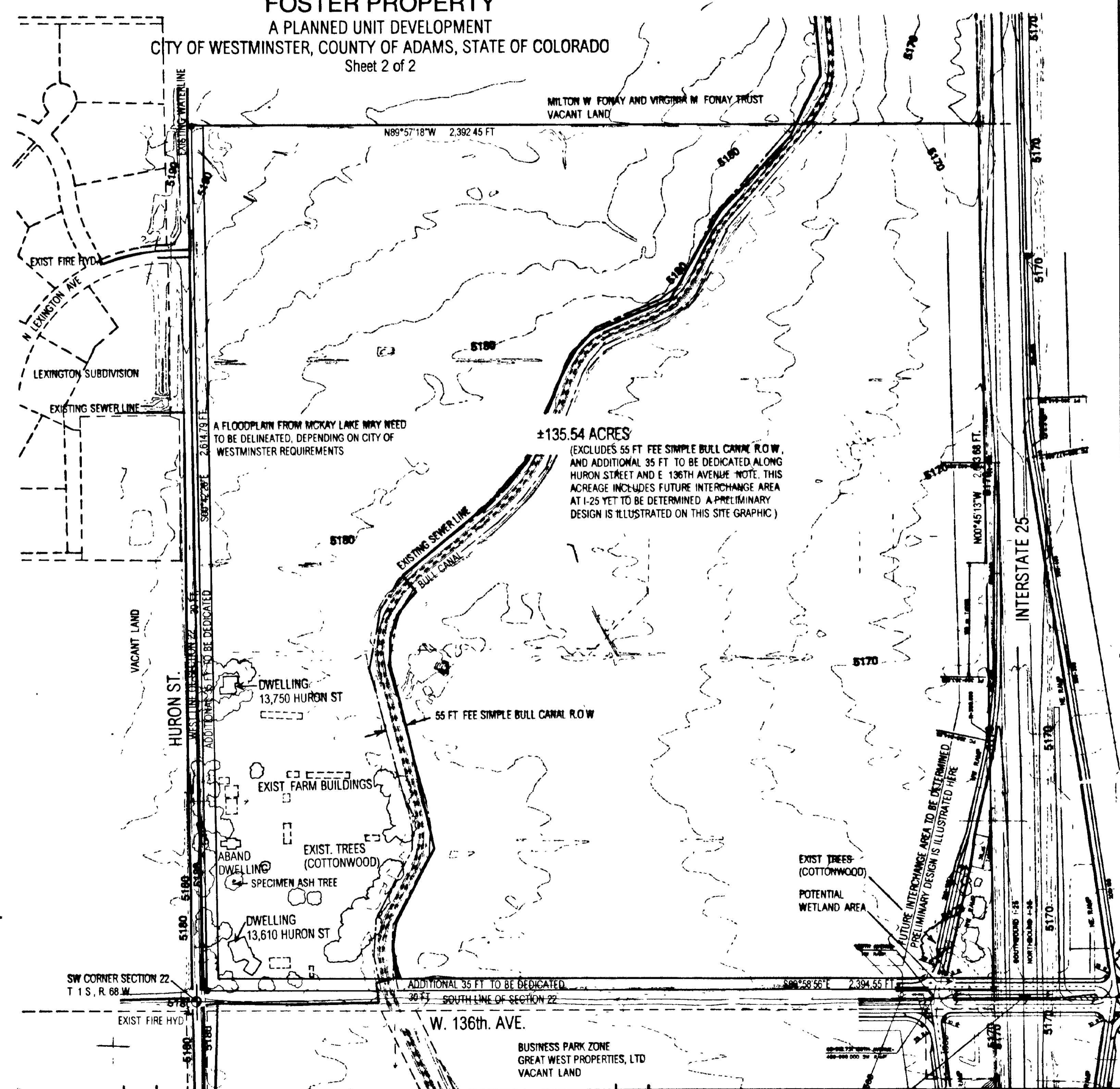
DRAWING NUMBER

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
RECORDER BY NUMBER 075AR
POSITION EDGE OF PRINT ON THIS LINE

DRAWING NUMBER

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
RECORDER BY NUMBER 075AR
POSITION EDGE OF PRINT ON THIS LINE

PRELIMINARY DEVELOPMENT PLAN
FOSTER PROPERTY
A PLANNED UNIT DEVELOPMENT
CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO
Sheet 2 of 2



±135.54 ACRES
(EXCLUDES 55 FT. FEE SIMPLE BULL CANAL R.O.W. AND ADDITIONAL 35 FT. TO BE DEDICATED ALONG HURON STREET AND E. 136TH AVENUE. NOTE: THIS ACREAGE INCLUDES FUTURE INTERCHANGE AREA AT I-25 YET TO BE DETERMINED. A PRELIMINARY DESIGN IS ILLUSTRATED ON THIS SITE GRAPHIC.)

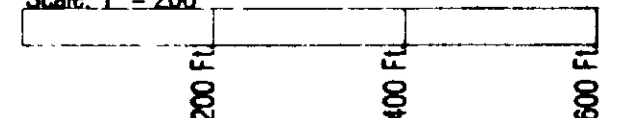
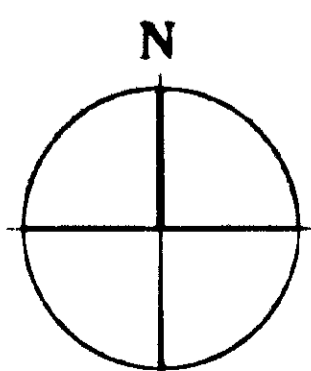
A FLOODPLAIN FROM MCKAY LAKE MAY NEED TO BE DELINEATED, DEPENDING ON CITY OF WESTMINSTER REQUIREMENTS

FUTURE INTERCHANGE AREA TO BE DETERMINED. PRELIMINARY DESIGN IS ILLUSTRATED HERE

LAND-DESIGN STUDIO
P.O. Box 1797 Denver, CO 80201-1797

Gene Herbert: 303-733-8434 Fax: 303-744-9934
E-mail: landesignstudio@worldnet.att.net

Job #: 99-323
Date: 4 MAR. 1999
Rev.: 4 APR. 1999 18 MAY 1999
Scale: 1" = 200'



FOSTER PROPERTY FIRST AMENDED PDP A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO SHEET 1 OF 4

PROJECT TEAM:

<p>DEVELOPER: ARMSTRONG DEVELOPMENT CONTACT: ROBERT W. FRISCH BIRMINGHAM TOWERS 2100 WHARTON STREET, SUITE 700 PITTSBURGH, PA 15203</p> <p>CIVIL ENGINEER: BALLARD & BRAUGHTON ENGINEERING CONTACT: KEVIN BRAUGHTON 3815 OLD BULLARD ROAD TYLER, TEXAS 75701</p> <p>LANDSCAPE ARCHITECT: GROUND LOGIC, INC. CONTACT: GREG GAUTHIER 1524 SOUTH LINCOLN STREET DENVER, CO 80210</p> <p>ENVIRONMENTAL ENGINEER: KLEINFELDER CONTACT: MATTHEW L. WIGLE 747 NORTH SHERIDAN BLVD., SUITE 9B DENVER, CO 80214-2563</p>	<p>PROPERTY OWNER: E. SUZANNE MOWERY 30611 COUNTY RD. 89 CROOK, CO 80726</p> <p>ARCHITECT/PLANNER: KDRA CONTACT: JACK SWANSON 7400 E. McDONALD DRIVE, SUITE 101 SCOTTSDALE, AZ 85250</p> <p>GEOTECHNICAL ENGINEER: KLEINFELDER CONTACT: JERE STRICKLAND 747 NORTH SHERIDAN BLVD., STE. 9B DENVER, CO 80214-2563</p>
---	--

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 22, AND CONSIDERING THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 22 TO BEAR NORTH 00°45'13" WEST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE NORTH 89°58'56" WEST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 22, A DISTANCE OF 1606.70 FEET;
THENCE NORTH 00°01'04" EAST, A DISTANCE OF 87.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 136TH AVENUE AS DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. C1100650, SAID POINT BEING THE POINT OF BEGINNING;

THENCE NORTH 89°58'56" WEST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 22, A DISTANCE OF 1606.70 FEET;
THENCE NORTH 00°01'04" EAST, A DISTANCE OF 87.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 136TH AVENUE AS DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. C1100650, SAID POINT BEING THE POINT OF BEGINNING;

THENCE NORTH 00°01'07" EAST, A DISTANCE OF 151.44 FEET;
THENCE NORTH 08°21'33" EAST, A DISTANCE OF 75.83 FEET;
THENCE NORTH 00°01'07" EAST, A DISTANCE OF 499.64 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 18°17'17". A RADIUS OF 602.50 FEET, A CHORD THAT BEARS NORTH 09°09'46" EAST, AND AN ARC LENGTH OF 192.31 FEET;
THENCE NORTH 18°18'24" EAST, A DISTANCE OF 121.63 FEET;
THENCE SOUTH 71°41'36" EAST, A DISTANCE OF 102.00 FEET;
THENCE NORTH 18°18'24" EAST, A DISTANCE OF 100.00 FEET;
THENCE SOUTH 71°41'36" EAST, A DISTANCE OF 344.97 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 18°17'17". A RADIUS OF 390.00 FEET, A CHORD THAT BEARS SOUTH 80°50'14" EAST, AND AN ARC LENGTH OF 124.48 FEET;
THENCE SOUTH 89°58'53" EAST, A DISTANCE OF 469.22 FEET;
THENCE NORTH 00°45'11" WEST, A DISTANCE OF 1591.08 FEET;
THENCE 89°57'18" EAST, A DISTANCE OF 260.03 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF INTERSTATE 25 AS DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. C1100650;

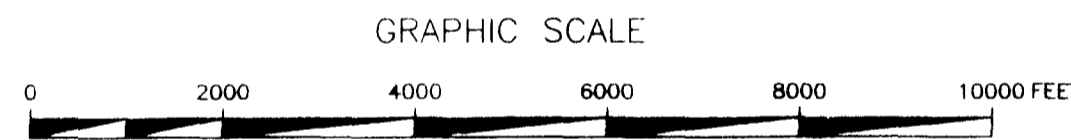
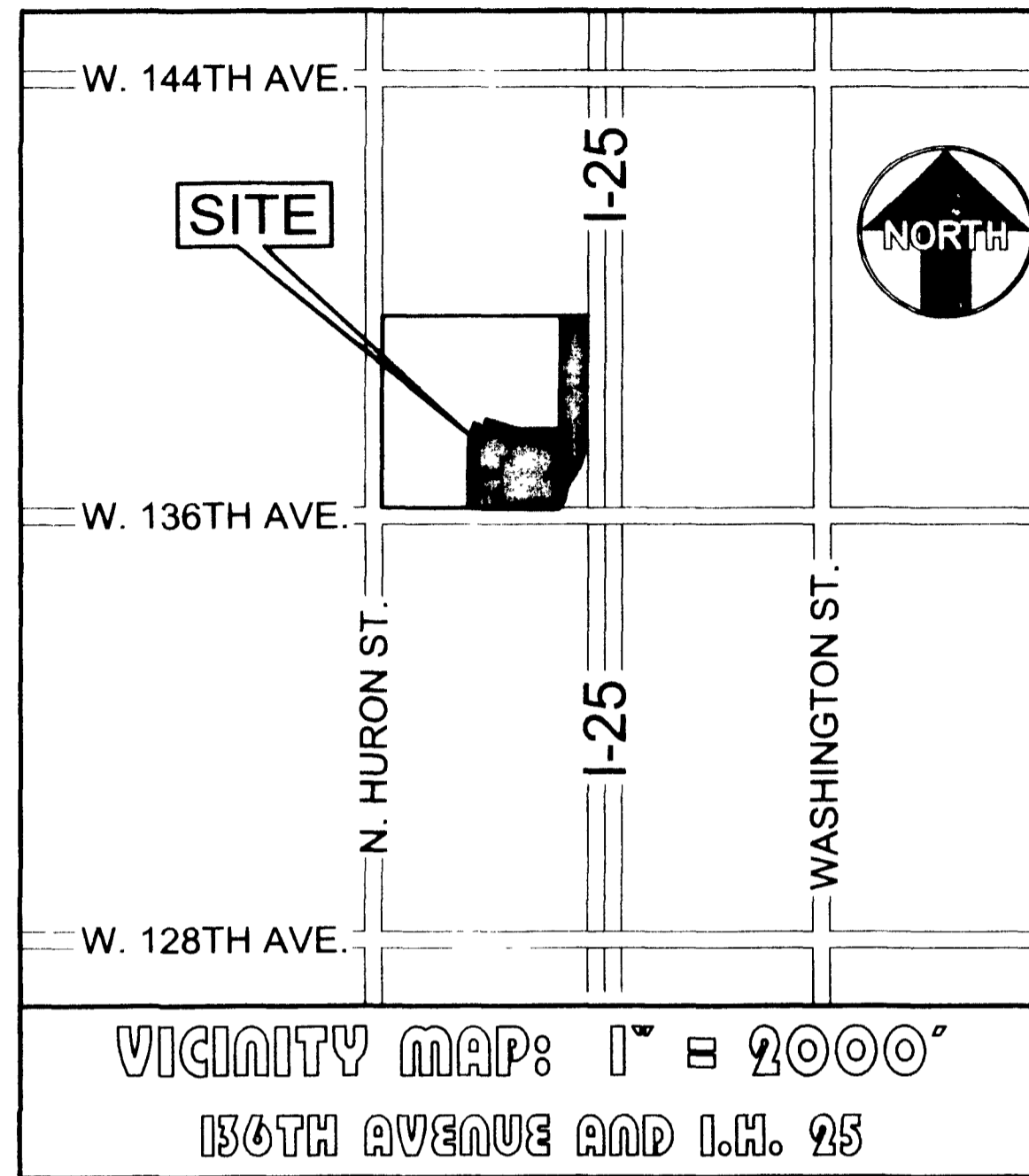
THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE FOLLOWING EIGHT (8) COURSES:

1. SOUTH 00°45'11" EAST, A DISTANCE OF 1383.57 FEET;
2. SOUTH 00°45'13" EAST, A DISTANCE OF 134.55 FEET;
3. SOUTH 04°14'35" WEST, A DISTANCE OF 239.37 FEET TO A POINT OF CURVE.
4. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 24°50'18", A RADIUS OF 924.93 FEET, A CHORD THAT BEARS SOUTH 16°39'44" WEST, AND AN ARC LENGTH OF 400.97 FEET;
5. SOUTH 29°04'53" WEST, A DISTANCE OF 44.29 FEET;
6. SOUTH 35°55'27" WEST, A DISTANCE OF 100.68 FEET TO A POINT OF CURVE;
7. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 28°48'52", A RADIUS OF 400.10 FEET, A CHORD THAT BEARS SOUTH 14°56'09" WEST, AND AN ARC LENGTH OF 201.21 FEET;
8. SOUTH 33°25'08" WEST, A DISTANCE OF 131.32 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID 136TH AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES:

1. NORTH 89°46'07" WEST, A DISTANCE OF 985.70 FEET;
2. NORTH 89°58'56" WEST, A DISTANCE OF 64.66 FEET TO THE POINT OF BEGINNING,

CONTAINING A CALCULATED AREA OF 37.88 ACRES, MORE OR LESS.



OWNER APPROVAL: E. Suzanne Mowery as Personal Representative
of the Charles S. Foster Estate, PROPERTY OWNER DO SO APPROVE THIS

(Please Print)
P.D.P. FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER
THIS 1 DAY OF June, 2005
E. Suzanne Mowery Personal Representative
SIGNATURE TITLE

~~OWNER APPROVAL:
I, _____, PROPERTY OWNER DO SO APPROVE THIS
(Please Print)
P.D.P. FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20____
SIGNATURE TITLE~~

~~OWNER APPROVAL:
I, _____, PROPERTY OWNER DO SO APPROVE THIS
(Please Print)
P.D.P. FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20____
SIGNATURE TITLE~~

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
THIS 10 DAY OF MAY, 2005
Jay L. English
CHAIRMAN

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS 23 DAY OF MAY, 2005

Tom Keppner
MAYOR
Carol Snyder
ATTEST: CITY CLERK

CLERK AND RECORDER'S CERTIFICATE:
RECEPTION NO. **20050601000576380**
ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS 1 DAY OF JUNE, 2005, AT 1:48 O'CLOCK P.M.

Carol Snyder
ADAMS COUNTY CLERK AND RECORDER
Dorene
BY: DEPUTY CLERK (SEAL)

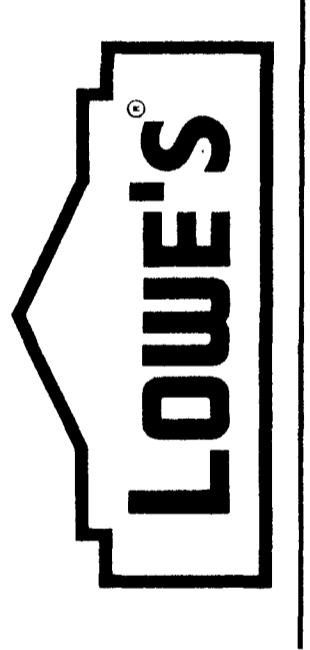
SURVEYOR'S CERTIFICATE:
5/31/05 (SEAL) William F. Hessebach Jr 25369
DATE REGISTERED LAND SURVEYOR & NO.

REVISIONS	
DATE	DESCRIPTION

BB BALLARD & BRAUGHTON
ARCHITECTURE, ENGINEERING
LANDSCAPE ARCHITECTURE, LAND PLANNING

LOWE'S H.L.W., INC.
1530 FARADAY AVE., SUITE 140
CARLSBAD, CA 92008
760 804 5300 (V) 760 918 9112 (F)

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COVER SHEET
LOWE'S OF
N. WESTMINSTER
WESTMINSTER, COLORADO
PROJECT NO. 04-042
DRAWN BY: LAWY
CHECKED BY:
ORIGINAL ISSUE DATE
PERMIT SET ISSUE DATE
CONSTRUCTION SET ISSUE DATE
DRAWING NUMBER
1 of 4

FOSTER PROPERTY FIRST AMENDED PDP A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO SHEET 2 OF 4

GENERAL NOTES

- 1) THERE ARE NO VIEW CORRIDORS THAT AFFECT THIS SITE.
- 2) ACCESS TO THE SITE SHALL BE FROM TWO ACCESS POINTS LOCATED ON THE PROPOSED EXTENSION OF ORCHARD PARKWAY.
- 3) DETENTION REQUIREMENTS FOR EACH LOT IN THIS DEVELOPMENT WILL BE PROVIDED BY THE CONSTRUCTION OF AN OFFSITE TEMPORARY RETENTION BASIN. UPON COMPLETION OF DOWNSTREAM IMPROVEMENTS NECESSARY TO CONVEY DRAINAGE UNDER INTERSTATE 25 THIS POND WILL BE CONVERTED TO A PERMANENT DETENTION AND WATER QUALITY POND.
- 4) APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN CONSTITUTES A CONCEPT APPROVAL OF THE PLAN SUBJECT TO THE ABILITY OF THE CITY OF WESTMINSTER OR THE LAND OWNER TO PROVIDE NECESSARY SERVICES. DUE TO SERIOUS SHORT-RANGE AND LONG-RANGE LIMITATIONS ON THE RAW WATER SUPPLY, WATER TREATMENT CAPACITY AND SEWAGE TREATMENT CAPACITY OF THE CITY, DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN MAY NOT BE POSSIBLE. APPROVAL OF THIS PLAN IMPLIES NO COMMITMENT OF THE CITY OF WESTMINSTER TO PROVIDE SERVICES. THE CITY OF WESTMINSTER ADVISES AGAINST DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN WITHOUT A THOROUGH INVESTIGATION BY THE DEVELOPER OF THE AVAILABILITY OF WATER AND SEWER SERVICE AT THE TIME OF SUCH DEVELOPMENT.
- 5) THE SOUTHWEST TRIBUTARY ABUTTING THE LOWE'S ODP AS WELL AS THE ENTIRE REGIONAL POND ALONG I-25 NORTH AND EAST OF THE LOWE'S SITE SHALL BE OWNED BY THE CURRENT OWNER OF THE FOSTER PROPERTY AND MAINTAINED BY LOWE'S, UNTIL SUCH TIME AS THESE DRAINAGE FACILITIES, TOGETHER WITH THE MAINTENANCE OBLIGATION, ARE TRANSFERRED TO AN EXISTING GENERAL IMPROVEMENT DISTRICT OR ONE TO BE CREATED BY THE CITY OF WESTMINSTER. THE CITY OF WESTMINSTER WILL EITHER TRANSFER THE OWNERSHIP AND MAINTENANCE OBLIGATION OF THE DRAINAGE FACILITIES TO AN EXISTING GENERAL IMPROVEMENT DISTRICT OR CREATE A NEW ONE TO ASSUME THOSE OBLIGATIONS, SUBJECT TO VOTER APPROVAL AND OTHER APPLICABLE REQUIREMENTS AS SET FORTH IN THE CITY OF WESTMINSTER CODE AND THE STATUTES OF THE STATE OF COLORADO.
- 6) THE SOUTHWEST TRIBUTARY AND REGIONAL POND ARE SHOWN AS A PRELIMINARY DESIGN. FINAL HYDRAULIC DESIGN OF THESE FACILITIES SHALL BE APPROVED BY THE CITY OF WESTMINSTER AND SIZING OF THE SOUTHWEST TRIBUTARY FROM HURON TO THE EAST SIDE OF ORCHARD PARKWAY, AS WELL AS FUTURE MODIFICATIONS TO THE POND, WILL NEED TO BE APPROVED BY URBAN DRAINAGE & FLOOD CONTROL DISTRICT PRIOR TO ACQUIRING A BUILDING PERMIT. THE FINAL DESIGN OF THE LANDSCAPING AND IRRIGATION ALONG THE EAST SIDE OF THE POND AND THE SOUTH SIDE OF THE SW TRIBUTARY WILL BE APPROVED SEPARATELY BY ODP AMENDMENT.
- 7) SITE FURNISHINGS, LANDSCAPE THEMES, BUILDING LAYOUTS AND PEDESTRIAN ACCESSES SHALL BE CONSISTENT WITH THE CONCEPTS IN THE I-25 CORRIDOR STUDY
- 8) TWO FULL MOVEMENT ACCESSES WILL BE PERMITTED ONTO ORCHARD PARKWAY. THE FINAL GEOMETRY AND SIGNALIZATION REQUIREMENTS WILL BE DETERMINED IN THE APPROVED TRAFFIC STUDY TO BE REVIEWED WITH THE OFFICIAL DEVELOPMENT PLANS FOR THE LOTS AND TRACTS SHOWN IN THIS PDP AMENDMENT
- 9) INTERNAL PEDESTRIAN AND VEHICULAR ACCESS BETWEEN LOTS 1, 2, 3, 4 AND TRACTS A AND B WILL BE ALLOWED AND SHOWN ON THE ODP FOR THOSE SITES
- 10) TWO FULL MOVEMENT ACCESSES WILL BE PERMITTED ONTO ORCHARD PARKWAY. THE FINAL GEOMETRY AND SIGNALIZATION REQUIREMENTS WILL BE DETERMINED IN THE APPROVED TRAFFIC STUDY TO BE REVIEWED WITH THE OFFICIAL DEVELOPMENT PLANS FOR THE LOTS AND TRACTS SHOWN IN THIS PDP AMENDMENT
- 11) INTERNAL PEDESTRIAN AND VEHICULAR ACCESS BETWEEN LOTS 1, 2, 3, 4 AND TRACTS A AND B WILL BE ALLOWED AND SHOWN ON THE ODP FOR THOSE SITES
- 12) ALL PARKING LAYOUTS, INCLUDING SPACE SIZE, AISLE DIMENSIONS, HANDICAPPED PROVISIONS, EMERGENCY ACCESS AND LOADING AREAS WILL BE DETERMINED ON THE ODP FOR EACH LOT AND TRACT
- 13) LANDSCAPING WILL COMPLY WITH THE CITY OF WESTMINSTER LANDSCAPE REGULATIONS IN EFFECT AT THE TIME OF OFFICIAL DEVELOPMENT PLAN REVIEW
- 14) SIGNS WILL COMPLY WITH THE CITY OF WESTMINSTER SIGN STANDARDS IN EFFECT AT THE TIME OF OFFICIAL DEVELOPMENT PLAN REVIEW. ANY VARIANCES FROM THE CITY SIGN STANDARDS WILL BE SHOWN ON THE ODP
- 15) SLOPES SHALL NOT EXCEED 4 TO 1
- 16) OUTSIDE VENDING MACHINES SHALL BE PROHIBITED
- 17) OUTDOOR STORAGE IN FRONT OF THE BUILDINGS AND ELSEWHERE ON THE SITE IS PROHIBITED EXCEPT FOR AREAS THAT MAY BE DESIGNATED ON THE OFFICIAL DEVELOPMENT PLAN FOR EACH LOT OR TRACT
- 18) A TOTAL OF TWO DRIVE THRU OPERATIONS ARE ALLOWED FOR THE AREA WITHIN THIS PDP AMENDMENT
- 19) ACCESSORY STORAGE IN TRUCKS, CONTAINERS OR TRAILERS IS PROHIBITED. ALL TRUCKS AND TRAILERS ON THE SITE MUST BE IN AN ACTIVE STATE OF UNLOADING OR LOADING
- 20) A PUBLIC ACCESS OUTDOOR ART FEATURE IS PLANNED ON AN AREA SHOWN AS TRACT A ON THIS PDP. THE ART FEATURE AND THE SELECTION OF THE ART IS TO BE DETERMINED BY THE CITY AND SHALL BE SHOWN ON A FUTURE OFFICIAL DEVELOPMENT PLAN AMENDMENT FOR TRACT A
- 21) MAINTENANCE OF THE RETENTION/DETENTION POND SHOWN AS TRACT B AND THE ART AREA SHOWN AS TRACT A SHALL BE THE RESPONSIBILITY OF A DISTRICT OR ASSOCIATION THAT WILL BE ESTABLISHED WITH THE APPROVAL OF THE OFFICIAL DEVELOPMENT PLAN

GENERAL PROJECT CONCEPT

THE ZONING OF THIS LAND IS INTENDED TO PROVIDE A RANGE OF USES COMPATIBLE WITH A LARGER REGIONAL COMMERCIAL CENTER, SPECIFICALLY INCLUDING, RETAIL BUSINESS, COMMERCIAL OFFICE, RESEARCH AND TECHNOLOGICAL USES

DEVELOPMENT TIMING:

THE PROPOSED DEVELOPMENT IS TO BE COMPLETED IN PHASES.
PHASE ONE: WILL BEGIN WITHIN ONE YEAR OF THE APPROVAL OF THE O.D.P. AND WILL INCLUDE THE LOWE'S STORE, ASSOCIATED PARKING AND UTILITIES.
SUBSEQUENT PHASES: REMAINING PADS ARE SUBJECT TO MARKET DEMAND.

LAND USE PERFORMANCE STANDARD:

LAND USE PERFORMANCE STANDARD: THE LAND USES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE LOCATION AND NUMBER OF SUCH ESTABLISHMENTS AND THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.

SITE DEVELOPMENT CRITERIA:

THE OFFICIAL DEVELOPMENT PLAN (O.D.P.) SHALL MEET OR EXCEED THE CITY'S COMMERCIAL DESIGN GUIDELINES AND LANDSCAPE REGULATIONS.

- SITE AREA: 35.44 ACRES
- BUILDING FLOOR AREA, MAXIMUM: NO RESTRICTIONS
- SITE COVERAGE, MAXIMUM / LOT: NO RESTRICTIONS
- BUILDING HEIGHT, MAXIMUM: 55'-6"
- PARKING STRUCTURE HEIGHT MAX: TO BE DETERMINED AT TIME OF O.D.P.
- LANDSCAPE AREA MINIMUM: 20 PERCENT OF THE ENTIRE SITE

LOT 1 – LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 22, AND CONSIDERING THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 22 TO BEAR NORTH 00°45'13" WEST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
THENCE NORTH 67°18'04" WEST A DISTANCE OF 1305.69 FEET TO THE **POINT OF BEGINNING**;

THENCE NORTH 89°58'53" WEST, A DISTANCE OF 283.48 FEET;
THENCE NORTH 00°01'07" EAST, A DISTANCE OF 309.63 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 18°17'17", A RADIUS OF 500.50 FEET AND AN ARC LENGTH OF 159.75 FEET;
THENCE NORTH 18°18'24" EAST, A DISTANCE OF 65.13 FEET;
THENCE SOUTH 71°41'36" EAST, A DISTANCE OF 336.71 FEET;
THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 231.37 FEET;
THENCE NORTH 89°58'53" WEST, A DISTANCE OF 82.02 FEET;
THENCE SOUTH 00°01'07" WEST, A DISTANCE OF 191.50 FEET TO THE **POINT OF BEGINNING**.

CONTAINING A CALCULATED AREA OF 3.61 ACRES, MORE OR LESS.

LOT 2 – LEGAL DESCRIPTION


A PARCEL OF LAND BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 22, AND CONSIDERING THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 22 TO BEAR NORTH 00°45'13" WEST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
THENCE NORTH 77°12'55" WEST A DISTANCE OF 1235.25 FEET TO THE **POINT OF BEGINNING**;

THENCE NORTH 89°58'53" WEST, A DISTANCE OF 283.48 FEET;
THENCE NORTH 00°01'07" EAST, A DISTANCE OF 170.50 FEET;
THENCE SOUTH 89°58'53" EAST, A DISTANCE OF 283.48 FEET;
THENCE SOUTH 00°01'07" WEST, A DISTANCE OF 170.50 FEET;
TO THE **POINT OF BEGINNING**.

CONTAINING A CALCULATED AREA OF 1.11 ACRES, MORE OR LESS.

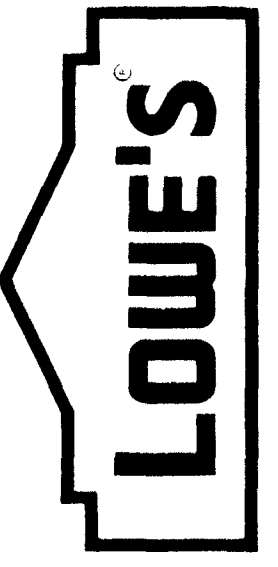
REVISIONS	
DATE	DESCRIPTION



BALLARD & BRAUGHTON
ARCHITECTS
CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - LAND PLANNING
800 BALLARD ROAD, SUITE 100, WESTMINSTER, CO 80057

LOWE'S H.I.W., INC.
1530 FARADAY AVE., SUITE 140
CARLSBAD, CA 92008
760.804.5300 (V) / 602.918.9112 (F)

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COVER SHEET

LOWE'S OF
N. WESTMINSTER
WESTMINSTER, COLORADO

PROJECT No. 04-04-
DRAWN BY: LAWI (CHECKED BY:)

ORIGINAL DATE
PERMIT SET ISSUE DATE
CONSTRUCTION SET ISSUE DATE
DRAWING NUMBER

2 of 4

**FOSTER PROPERTY FIRST AMENDED PDP
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 4**

LOT 3 – LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 22, AND CONSIDERING THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 22 TO BEAR NORTH 00°45'13" WEST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO; THENCE NORTH 85°54'38" WEST A DISTANCE OF 1207.77 FEET TO THE **POINT OF BEGINNING**;

THENCE NORTH 89°46'07" WEST, A DISTANCE OF 207.43 FEET;
THENCE NORTH 44°54'47" WEST, A DISTANCE OF 107.68 FEET;
THENCE NORTH 00°01'07" EAST, A DISTANCE OF 110.22 FEET;
THENCE SOUTH 89°58'53" EAST, A DISTANCE OF 283.48 FEET;
THENCE SOUTH 00°01'07" WEST, A DISTANCE OF 187.22 FEET;
TO THE **POINT OF BEGINNING**.

CONTAINING A CALCULATED AREA OF 1.15 ACRES, MORE OR LESS.

LOT 4 – LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 22, AND CONSIDERING THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 22 TO BEAR NORTH 00°45'13" WEST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO; THENCE NORTH 89°58'56" WEST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 22, A DISTANCE OF 1204.72 FEET; THENCE NORTH 00°01'04" EAST, A DISTANCE OF 85.76 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 136TH AVENUE AS DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. C1100650, SAID POINT BEING THE **POINT OF BEGINNING**;

THENCE NORTH 00°01'07" EAST, A DISTANCE OF 357.72 FEET;
THENCE NORTH 89°58'53" WEST, A DISTANCE OF 283.48 FEET;
THENCE NORTH 00°01'07" EAST, A DISTANCE OF 60.00 FEET;
THENCE SOUTH 89°58'53" EAST, A DISTANCE OF 283.48 FEET;
THENCE NORTH 00°01'07" EAST, A DISTANCE OF 191.50 FEET;
THENCE SOUTH 89°58'53" EAST, A DISTANCE OF 82.02 FEET;
THENCE NORTH 00°00'00" WEST, A DISTANCE OF 231.37 FEET;
THENCE NORTH 71°41'36" WEST, A DISTANCE OF 336.71 FEET;
THENCE NORTH 18°18'24" EAST, A DISTANCE OF 56.50 FEET;
THENCE SOUTH 71°41'36" EAST, A DISTANCE OF 344.97 FEET TO A POINT OF CURVATURE,
THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 181°17'17", A RADIUS OF 490.00 FEET, A CHORD THAT BEARS SOUTH 80°50'14" EAST, AND AN ARC LENGTH OF 156.40 FEET;
THENCE SOUTH 89°58'53" EAST, A DISTANCE OF 413.90 FEET;
THENCE SOUTH 00°01'07" WEST, A DISTANCE OF 567.31 FEET;
THENCE SOUTH 89°58'53" EAST, A DISTANCE OF 102.23 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF INTERSTATE 25 AS DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. C1100650;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE FOLLOWING TWO (2) COURSES;

- 1) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 28°48'52", A RADIUS OF 400.10 FEET, A CHORD THAT BEARS SOUTH 14°56'09" WEST, AND AN ARC LENGTH OF 201.21 FEET;
- 2) SOUTH 33°25'08" WEST, A DISTANCE OF 131.31 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID 136TH AVENUE;

THENCE NORTH 89°46'07" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 653.87 FEET TO THE **POINT OF BEGINNING**.

CONTAINING A CALCULATED AREA OF 14.17 ACRES, MORE OR LESS.

ZONING/CURRENT USES

	ZONING	USE	CLUP DESIGNATION
SUBJECT PROPERTY	FOSTER PROPERTY P.U.D. (Z99-4)	AGRICULTURE / VACANT	DISTRICT CENTER
NORTH:	UN-INCORPORATED ADAMS COUNTY	AGRICULTURE / VACANT	UNINCORPORATED ADAMS COUNTY
SOUTH:	INTERCHANGE BUSINESS PARK P.U.D.	AGRICULTURE / VACANT	DISTRICT CENTER
EAST:	CITY OF THORNTON	I-25	NA
WEST:	LEXINGTON SUBDIVISION - P.U.D. WITH RESIDENTIAL USES	RESIDENTIAL	RESIDENTIAL DEVELOPMENT
WEST:	NA	AGRICULTURAL / VACANT	CITY OF BROOMFIELD

Site Data:

LOT	ZONING / PROPOSED USES	LAND AREA (ACRES)	LAND AREA (SF)	LANDSCAPE AREA (SF)	BUILDING AREA (GROSS SF)	MAX.*** BLDG. HEIGHT	DRIVE / PARKING AREA (SF)	BICYCLE PARKING REQUIRED	BICYCLE PARKING PROVIDED	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
TOTAL SIZE	COMMERCIAL DEVELOPMENT	20.10 +/-	875,556	MIN. 20%	TBD	25'-0"	TBD	TBD	TBD	TBD	TBD
*LOI 1	COMMERCIAL/RETAIL	3.61 +/-	157,252	MIN. 20%	TBD	25'-0"	TBD	TBD	TBD	TBD	TBD
*LOI 2	COMMERCIAL/RETAIL	1.11 +/-	48,248	MIN. 20%	TBD	25'-0"	TBD	TBD	TBD	TBD	TBD
*LOI 3	COMMERCIAL/RETAIL	1.15 +/-	47,916	MIN. 20%	TBD	25'-0"	TBD	TBD	TBD	TBD	TBD
LOT 4	PUD HOME IMPROVEMENT STORE	14.17 +/-	617,245	MIN. 20%	138,134 SF	55'-6"	TBD	0	6	849**	578
TRACT 'A'	PUD/ART PLAZA	0.07	4,792	MIN. 20%	NA	NA	NA	NA	NA	NA	NA
TRACT 'B'	PUD/DETENTION POND	15.33	668,210	MIN. 20%	NA	NA	NA	NA	NA	NA	NA

- * LOIS 1-3 ARE SUBJECT TO FUTURE ODP SUBMITTALS
- ** PARKING STUDY HAS BEEN PROVIDED BY KITTLESON AND ASSOCIATES WAS USED TO CONFIRM A LOWER PARKING DEMAND THAN THE CITY REQUIRES.
- ***THE MAXIMUM BUILDING HEIGHT OF 55'-6" IS ACCEPTABLE FOR THE LOWE'S BUILDING, BUT THE MAXIMUM OF THE OTHER BUILDINGS IS 25'-0". ADDITIONAL HEIGHT MAY BE GRANTED BY THE CITY WITH THE ODP REVIEW OF THE OTHER LOTS. ADDITIONAL SETBACK MAY BE REQUIRED FOR REDUCED SETBACKS.

LAND USES

THE OWNER SHALL HAVE THE USE BY RIGHT TO CONTINUE USE OF THE PROPERTY FOR FARMING, RANCHING AND OTHER AGRICULTURAL PURPOSES, INCLUDING BY EXAMPLE AND NOT LIMITATION, THE RAISING OF CROPS AND GRAZING OF CATTLE ON THE PROPERTY NOTWITHSTANDING THE ZONING OF THE PROPERTY. USE OF THE PROPERTY FOR AGRICULTURAL PURPOSES SHALL BE A USE BY RIGHT. PROVIDED, HOWEVER, AT SUCH TIME AS BUILDING PERMITS ARE ISSUED FOR THE DEVELOPMENT OF THE PROPERTY IN ACCORDANCE WITH THE PROPERTY'S OFFICIAL DEVELOPMENT PLAN AT SUCH TIME BUILDING PERMITS ARE ISSUED, AGRICULTURAL USES WILL CEASE FOR THE PLATTED PORTION OF THE PROPERTY.

THE FOLLOWING USES ARE ALLOWED:

COMMERCIAL RETAIL STORES	FAST FOOD RESTAURANTS WITH DRIVE THROUGH	HEALTH/ATHLETIC CLUBS	MEDICAL AND DENTAL OFFICES
GROCERY STORE	PROFESSIONAL OFFICES	CHILD CARE FACILITIES	PERSONAL SERVICE SHOPS
RESTAURANTS	BANKS	CHURCHES	

THE FOLLOWING USES SHALL BE PROHIBITED:

PAWN SHOPS	TATTOO PARLORS	MINI-STORAGE FACILITIES	STAND ALONE GUN SHOPS
NEW AND USED CAR SALES	OFF-TRACK BETTING	THRIFT STORES	
MASSAGE PARLORS	AUCTION HOUSES	BILLIARD PARLORS	

RECOVERY COSTS

MCKAY LAKE DAM IMPROVEMENTS: WAIVED
MCKAY LAKE DRAINAGEWAY (OUTFALL SYSTEMS MASTER PLAN IMPROVEMENTS FROM HURON TO BIG DRY CREEK): \$27,611/ACRE
SANITARY SEWER OUTFALL CITY PROJECT WW87-1: \$392.85/ACRE
POSSIBLE FUTURE TRAFFIC SIGNAL AT MAIN ENTRY TO DEVELOPMENT - IN THE FUTURE IF THE CITY DETERMINES THE NEED FOR A SIGNAL AT THIS LOCATION, 50% OF THE COST OF THE SIGNAL DESIGN AND INSTALLATION SHALL BE THE RESPONSIBILITY OF THIS DEVELOPMENT

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL ALSO BE EFFECTIVE AGAINST THE DEVELOPMENT A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE ODP.

SETBACKS TABLE

LOCATION	BUILDING	PARKING
INTERSTATE 25	50 FT.	25 FT.
136 TH AVENUE	*40 FT.	25 FT.
ORCHARD PARKWAY	*40 FT.	25 FT.
NORTH ADJACENT TO TRACT 'B'	50 FT.	25 FT.
MAIN INTERNAL ACCESS DRIVE	20 FT.	20 FT.

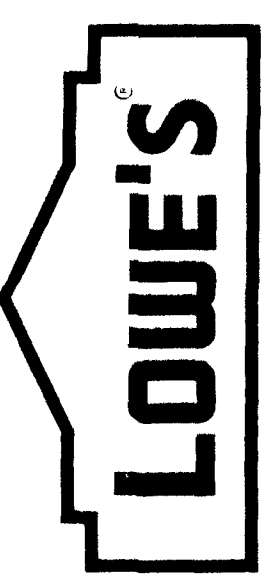
* SETBACK TO BE 50' IF PARKING IS ADJACENT TO THE RIGHT OF WAY.

REVISIONS

DATE	DESCRIPTION



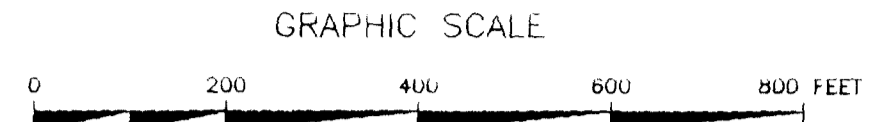
LOWE'S H.W., INC.
1530 FARADAY AVE., SUITE 140
CARLSBAD, CA 92008
760 804 5300 (V) / 60 918 9112 (F)
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COVER SHEET
LOWE'S OF
N. WESTMINSTER
WESTMINSTER, COLORADO
PROJECT NO. 04-042 DRAWN BY: LAWI CHECKED BY:

ORIGINAL ISSUE DATE
PERMIT SET ISSUE DATE
CONSTRUCTION SET ISSUE DATE
DRAWING NUMBER

**FOSTER PROPERTY FIRST AMENDED PDP
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4 OF 4**



REVISIONS	
DATE	DESCRIPTION

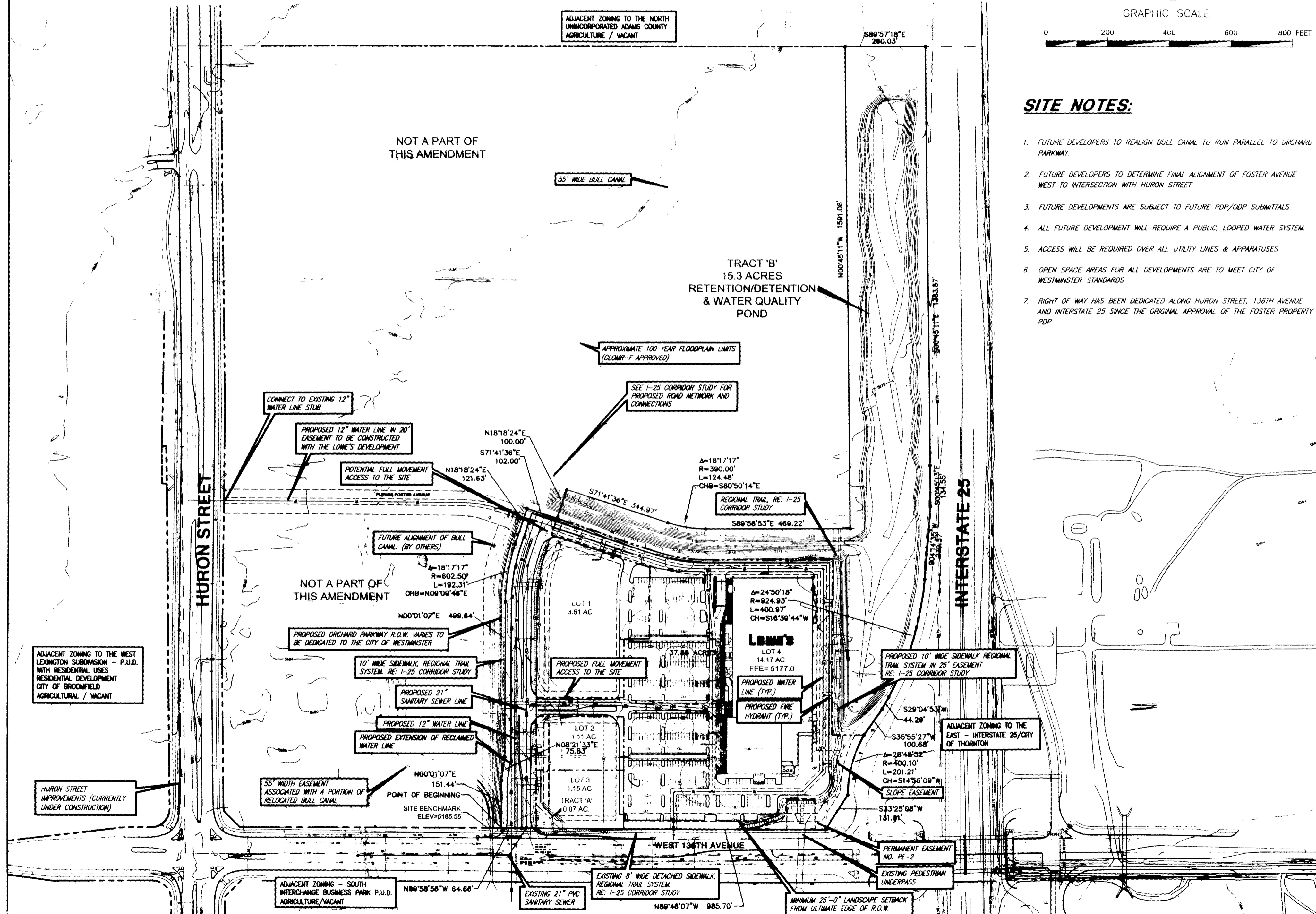


LOWE'S H.I.W., INC.
1530 FARADAY AVE., SUITE 140
CARLSBAD, CA 92008
760 804 5300 (V) 760 918 9112 (F)



SITE PLAN
LOWE'S OF
N. WESTMINSTER
WESTMINSTER, COLORADO
PROJECT NO. 04-042 (DRAWN BY: LAWY CHECKED BY:)

ORIGINAL ISSUE DATE
PERMIT SET ISSUE DATE
CONSTRUCTION SET ISSUE DATE
DRAWING NUMBER



SITE NOTES:

1. FUTURE DEVELOPERS TO REALIGN BULL CANAL TO RUN PARALLEL TO ORCHARD PARKWAY.
2. FUTURE DEVELOPERS TO DETERMINE FINAL ALIGNMENT OF FOSTER AVENUE WEST TO INTERSECTION WITH HURON STREET
3. FUTURE DEVELOPMENTS ARE SUBJECT TO FUTURE PDP/ODP SUBMITTALS
4. ALL FUTURE DEVELOPMENT WILL REQUIRE A PUBLIC, LOOPED WATER SYSTEM.
5. ACCESS WILL BE REQUIRED OVER ALL UTILITY LINES & APPARATUSSES
6. OPEN SPACE AREAS FOR ALL DEVELOPMENTS ARE TO MEET CITY OF WESTMINSTER STANDARDS
7. RIGHT OF WAY HAS BEEN DEDICATED ALONG HURON STREET, 136TH AVENUE AND INTERSTATE 25 SINCE THE ORIGINAL APPROVAL OF THE FOSTER PROPERTY PDP

FOSTER PROPERTY SECOND AMENDED PDP
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 3

PROJECT TEAM (FIRST AMENDED PDP):

DEVELOPER: ARMSTRONG DEVELOPMENT
PROPERTY OWNERS: E. SUZANNE MOWERY, CINDEE ELIZABETH WOOD
CIVIL ENGINEER: NOLTE ASSOCIATES
ARCHITECT/PLANNER: KORA

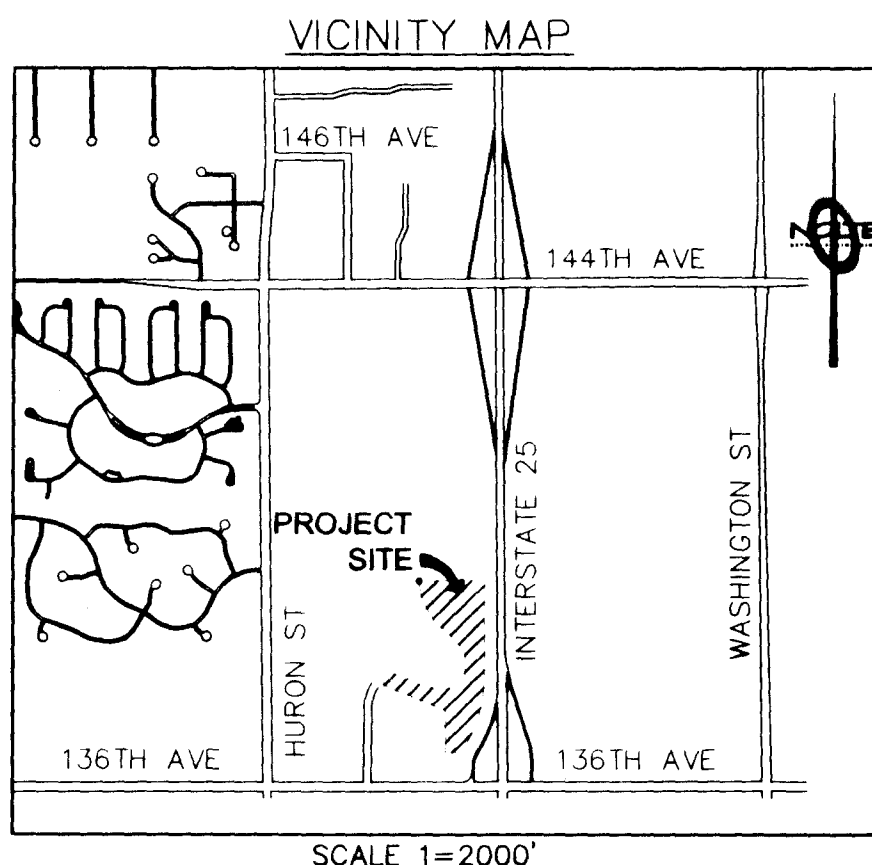
LANDSCAPE ARCHITECT: GROUND LOGIC, INC.
GEOTECHNICAL ENGINEER: KLEINFELDER

ENVIRONMENTAL ENGINEER: KLEINFELDER

PROJECT TEAM (SECOND AMENDED PDP):

DEVELOPER: CITY OF WESTMINSTER
PROPERTY OWNERS: E. SUZANNE MOWERY, CINDEE ELIZABETH WOOD
CONTACT: 4800 W 92ND AVE, WESTMINSTER, CO 80031
CONTACT: 30611 COUNTY RD. 89 CROOK, CO 80726
CONTACT: 300 S. HOWES ST. FORT COLLINS, CO 80521

SURVEYOR: NOLTE ASSOCIATES
ENGINEER: WH PACIFIC
CONTACT: LAINE LANDAU, 1901 SHARP POINT DR., SUITE A, FORT COLLINS, CO 80525
CONTACT: 12596 W BAYAUD AVE, SUITE 200 LAKEWOOD, CO 80228



OWNER APPROVAL:

WE, E. SUZANNE MOWERY AND CINDEE ELIZABETH WOOD, PROPERTY OWNERS, DO SO APPROVE THIS P.D.P. FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER

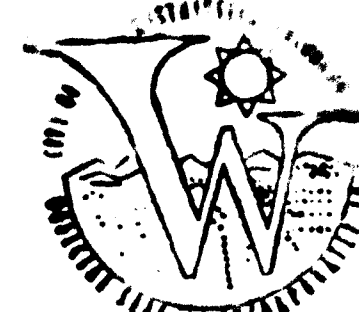
Signatures and dates for Suzanne Mowery (6-9-10) and Cindee Elizabeth Wood (6-20-10).

CITY APPROVAL

ACCEPTED AND APPROVED BY THE CITY OF WESTMINSTER

THIS 6th DAY OF July 2010.

Signatures of City Manager and City Clerk.



CLERK AND RECORDER'S CERTIFICATE:

2010000045510
RECEPTION NO.

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS 9 DAY OF July 2010, AT 11:53 O'CLOCK A.M.

Signature of Kaaren Long, Adams County Clerk and Recorder.
BY: DEPUTY CLERK

SURVEYORS CERTIFICATE

I, LAINE A. LANDAU, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTIONS WERE PREPARED BY ME, FOR AND ON BEHALF OF THE PROPERTY OWNERS...

Signature and seal of Laine A. Landau, Colorado Licensed Professional Land Surveyor No. 31159.
DATE: 5/19/2010

TRACT C - LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT SOUTH QUARTER CORNER OF SAID SECTION 22, AND CONSIDERING THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 22 TO BEAR NORTH 00'45'13" WEST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE NORTH 24'31'32" WEST A DISTANCE OF 1,168.19 FEET TO THE POINT OF BEGINNING, TRACT C;

THENCE NORTH 00'01'07" EAST, A DISTANCE OF 937.10 FEET; THENCE SOUTH 36'35'41" EAST, A DISTANCE OF 227.58 FEET; THENCE SOUTH 00'45'11" EAST, A DISTANCE OF 632.86 FEET TO A POINT OF CURVATURE; THENCE 190.11 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 90'46'18", A RADIUS OF 120.00 FEET, BEING SUB-TENDED BY A CHORD WHICH BEARS SOUTH 44'37'58" WEST, A CHORD DISTANCE OF 170.84 FEET; THENCE NORTH 89'58'53" WEST, A DISTANCE OF 24.26 FEET TO THE POINT OF BEGINNING, TRACT C,

CONTAINING A CALCULATED AREA OF 115,439 SQUARE FEET, 2.650 ACRES, MORE OR LESS.

PURPOSE OF THIS AMENDMENT

- A. THIS AMENDMENT AFFECTS ONLY THE AREAS OF OUTLOT B AND TRACT C THAT ARE SHOWN ON THIS AMENDED PDP.
B. THE AREA OF OUTLOT B WILL NOT CHANGE, BUT THE CONFIGURATION WILL CHANGE AS SHOWN ON THIS PDP.
C. THE LAND USE FOR OUTLOT B WILL BE DRAINAGE AND DETENTION POND.
D. THE LAND USE OF TRACT C WILL BE "AGRICULTURAL" UNTIL AN AMENDED PDP AND ODP ARE APPROVED FOR TRACT C. THE AGRICULTURAL USE MUST CEASE WHEN THE AREA OF TRACT C IS PLATTED IN ACCORDANCE WITH AN APPROVED ODP.

GENERAL PROJECT CONCEPT

THE ZONING OF THIS LAND IS INTENDED TO PROVIDE A RANGE OF USES COMPATIBLE WITH A LARGER REGIONAL COMMERCIAL CENTER, SPECIFICALLY INCLUDING, RETAIL BUSINESS, COMMERCIAL OFFICE, RESEARCH AND TECHNOLOGICAL USES

LEGAL DESCRIPTION

OUTLOT B - LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT SOUTH QUARTER CORNER OF SAID SECTION 22, AND CONSIDERING THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 22 TO BEAR NORTH 00'45'13" WEST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE NORTH 89'51'56" WEST, A DISTANCE OF 102.23 FEET; THENCE NORTH 00'01'07" EAST, A DISTANCE OF 567.11 FEET (537.31 FEET, RECORD); THENCE NORTH 89'58'53" WEST, A DISTANCE OF 413.90 FEET TO A POINT OF CURVATURE; THENCE 156.40 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 18'17'17", A RADIUS OF 490.00 FEET, BEING SUB-TENDED BY A CHORD WHICH BEARS NORTH 80'50'15" WEST, A CHORD DISTANCE OF 155.74 FEET; THENCE NORTH 71'41'36" WEST, A DISTANCE OF 379.97 FEET; THENCE NORTH 18'18'24" EAST, A DISTANCE OF 110.00 FEET; THENCE SOUTH 71'41'36" EAST, A DISTANCE OF 379.97 FEET TO A POINT OF CURVATURE; THENCE 121.29 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 18'17'17", A RADIUS OF 380.00 FEET, BEING SUB-TENDED BY A CHORD WHICH BEARS SOUTH 80'50'15" EAST, A CHORD DISTANCE OF 120.78 FEET; THENCE SOUTH 89'58'53" EAST, A DISTANCE OF 482.47 FEET TO A POINT OF CURVATURE; THENCE 190.11 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90'46'18", A RADIUS OF 120.00 FEET, BEING SUB-TENDED BY A CHORD WHICH BEARS NORTH 44'37'58" EAST, A CHORD DISTANCE OF 170.84 FEET; THENCE NORTH 00'45'11" WEST, A DISTANCE OF 632.86 FEET; THENCE NORTH 36'35'41" WEST, A DISTANCE OF 227.58 FEET; THENCE NORTH 36'25'59" WEST, A DISTANCE OF 274.96 FEET TO A POINT OF CURVATURE; THENCE 414.51 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 53'36'41", A RADIUS OF 443.00 FEET, BEING SUB-TENDED BY A CHORD WHICH BEARS NORTH 09'37'40" WEST, A CHORD DISTANCE OF 399.56 FEET; THENCE NORTH 71'01'52" WEST, A DISTANCE OF 23.86 FEET; THENCE NORTH 40'06'01" EAST, A DISTANCE OF 27.60 FEET; THENCE SOUTH 89'57'18" EAST, A DISTANCE OF 484.73 FEET; THENCE SOUTH 00'45'11" EAST, A DISTANCE OF 1383.57 FEET; THENCE SOUTH 00'45'13" EAST, A DISTANCE OF 134.55 FEET; THENCE SOUTH 04'14'35" WEST, A DISTANCE OF 239.37 FEET TO A POINT OF CURVATURE; THENCE 400.97 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 24'50'18", A RADIUS OF 924.93 FEET, BEING SUB-TENDED BY A CHORD WHICH BEARS SOUTH 16'39'44" WEST, A CHORD DISTANCE OF 397.83 FEET; THENCE SOUTH 29'04'53" WEST, A DISTANCE OF 44.29 FEET; THENCE SOUTH 35'55'27" WEST, A DISTANCE OF 100.68 FEET TO THE POINT OF BEGINNING, OUTLOT B,

CONTAINING A CALCULATED AREA OF 681,729 SQUARE FEET, 15.650 ACRES, MORE OR LESS.

FOSTER PROPERTY SECOND AMENDED PDP COVER SHEET

NOLTE BEYOND ENGINEERING

1 of 3

SCALE VERTICAL: 1"=N/A HORIZONTAL: 1"=N/A

JOB NUMBER FCB0295

PREPARED FOR: THE CITY OF WESTMINSTER DATE SUBMITTED: 6/10/2010

CAUTION The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

DATE: 5/10/10 TIME: 11:35:05 AM DRAWING NAME: PDP.DWG

SERVER: FOSTI DESIGNER: JDP PROJ MGR: RVU LAYOUT: XREFS: 18X24_VICINITY-MAP.dwg, 18X24_OUTLOT-B.dwg, 18X24_OUTLOT-C.dwg, 18X24_OUTLOT-D.dwg, 18X24_OUTLOT-E.dwg, 18X24_OUTLOT-F.dwg, 18X24_OUTLOT-G.dwg, 18X24_OUTLOT-H.dwg, 18X24_OUTLOT-I.dwg, 18X24_OUTLOT-J.dwg, 18X24_OUTLOT-K.dwg, 18X24_OUTLOT-L.dwg, 18X24_OUTLOT-M.dwg, 18X24_OUTLOT-N.dwg, 18X24_OUTLOT-O.dwg, 18X24_OUTLOT-P.dwg, 18X24_OUTLOT-Q.dwg, 18X24_OUTLOT-R.dwg, 18X24_OUTLOT-S.dwg, 18X24_OUTLOT-T.dwg, 18X24_OUTLOT-U.dwg, 18X24_OUTLOT-V.dwg, 18X24_OUTLOT-W.dwg, 18X24_OUTLOT-X.dwg, 18X24_OUTLOT-Y.dwg, 18X24_OUTLOT-Z.dwg

**FOSTER PROPERTY SECOND AMENDED PDP
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 3**

DATE: 5/10/10 TIME: 11:32:48 AM DRAWING NAME: PDP.DWG
SERVER: FCSI DESIGNER: JDP PROJ MGR: RVU LAYOUT:
PATH: N:\FCB0295\CADD\CP\VDP

XREFS: 18024, VICINITY-MAP, EXTN, EXTO, PRTO, PRTO-MCKAY, EXMA, PRMA-TRACTB, EXPT-2, EXUT, EXSI, EXLS

GENERAL NOTES

- 1) THERE ARE NO VIEW CORRIDORS THAT AFFECT THIS SITE.
- 2) ACCESS TO TRACT C SHALL BE FROM ADJACENT UNPLATTED LAND IN THE FOSTER PDP THAT IS TO THE WEST OF TRACT C. ACCESS TO TRACT C MAY ALSO BE PERMITTED FROM THE ADJACENT OUTLOT B. AT TIME OF ODP AND PLAT APPROVAL OF TRACT C, THE ACCESS ARRANGEMENTS FOR TRACT C MAY BE RENEGOTIATED WITH THE CITY.
- 3) APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN CONSTITUTES A CONCEPT APPROVAL OF THE PLAN SUBJECT TO THE ABILITY OF THE CITY OF WESTMINSTER OR THE LAND OWNER TO PROVIDE NECESSARY SERVICES. DUE TO SERIOUS SHORT-RANGE AND LONG-RANGE LIMITATIONS ON THE RAW WATER SUPPLY, WATER TREATMENT CAPACITY AND SEWAGE TREATMENT CAPACITY OF THE CITY, DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN MAY NOT BE POSSIBLE. APPROVAL OF THIS PLAN IMPLIES NO COMMITMENT OF THE CITY OF WESTMINSTER TO PROVIDE SERVICES. THE CITY OF WESTMINSTER ADVISES AGAINST DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN WITHOUT A THOROUGH INVESTIGATION BY THE DEVELOPER OF THE AVAILABILITY OF WATER AND SEWER SERVICE AT THE TIME OF SUCH DEVELOPMENT.
- 4) OUTLOT B SHALL BE OWNED BY THE CURRENT OWNER OF THE FOSTER PROPERTY AND MAINTAINED BY LOWE'S, UNTIL SUCH TIME AS THESE DRAINAGE FACILITIES, TOGETHER WITH THE MAINTENANCE OBLIGATION, ARE TRANSFERRED TO AN EXISTING GENERAL IMPROVEMENT DISTRICT OR ONE TO BE CREATED BY THE CITY OF WESTMINSTER. THE CITY OF WESTMINSTER WILL EITHER TRANSFER THE OWNERSHIP AND MAINTENANCE OBLIGATION OF THE DRAINAGE FACILITIES TO AN EXISTING GENERAL IMPROVEMENT DISTRICT OR CREATE A NEW ONE TO ASSUME THOSE OBLIGATIONS, SUBJECT TO VOTER APPROVAL AND OTHER APPLICABLE REQUIREMENTS AS SET FORTH IN THE CITY OF WESTMINSTER CODE AND THE STATUTES OF THE STATE OF COLORADO.
- 5) THE SOUTHWEST TRIBUTARY AND REGIONAL POND IN OUTLOT B ARE SHOWN AS PRELIMINARY DESIGN. FINAL HYDRAULIC DESIGN OF THESE FACILITIES SHALL BE APPROVED BY THE CITY OF WESTMINSTER AND SIZING OF THE SOUTHWEST TRIBUTARY FROM HURON TO THE EAST SIDE OF ORCHARD PARKWAY, AS WELL AS FUTURE MODIFICATIONS TO THE POND, WILL NEED TO BE APPROVED BY URBAN DRAINAGE & FLOOD CONTROL DISTRICT PRIOR TO ACQUIRING A BUILDING PERMIT. THE FINAL DESIGN OF THE LANDSCAPING AND IRRIGATION ALONG THE EAST SIDE OF THE POND AND THE SOUTH SIDE OF THE SW TRIBUTARY WILL BE APPROVED SEPARATELY BY ODP AMENDMENT.
- 6) INTERNAL PEDESTRIAN AND VEHICULAR ACCESS BETWEEN LOTS 1, 2, 3, 4 AND TRACT A, AND OUTLOT B WILL BE ALLOWED AND SHOWN ON THE ODP FOR THOSE SITES.
- 7) LANDSCAPING WILL COMPLY WITH THE CITY OF WESTMINSTER LANDSCAPE REGULATIONS IN EFFECT AT THE TIME OF OFFICIAL DEVELOPMENT PLAN REVIEW.
- 8) SIGNS WILL COMPLY WITH THE CITY OF WESTMINSTER SIGN STANDARDS IN EFFECT AT THE TIME OF OFFICIAL DEVELOPMENT PLAN REVIEW. ANY VARIANCES FROM THE CITY SIGN STANDARDS WILL BE SHOWN ON THE ODP.
- 9) SLOPES SHALL NOT EXCEED 4 TO 1
- 10) MAINTENANCE OF TRACT C SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT C.

DEVELOPMENT TIMING:

THE REVISED DETENTION POND IS TO BE COMPLETED WITHIN THREE YEARS OF THE APPROVAL DATE OF THIS AMENDED PDP. SUBSEQUENT PHASES ARE SUBJECT TO MARKET DEMAND.

ZONING/CURRENT USES			
	<u>ZONING</u>	<u>USE</u>	<u>CLUP DESIGNATION</u>
SUBJECT PROPERTY	FOSTER PROPERTY P.U.D. (Z99-4)	COMMERCIAL/ RETAIL/ PUD/ DETENTION POND/ AGRICULTURE	DISTRICT CENTER
NORTH:	NORTH HURON P.U.D.	COMMERCIAL/ RETAIL/ MIXED-USE	DISTRICT CENTER
SOUTH:	INTERCHANGE BUSINESS PARK P.U.D.	AGRICULTURE / VACANT	DISTRICT CENTER
EAST:	CITY OF THORNTON	I-25	NA
WEST:	LEXINGTON SUBDIVISION - P.U.D. WITH RESIDENTIAL USES	RESIDENTIAL	RESIDENTIAL DEVELOPMENT
WEST:	NA	AGRICULTURE / VACANT	CITY OF BROOMFIELD

LAND USE DESIGNATION:
THE WESTMINSTER COMPREHENSIVE LAND USE PLAN DESIGNATES THIS PDP AS WITHIN THE DESIGNATION OF THE DISTRICT CENTER.

LAND USE PERFORMANCE STANDARD:

LAND USE PERFORMANCE STANDARD: THE LAND USE LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE LOCATION AND NUMBER OF SUCH ESTABLISHMENTS AND THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLAN.

SITE DEVELOPMENT CRITERIA:

1. THE OFFICIAL DEVELOPMENT PLAN (ODP) SHALL MEET OR EXCEED THE CITY'S COMMERCIAL DESIGN GUIDELINES AND LANDSCAPE REGULATIONS.
2. TRACT C SHALL NOT BE DEVELOPED AS A SEPARATE LOT. THE AREA OF TRACT C SHALL BE INCORPORATED INTO ADJACENT LAND AT THE TIME OF ODP AND PLAT APPROVAL.
3. OUTLOT B SHALL BE USED AS A DETENTION POND AND OPEN SPACE FOR GENERAL DRAINAGE PURPOSES. STRUCTURES THAT RESTRICT FLOW OR INTERFERE WITH THE IMPOUNDMENT OF WATER, OTHER THAN THOSE APPROVED BY THE CITY, ARE NOT ALLOWED IN OUTLOT B.

RECOVERY COSTS

MCKAY LAKE DAM IMPROVEMENTS: WAIVED
MCKAY LAKE DRAINAGEWAY (OUTFALL SYSTEMS MASTER PLAN IMPROVEMENTS FROM HURON TO BIG DRY CREEK): WAIVED
SANITARY SEWER OUTFALL – CITY PROJECT WW87-1: \$392.85/ACRE
WATER MAIN – CITY PROJECT W87-1: \$29.73/L.F. ALONG HURON STREET
HURON STREET IMPROVEMENTS, 128TH TO 140TH AVENUE: \$418.00/L.F. PLUS ACCRUED INTEREST AT THE RATE ESTABLISHED ANNUALLY BY THE CITY COUNCIL
POSSIBLE FUTURE TRAFFIC SIGNAL AT MAIN ENTRY TO DEVELOPMENT – IN THE FUTURE IF THE CITY DETERMINES THE NEED FOR A SIGNAL AT THIS LOCATION, 50% OF THE COST OF THE SIGNAL DESIGN AND INSTALLATION SHALL BE THE RESPONSIBILITY OF THIS DEVELOPMENT

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL ALSO BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE ODP.

SETBACKS TABLE

<u>LOCATION</u>	<u>BUILDING</u>	<u>PARKING</u>
INTERSTATE 25	50 FT.	25 FT.
136TH AVENUE	*40 FT.	25 FT.
ORCHARD PARKWAY	*40 FT.	25 FT.
NORTH ADJACENT TO TRACT 'B'	50 FT.	25 FT.
MAIN INTERNAL ACCESS DRIVE	20 FT.	20 FT.

* SETBACK TO BE 50' IF PARKING IS ADJACENT TO THE RIGHT OF WAY.

SITE DATA:

LOT	ZONING/PROPOSED USES	LAND AREA (ACRES)	LAND AREA (SF)	LANDSCAPE AREA (SF)	BUILDING AREA (GROSS SF)	MAX.*** BLDG. HEIGHT	DRIVE / PARKING AREA (SF)	BICYCLE PARKING REQUIRED	BICYCLE PARKING PROVIDED	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
	COMMERCIAL DEVELOPMENT	20.10 +/-	875,556	MIN. 20%	TBD	25'-0"	TBD	TBD	TBD	TBD	TBD
*LOT 1	COMMERCIAL/RETAIL	3.61 +/-	157,252	MIN. 20%	TBD	25'-0"	TBD	TBD	TBD	TBD	TBD
*LOT 2	COMMERCIAL/RETAIL	1.11 +/-	48,248	MIN. 20%	TBD	25'-0"	TBD	TBD	TBD	TBD	TBD
*LOT 3	COMMERCIAL/RETAIL	1.15 +/-	47,916	MIN. 20%	TBD	25'-0"	TBD	TBD	TBD	TBD	TBD
*LOT 4	PUD/HOME IMPROVEMENT STORE	14.17 +/-	617,245	MIN. 20%	138,134 SF	55'-6"	TBD	6	6	849**	578
TRACT 'A'	PUD/ART PLAZA	0.07 +/-	4,792	MIN. 20%	NA	NA	NA	NA	NA	NA	NA
OUTLOT 'B'	PUD/DETENTION POND	15.65 +/-	681,729	MIN. 20%	NA	NA	NA	NA	NA	NA	NA
TRACT 'C'	AGRICULTURE	2.65 +/-	115,439	NA	NA	NA	NA	NA	NA	NA	NA

- * LOTS 1-3 ARE SUBJECT TO FUTURE ODP SUBMITTALS
- ** PARKING STUDY HAS BEEN PROVIDED BY KITTELESON AND ASSOCIATES WAS USED TO CONFIRM A LOWER PARKING DEMAND THAN THE CITY REQUIRES.
- *** THE MAXIMUM BUILDING HEIGHTS OF 55'-6" IS ACCEPTABLE FOR THE LOWE'S BUILDING, BUT THE MAXIMUM OF THE OTHER BUILDINGS IS 25'-0". ADDITIONAL HEIGHT MAY BE GRANTED BY THE CITY WITH THE ODP REVIEW OF THE OTHER LOTS. ADDITIONAL SETBACK MAY BE REQUIRED FOR REDUCED SETBACKS.

**FOSTER PROPERTY
SECOND AMENDED PDP
COVER SHEET**

NOTE
BEYOND ENGINEERING

FORT COLLINS, CO 80526
WWW.NOLTE.COM
1801 SHARP POINT DRIVE, SUITE A
970.221.2400 TEL 970.221.2415 FAX

2 of 3

SCALE
VERTICAL: 1" = N/A
HORIZONTAL: 1" = N/A

JOB NUMBER
FCB0295

PREPARED FOR: THE CITY OF WESTMINSTER

DATE SUBMITTED: 5/10/2010

DATE	ISSUE	LAL	RESUBMIT PER	REDLINES
03.09.10				
05.10.10				

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

CAUTION

FOSTER PROPERTY SECOND AMENDED PDP
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 3

DATE: 5/10/10 TIME: 11:26:35 AM DRAWING NAME: PDP.DWG
SERVER: FCSI DESIGNER: JDP PROJ. MGR: RVU LAYOUT:
PATH: N:\FCB0295\CADD\CP\PDP

XREFS: 18X24_VICINITY-MAP_exptn_bropn_EXTO_PRTD_PRTD-MCKAY_EXMA_PRMA-TractB_exptn-2_EXUT_exsi_EXLS

W 1/4 COR SEC 22
FOUND 3 1/4"
ALUMINUM CAP L.S.
25645 2007

CENTER COR
SEC 22
FOUND 2 3/8" PIPE
W/ 3 1/4" ALUMINUM
CAP L.S. 25937 1989

LEGEND

- 1 FOUND #5 REBAR W/ ORANGE PLASTIC CAP L.S. 26286
- 2 FOUND #5 REBAR W/ 3 1/4" ALUMINUM CAP L.S. 36580
- SET #5 REBAR W/ RED PLASTIC CAP L.S. 31159
- ⊕ FOUND SECTION CORNER AS DESCRIBED

ADJACENT ZONING TO THE WEST LEXINGTON SUBDIVISION - P.U.D. WITH RESIDENTIAL USES RESIDENTIAL DEVELOPMENT CITY OF BROOMFIELD AGRICULTURAL / VACANT

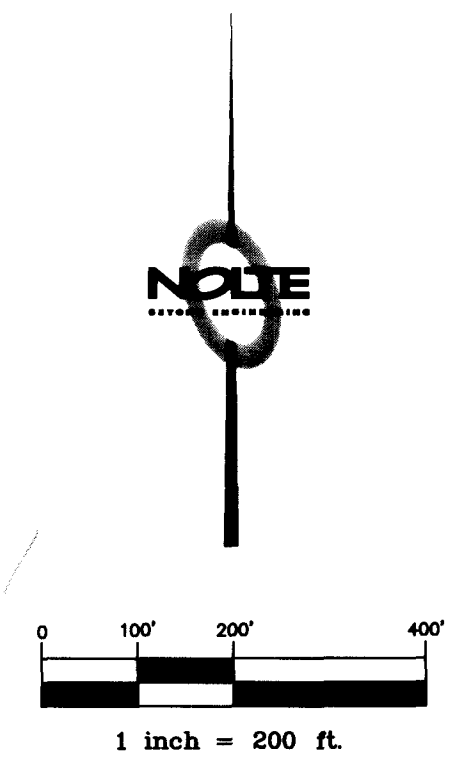
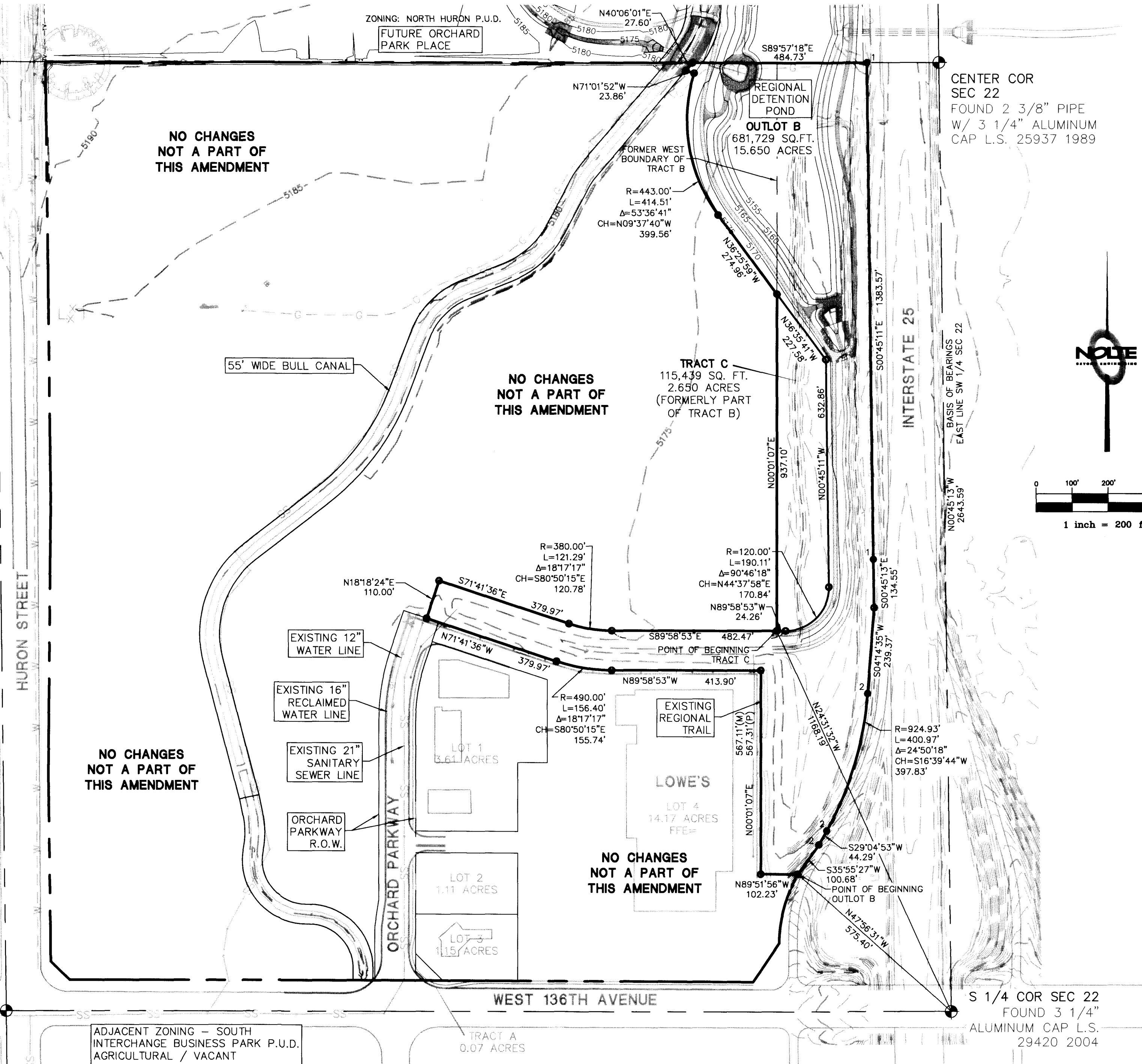
NO CHANGES NOT A PART OF THIS AMENDMENT

NO CHANGES NOT A PART OF THIS AMENDMENT

NO CHANGES NOT A PART OF THIS AMENDMENT

SW COR SEC 22
FOUND 3 1/4"
ALUMINUM CAP L.S.
25645 2007 IN MONUMENT BOX

ADJACENT ZONING - SOUTH INTERCHANGE BUSINESS PARK P.U.D. AGRICULTURAL / VACANT



DATE	ISSUE	LAL RESUBMIT PER REVISIONS	M.C.W. OWNER INFO
03.09.10			
05.10.10			

CAUTION
The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

**FOSTER PROPERTY
SECOND AMENDED PDP
SITE PLAN**

PREPARED FOR: THE CITY OF WESTMINSTER DATE SUBMITTED: 5/10/2010

NOLTE
BEYOND ENGINEERING

1801 SHARP POINT DRIVE, SUITE A
970.221.2400 TEL. 970.221.2415 FAX

FORT COLLINS, CO 80525
WWW.NOLTE.COM

3 of 3

SCALE
VERTICAL: 1"= N/A
HORIZONTAL: 1"= 200'

JOB NUMBER
FCB0295

4TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR
FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 1 OF 9

LEGAL DESCRIPTION

SEE PROPERTY LEGAL DESCRIPTIONS AND SURVEY EXHIBITS ON THE FOLLOWING SHEETS:

- SHEET 5: PROPERTY LEGAL EXHIBIT
- SHEET 6: PROPERTY LEGAL DESCRIPTION
- SHEET 7: PLANNING AREA EXHIBIT
- SHEET 8: PLANNING AREA LEGAL DESCRIPTION 1 OF 2
- SHEET 9: PLANNING AREA LEGAL DESCRIPTION 2 OF 2

PURPOSE OF AMENDMENT

FOSTER FARMS IS A DEVELOPMENT LOCATED IN THE CITY OF WESTMINSTER BOUNDED BY THE NORTH HURON P.U.D. TO THE NORTH, E. 136TH AVENUE TO THE SOUTH, I-25 TO THE EAST, AND HURON STREET TO THE WEST. THE DEVELOPMENT IS BISECTED BY ORCHARD PARKWAY WHICH FINISHED CONSTRUCTION IN 2014. THE DEVELOPMENT CONSISTS OF APPROXIMATELY 85.5 ACRES OF REMAINING AREA TO BE DEVELOPED. AN EXISTING COMMERCIAL AREA CONSISTING OF A LOWE'S ANCHOR BUILDING AND MISCELLANEOUS COMMERCIAL OUTPARCELS EXISTS SOUTH AND EAST OF THE DEVELOPABLE AREA. THE PROPOSED PDP AMENDMENT IS PRESENTED TO REDEFINE THE ALLOWABLE USES WITHIN THE REMAINING DEVELOPABLE ACREAGE.

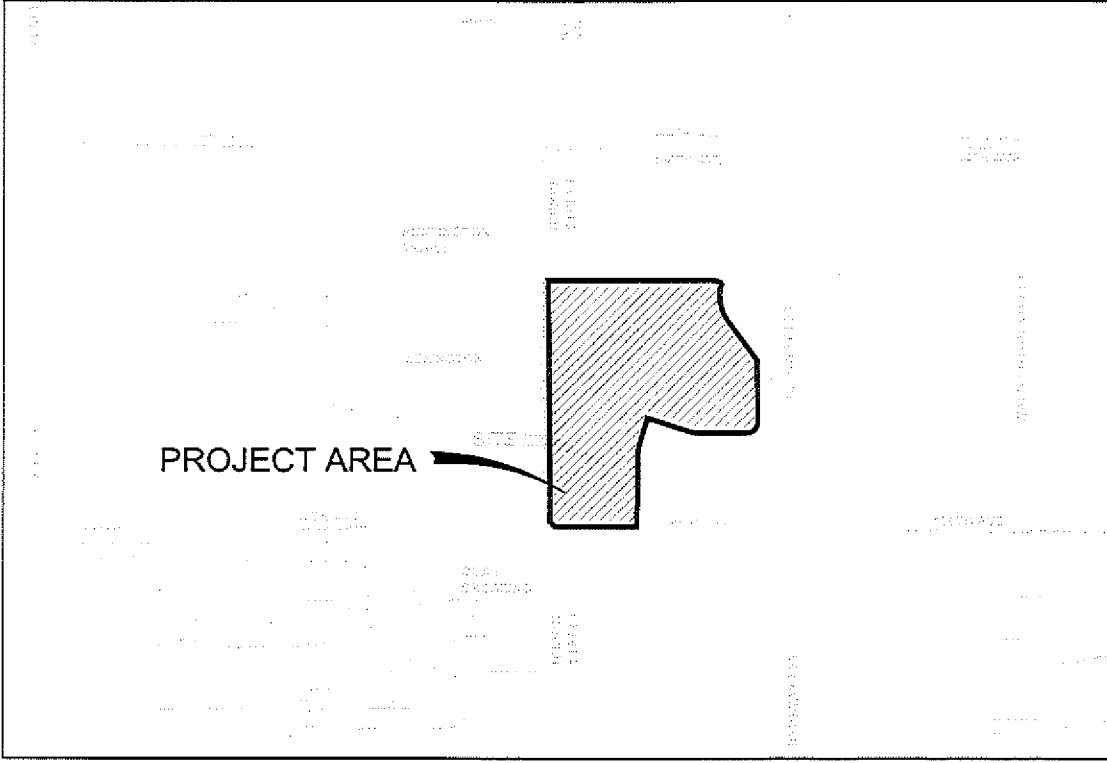
FULL FORCE & EFFECT

ALL PROVISIONS OF THE ORIGINAL PDP, RECORDED AT RECEPTION NO. C0631797, AND SUBSEQUENT PDP AMENDMENTS SHALL REMAIN IN FULL FORCE AND EFFECT, EXCEPT AS OTHERWISE NOTED HEREIN.

ZONING & LAND USE

CURRENT ZONING: PUD
CURRENT LAND USE: AGRICULTURE
PROPOSED ZONING & LAND USE: PUD
COMPREHENSIVE PLAN DESIGNATION: COMMERCIAL & OFFICE/R&D HIGH INTENSITY

VICINITY MAP



PROJECT TEAM:

DEVELOPER
 SCHUCK-CHAPMAN COMPANIES
 2 N. CASCADE AVE,
 STE. 1280
 COLORADO SPRINGS, CO 80903
 O: 719.633.4500

PROPERTY OWNER
 136TH & HURON, LLC
 BY GROWTH UNLIMITED, LLC
 5450 TIRRAMNA COURT
 FT. COLLINS, CO 80524
 P: 719.640.3439

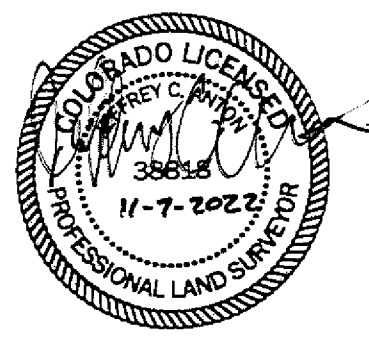
CONSULTANTS
 LANDSCAPE ARCHITECT: CONSILIUM DESIGN
 (303) 224-9520
 2755 S LOCUST STREET, SUITE #236,
 DENVER, CO 80222

CIVIL ENGINEER: CORE CONSULTANTS, INC.
 P: (303) 730-5988
 3473 S BROADWAY
 ENGLEWOOD, CO 80113

SURVEYOR'S CERTIFICATE

I, JEFFREY C. ANTON, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE LEGAL DESCRIPTIONS ON SHEETS 6,8, AND 9 HAVE BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PDP PROPERTY BOUNDARY.

11/07/2022 DATE PLS #38818 REGISTERED LAND SURVEYOR & NO.



I, Cindee Elizabeth Wood AS MANAGER OF GROWTH UNLIMITED, LLC A COLORADO LIMITED LIABILITY COMPANY THE MANAGER OF 136TH & HURON, LLC A COLORADO LIMITED LIABILITY COMPANY IN THE STATE OF COLORADO, PROPERTY OWNER, DO APPROVE THIS PDP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER.

THIS 9 DAY OF November, 2022

Cindee Elizabeth Wood SIGNATURE **MANAGER** TITLE

I, E. Suzanne Mowery AS MANAGER OF FOSTER FAMILY, LLC A COLORADO LIMITED LIABILITY COMPANY THE MANAGER OF 136TH & HURON, LLC A COLORADO LIMITED LIABILITY COMPANY IN THE STATE OF COLORADO, THE PROPERTY OWNER, DO APPROVE THIS PDP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER

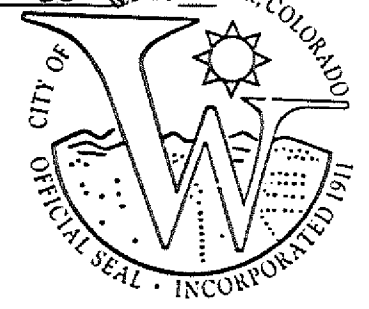
THIS 21 DAY OF November, 2022.

E. Suzanne Mowery SIGNATURE **MANAGER** TITLE

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
 THIS 5 DAY OF December, 2022

James Bowd CHAIRMAN

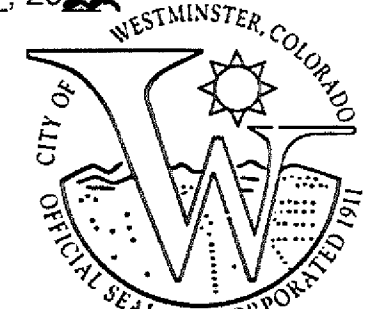
Abby Jell ATTEST CITY CLERK



ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
 THIS 12th DAY OF December, 2022

Yang McNally MAYOR

Abby Jell ATTEST CITY CLERK



CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____
 ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20____, AT _____ O'CLOCK ____M.

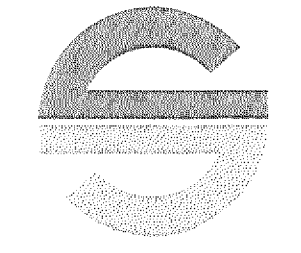
ADAMS COUNTY CLERK AND RECORDER

BY: DEPUTY CLERK

CASE #PLN22-0013

SHEET INDEX

- SHEET 1 OF 9 - COVER
- SHEET 2 OF 9 - NOTES
- SHEET 3 OF 9 - NOTES
- SHEET 4 OF 9 - SITE PLAN
- SHEET 5 OF 9 - PROPERTY LEGAL EXHIBIT
- SHEET 6 OF 9 - PROPERTY LEGAL DESCRIPTION
- SHEET 7 OF 9 - PLANNING AREA EXHIBIT
- SHEET 8 OF 9 - PLANNING AREA LEGAL DESCRIPTION 1 OF 2
- SHEET 9 OF 9 - PLANNING AREA LEGAL DESCRIPTION 2 OF 2



Consilium Design
 LAND PLANNING AND
 LANDSCAPE ARCHITECTURE
 2755 SOUTH LOCUST ST,
 SUITE 236
 DENVER, CO 80222
 TEL 303.224.9520
 FAX 303.224.9524
 www.consiliumdesign.com

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DATE: OCTOBER 28TH, 2022

FOSTER FARM
 SCHUCK-CHAPMAN COMPANIES
 4TH AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS	
Date	Description
6/04/2021	PRE-APP PDP SET
2/18/2022	1ST PDP SET
5/19/2022	2ND PDP SET
8/15/2022	3RD PDP SET
10/28/2022	FINAL PDP SET

1 OF 9
 COVER

PROJECT NOTES

DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S PDP OR LATEST PDP AMENDMENT IS MORE THAN FIVE (5) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE PDP OR AMENDED PDP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS: 2022-2032, SEE PHASING PLAN ON SHEET 3.

PERMITTED USES

PLANNING AREA 1:

PRIMARY: RETAIL STORES, EATING ESTABLISHMENTS, BANKS, SUPERMARKETS, BUSINESS AND PROFESSIONAL OFFICES, AND PERSONAL BUSINESS SERVICES.
SECONDARY: AUTO-ORIENTED USES¹, STAND-ALONE USES WITH VEHICLE DRIVE-THROUGHS, HOTEL, AND CHILD CARE FACILITIES.

PLANNING AREAS 2, 3, AND 4:

PRIMARY: PROFESSIONAL OFFICES, BANKING, RESEARCH AND DEVELOPMENT LABS, MEDICAL FACILITIES².
SECONDARY: HOTEL, MANUFACTURING^a, WAREHOUSE^a, PRODUCTION^a, SUPPORT COMMERCIAL^b INCLUDING EATING ESTABLISHMENTS, PHARMACIES, PERSONAL BUSINESS SERVICES, OFFICE SUPPLY, REHABILITATION AND SKILLED NURSING MEDICAL FACILITIES³.

PROHIBITED USES

THE FOLLOWING USES SHALL BE PROHIBITED: PAWN SHOPS, NEW AND USED CAR SALES, MASSAGE PARLORS, TATTOO PARLORS, OFF-TRACK BETTING, BILLIARD PARLORS, THRIFT STORE, AUCTION HOUSES, MINI-STORAGE FACILITIES, AND STAND ALONE GUN SHOPS.

ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

DEFINITIONS:

¹ AUTO-ORIENTED USES: A COMMERCIAL USE THAT INCLUDES AUTOMOTIVE REPAIR, AMBULANCE SERVICES, AUTOMOTIVE SERVICE STATION, USES WITH DRIVE-THROUGH LANES, AUTOMOTIVE WASH, FUEL SALES AND CONVENIENCE STORE, PARCEL DELIVERY SERVICE.

² MEDICAL FACILITY: A FACILITY PROVIDING ONE OR ANY COMBINATION OF EMPLOYMENT-GENERATING MEDICAL USES. INCLUDES HOSPITALS, MEDICAL OFFICE BUILDINGS, CLINICS, AMBULATORY SURGICAL CENTERS, AND MEDICAL LABORATORY DIAGNOSTIC SERVICES FOR INDIVIDUALS EXPERIENCING MEDICAL NEED, AS DETERMINED AND LICENSED AND/OR CERTIFIED BY THE STATE OF COLORADO.

³ REHABILITATION AND SKILLED NURSING MEDICAL FACILITY: REHABILITATION AND SKILLED NURSING MEDICAL FACILITY PROVIDING PERSONALIZED MEDICAL AND/OR COUNSELING SERVICES TO PEOPLE RECOVERING FROM DISABILITIES CAUSED BY INJURIES, ILLNESS, SURGERY, OR ADDICTION. FACILITIES PROVIDING ONE OR ANY COMBINATION OF SKILLED NURSING, AND BEHAVIOR HEALTH. THE FACILITY HAS FULL-TIME ON-SITE MEDICAL AND/OR COUNSELING PROFESSIONALS PROVIDING TEMPORARY/TRANSITIONAL MEDICAL, MENTAL HEALTH, AND/OR ADDICTION CARE AND TREATMENT PROGRAMS FOR IN-PATIENT AND OUT-PATIENT SERVICES TO PATIENTS WHO WILL ULTIMATELY LEAVE THE FACILITY AND TRANSITION TO A PERMANENT RESIDENTIAL LIVING AND/OR CARE SITUATION. OVERNIGHT STAYS SHALL NOT EXCEED A MAXIMUM TIME PERIOD OF 100 DAYS.

NOTES:

^a MANUFACTURING, WAREHOUSE, AND/OR PRODUCTION LIMITED TO 10% OF GFA.

^b SUPPORT COMMERCIAL LIMITED TO MAXIMUM 10% OF GFA OR 15,000 SQ FT, WHICHEVER IS LESS.

4TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 9

LAND USE TABLE

SUB AREA	LAND USE	LAND AREA (ACRES)	LAND AREA (S.F.)	LANDSCAPE AREA (S.F.)	% OF PROPERTY	FAR
PLANNING AREA 1	RETAIL COMMERCIAL	23.251	1,012,834.0	MIN 20%	26.0%	MAXIMUM 0.35
PLANNING AREA 2	OFFICE/R&D HIGH INTENSITY	29.604	1,289,541.0	MIN 20%	33.1%	MINIMUM 0.3 MAXIMUM 2.0
PLANNING AREA 3	OFFICE/R&D HIGH INTENSITY	28.069	1,222,704.0	MIN 20%	31.4%	MINIMUM 0.3 MAXIMUM 2.0
PLANNING AREA 4	OFFICE/R&D HIGH INTENSITY	8.489	369,768.0	MIN 20%	9.5%	MINIMUM 0.3 MAXIMUM 2.0
	TOTAL	89.413	3,894,847.0	MIN 20%	100.0%	

SETBACKS TABLE

LOCATION	BUILDING	PARKING
INTERSTATE 25	50 FT.	25 FT.
136TH AVENUE	*40 FT.	25 FT.
ORCHARD PARKWAY	*40 FT.	25 FT.
HURON ST	50 FT.	25 FT.
MAIN INTERNAL ACCESS DRIVE	20 FT.	20 FT.
NORTH PROPERTY LINE	20 FT	20 FT
EXISTING ABANDONED WELL	200 FT.	0 FT.

* **SETBACK TO BE 50 FT. IF PARKING IS ADJACENT TO THE RIGHT OF WAY.**

SERVING FACILITIES

PUBLIC RECREATION AREAS	BIG DRY CREEK PARK, THORN CREEK GOLF COURSE, QUAIL'S CROSSING PARK
PUBLIC OPEN SPACE	BIG DRY CREEK OPEN SPACE, MCKAY LAKE OPENSACE
DRAINAGEWAYS	MCKAY DRAINAGEWAY
MAJOR DETENTION	MCKAY DRAINAGEWAY REGIONAL POND WEST OF I-25
NEARBY SHOPPING AREAS	WESTMINSTER CROSSINGS, DENVER PREMIUM OUTLETS, SHOPS AT QUAIL CREEK, WALMART RETAIL CENTER
NEARBY FIRE STATIONS	WESTMINSTER FIRE STATION 6
NEARBY BUS STOPS	136TH AVE & ORCHARD PKWY #34644, #34643

CURRENT SURROUNDING ZONING/LAND USES

BOUNDRY	ZONING	COMP. PLAN DESIGNATION	LAND USE
NORTH:	PUD	OFFICE/ R&D HIGH INTENSITY	PUBLIC/QUASI-PUBLIC ; VACANT
SOUTH:	PUD	RETAIL COMMERCIAL	COMMERCIAL ; VACANT
EAST:	PUD	PUBLIC/ QUASI-PUBLIC, I-25	PUBLIC/ QUASI-PUBLIC
WEST:	PUD	R-1 AND R-2.5	RESIDENTIAL ESTATE



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DATE: OCTOBER 28TH, 2022

FOSTER FARM
 SCHUCK-CHAPMAN COMPANIES
 4TH AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS	Date	Description
	6/04/2021	PRE-APP PDP SET
	2/18/2022	1ST PDP SET
	5/19/2022	2ND PDP SET
	8/15/2022	3RD PDP SET
	10/28/2022	FINAL PDP SET

4TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR
FOSTER PROPERTY
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 3 OF 9

PROJECT NOTES

PUBLIC ART: (IF PUBLIC ART IS NOT PROVIDED ON SITE)

CASH-IN-LIEU (OR INSTALLATION ON SITE) OF BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF INDIVIDUAL OFFICIAL DEVELOPMENT PLAN(ODP). IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR 85.45 ACRES A FEE OF \$170,900 IS DUE TO THE CITY.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PDP USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

RECOVERY COSTS: RECOVERY AMOUNTS MAY CHANGE BASED ON ACTUAL DIMENSIONS. THE AMOUNTS BELOW ARE BASED ON A 85.45 ACRE PROJECT.

- A. CITY OF WESTMINSTER RECOVERIES/CASH-IN-LIEU AFFECTING FOSTER PROPERTY:
 - A.1. SANITARY SEWER OUTFALL - CITY PROJECT WW87-1: \$392.85/ACRE (MAXIMUM INTEREST HAS BEEN MET)
 - A.2. NORTH HURON UTILITIES WATER MAIN - CITY PROJECT W87-1: \$637.35/ACRE (MAXIMUM INTEREST HAS BEEN MET)
 - A.3. HURON STREET IMPROVEMENTS FROM 128TH TO 140TH - CITY ORDINANCE #3373: \$18,767.74/ACRE (MAXIMUM INTEREST HAS BEEN MET)
 - A.4. ORCHARD PARKWAY IMPROVEMENTS FROM 138TH AVENUE (NORTH PROPERTY LINE OF LOWES PROPERTY) TO 140TH AVENUE (NORTH PROPERTY LINE OF FOSTER PROPERTY): \$20,759.23/ACRE PLUS INTEREST ACCRUED, STARTING ON NOVEMBER 27, 2017, UP TO THE DATE OF ACTUAL PAYMENT, MAXIMUM INTEREST DUE SHALL NOT EXCEED 50% OF PRINCIPAL.
 - A.5. FOSTER PROPERTY DRAINAGE IMPROVEMENT AGREEMENT DATED MAY 23, 2005, ABSOLVING THE FOSTER PROPERTY FROM RECOVERIES ASSOCIATED WITH MCKAY LAKE DAM IMPROVEMENTS AND MCKAY LAKE DRAINAGEWAY AND REGIONAL DETENTION POND IMPROVEMENTS.

STANDARD STATEMENTS

- A. APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN CONSTITUTES A CONCEPT APPROVAL OF THE PLAN SUBJECT TO THE ABILITY OF THE CITY OF WESTMINSTER OR THE LAND OWNER TO PROVIDE NECESSARY SERVICES. DUE TO SERIOUS SHORT-RANGE AND LONG-RANGE LIMITATIONS ON THE RAW WATER SUPPLY, WATER TREATMENT CAPACITY AND SEWAGE TREATMENT CAPACITY OF THE CITY, DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN MAY NOT BE POSSIBLE. APPROVAL OF THIS PLAN IMPLIES NO COMMITMENT OF THE CITY OF WESTMINSTER TO PROVIDE SERVICES. THE CITY OF WESTMINSTER ADVISES AGAINST DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN WITHOUT A THOROUGH INVESTIGATION BY THE DEVELOPER OF THE AVAILABILITY OF WATER AND SEWER SERVICE AT THE TIME OF SUCH DEVELOPMENT.
- B. THE LAND USES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL. WITH SAID REVIEW TO INCLUDE THE LOCATION AND NUMBER OF SUCH ESTABLISHMENTS AND THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- C. THE DENSITIES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE CONSIDERED AS A MAXIMUM AND SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- D. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. IF YOU HAVE ANY QUESTIONS REGARDING THE CITY'S USE TAX REQUIREMENTS, PLEASE CONTACT THE CITY TAX AUDITOR.
- E. UTILITY EASEMENTS: THE DESIGN OF THE PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.

GENERAL DESIGN STANDARDS

A CONSISTENT ARCHITECTURAL PHILOSOPHY WILL BE EMPLOYED IN DESIGN AND PLANNING OF THIS COMMERCIAL CENTER. BUILDING MASSING, MATERIALS AND DETAILS SHALL BE DESIGNED TO IMPART A HIGH QUALITY IMAGE TO THIS SITE LOCATION AT THE NORTHERN ENTRANCE TO THE CITY OF WESTMINSTER. DESIGN GUIDELINES WILL BE DEVELOPED AS PART OF THE OFFICIAL DEVELOPMENT PLAN APPROVAL.

BUILDING ELEMENTS:

PER PLANNING AREA A SINGLE BUILDING OR COMPLEX MUST BE STYLISTICALLY CONSISTENT. ARCHITECTURAL STYLE, MATERIALS, COLOR, AND FORM SHALL WORK TOGETHER TO EXPRESS A SINGLE THEME.

FRANCHISE ARCHITECTURE SHALL TAKE INTO CONSIDERATION THE CHARACTER OF THE SURROUNDING ARCHITECTURE AND STREETScape WHERE APPROPRIATE. APPLICABLE LIGHTING, COLORS AND MATERIALS THAT BLEND WITH THE AREAS AESTHETIC SHALL BE USED.

EXTERIOR BUILDING DESIGN, INCLUDING ROOF STYLE, MATERIAL AND COLORS, ARCHITECTURAL FORMS AND DETAILING, SHALL BE CONSISTENT AMONG ALL BUILDINGS IN A COMPLEX TO ACHIEVE DESIGN HARMONY AND CONTINUITY.

THE USE OF MASONRY AS A PRIMARY MATERIAL IS HIGHLY ENCOURAGED. BUILDING COLORS ARE TO BE INCLUDED AS A PART OF THE OFFICIAL DEVELOPMENT PLAN. COLORS SHOULD GENERALLY BE IN HARMONY WITH THE SURROUNDING ENVIRONMENT.

PAD BUILDINGS SHALL MATCH MATERIALS OF MAIN BUILDINGS, CARRYING OUT THE BUILDING DESIGN THEME AND OTHER THEMES OF THE CENTER.

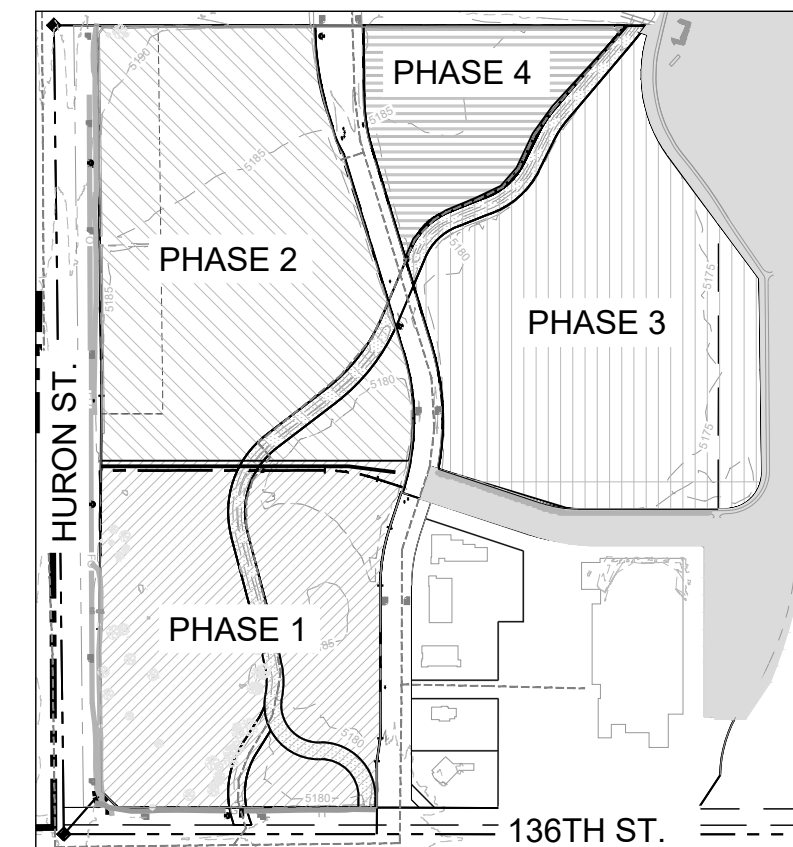
"360 DEGREE" ARCHITECTURE IS REQUIRED. ALL SIDES OF ALL BUILDINGS ARE TO BE TREATED WITH THE SAME DEGREE OF ARCHITECTURAL STYLE AND DETAIL AS THE FRONT ELEVATION OF THE BUILDING. ITEMS TO BE CONSIDERED INCLUDE CONSISTENT USE OF MATERIALS, COLORS, ARCADES, ENTRANCES, AND DETAILING.

IF THE BACKSIDE OF PAD SITE BUILDINGS FACES THE STREET, THAT SIDE OF THE BUILDINGS SHOULD READ LIKE THE FRONT. ONLY "ACTIVE" BUILDING ELEVATIONS (NO BLANK WALLS OR LOADING AREAS) SHOULD FACE PUBLIC STREETS.

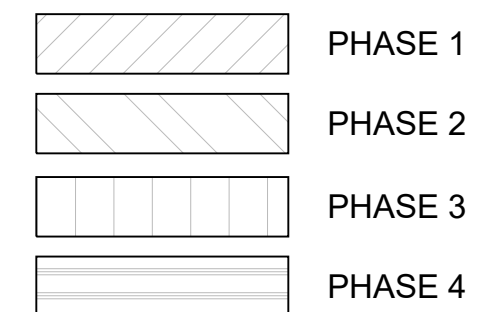
LONG LINEAR LOOKING BUILDINGS SHOULD BE AVOIDED. BUILDINGS SHOULD PROVIDE VARYING BUILDING HEIGHTS, CHANGES IN WALL PLANES AND SPATIAL VOLUMES, AS WELL AS A VARIETY OF WINDOW AREAS, ARCADES, MATERIALS AND ROOF ELEMENTS. IN SOME INSTANCES SEPARATION OF ONE BUILDING INTO TWO BUILDINGS MAY BE ENCOURAGED.

ARCHITECTURAL LIGHTING INCLUDING ORNAMENTAL ARMATURES, FIXTURES, ETC. RELATING TO THE THEME OF THE DEVELOPMENT WILL BE REQUIRED.

SIGNAGE, FENCING, AND LANDSCAPING WILL COMPLIMENT SURROUNDING AREAS AND ARCHITECTURE WHILE APPROPRIATE FOR AN OFFICE AND RESEARCH & DEVELOPMENT PARK. MORE INFORMATION TO BE PROVIDED DURING THE ODP SUBMITTAL PROCESS.



PHASING PLAN



NOTE 1: PHASING ORDER IS SUBJECT TO CHANGE
 NOTE 2: IMPROVEMENTS IN THE ADJACENT ROW OR DRAINAGE TRACT WILL BE COMPLETED AT THE TIME OF EACH PHASE. FURTHER PHASING DETAILS WILL BE ESTABLISHED IN THE ODP.



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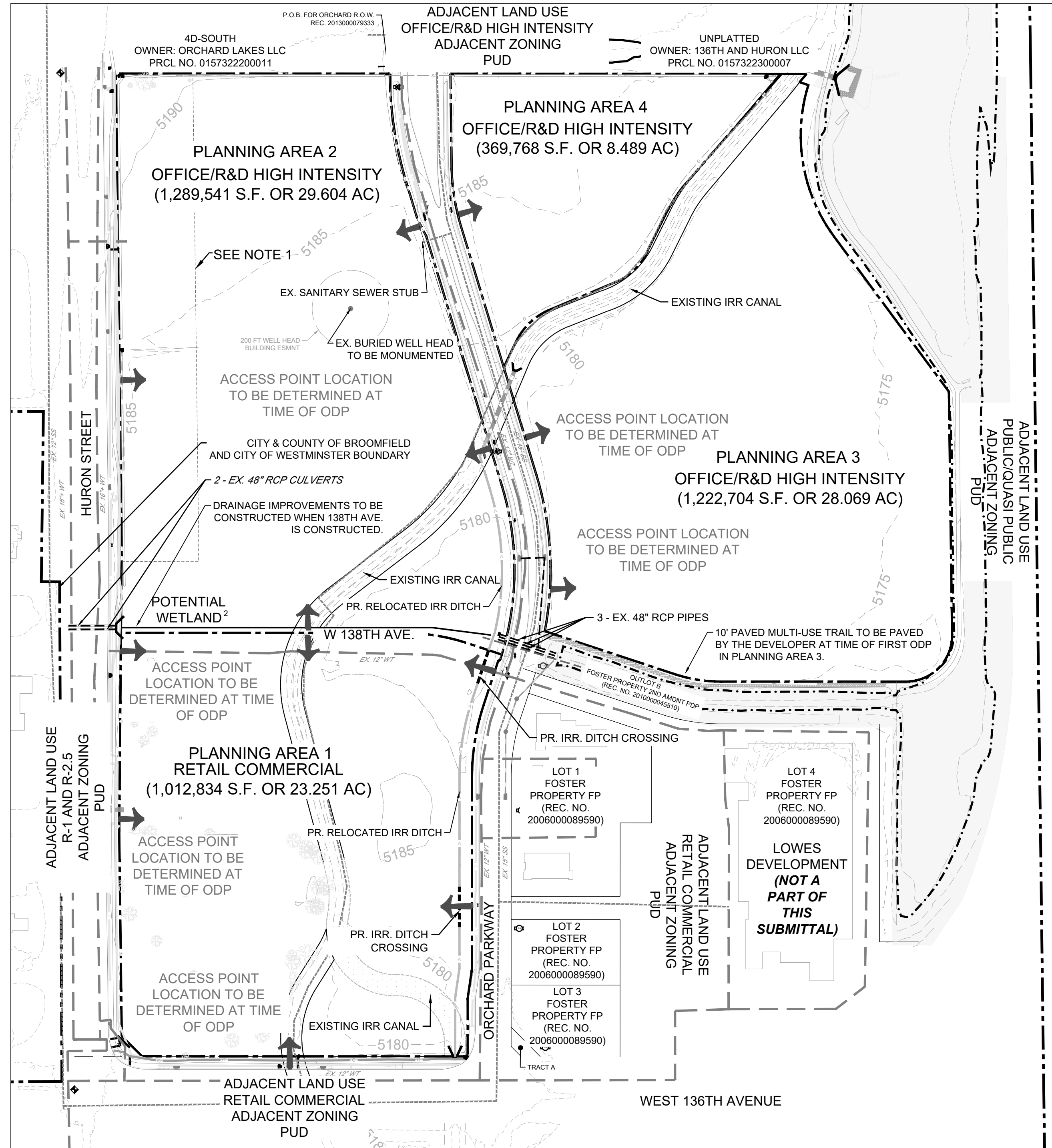
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DATE: OCTOBER 28TH, 2022

FOSTER FARM
 SCHUCK-CHAPMAN COMPANIES
 4TH AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS	Date	Description
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 A PLANNED UNIT DEVELOPMENT
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 SHEET 4 OF 9



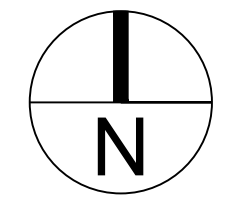
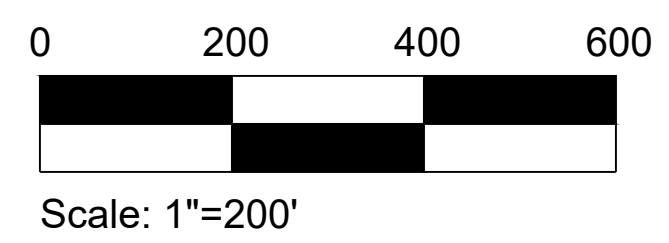
NOTES:

- TO BE DETERMINED AT TIME OF ODP WITH THE FOLLOWING EXCEPTIONS; ALL BUILDINGS SHALL BE SET BACK 50 FT. FROM THE ULTIMATE RIGHT-OF-WAY (R.O.W.) OF HURON ST.. ALL PARKING LOTS SHALL BE SET BACK 25 FT. FROM THE ULTIMATE R.O.W. OF HURON ST.. A SUB-AREA OF THE DEVELOPMENT SHALL BE CREATED ALONG THE EAST SIDE OF HURON ST. BEGINNING AT THE NORTH PROPERTY LINE OF THE FOSTER PROPERTY TO 1,270 FT. TO THE SOUTH, AND FOR A DEPTH OF 200 FT. EAST OF HURON ST.. IN THAT SUB-AREA, NO BUILDINGS SHALL BE PERMITTED TO BE HIGHER THAN 50 FT.. ADDITIONALLY IN THAT SUB-AREA, NO USES SHALL BE PERMITTED OTHER THAN THOSE PERMITTED IN THE "OFFICE" CATEGORY AS DEFINED IN THE WESTMINSTER COMPREHENSIVE LAND USE PLAN.
- POTENTIAL WETLAND AREA WILL BE VERIFIED AND ALL NECESSARY PAPERWORK WILL BE PROVIDED WITH THE ODP AND PHASE II DRAINAGE REPORT.

LEGEND

- PLANNING AREA BOUNDARY
- EXISTING SANITARY SEWER MAIN
- EXISTING STORM SEWER
- PROPOSED DITCH CROSSING
- EXISTING WATER MAIN
- EXISTING IRRIGATION CANAL
- PROPOSED IRRIGATION CANAL
- HEIGHT RESTRICTION SETBACK
- FLOODPLAIN ZONE LINE
- EXISTING WQ/DETENTION POND
- EXISTING FIRE HYDRANT
- ACCESS POINTS

PA	ACREAGE	USE
1	23.251	COMMERCIAL/RETAIL
2	29.604	OFFICE / R&D HIGH INTENSITY
3	28.069	OFFICE / R&D HIGH INTENSITY
4	8.489	OFFICE / R&D HIGH INTENSITY
TOTAL	89.413	



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FOSTER FARM
 SCHUCK-CHAPMAN COMPANIES
 4TH AMENDED PRELIMINARY DEVELOPMENT PLAN

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4TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
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SHEET 5 OF 9



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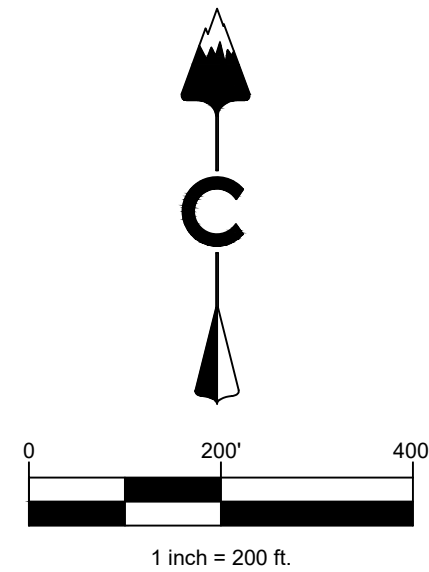
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DATE: OCTOBER 28TH, 2022

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
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POINT OF COMMENCEMENT
WEST QUARTER COR., SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP.
STAMPED "PLS 25645",
IN A RANGE BOX



BASIS OF BEARINGS

- BULL CANAL R.O.W.
BK. 3136, PG. 348
BASED ON CENTERLINE
OF DITCH IMPROVEMENTS
- BULL CANAL R.O.W.
REC. 20041001000978540
- VACATED BULL CANAL R.O.W.
REC. 20041001000978560

SOUTHWEST COR., SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP.
STAMPED "PLS 25645",
IN A RANGE BOX

CENTER QUARTER COR.,
SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP.
STAMPED "PLS 37955"

NORTH LINE,
SW1/4 SECTION 22

BOOK 498, PAGE 432

INTERSTATE 25
VARIABLE WIDTH PUBLIC R.O.W.

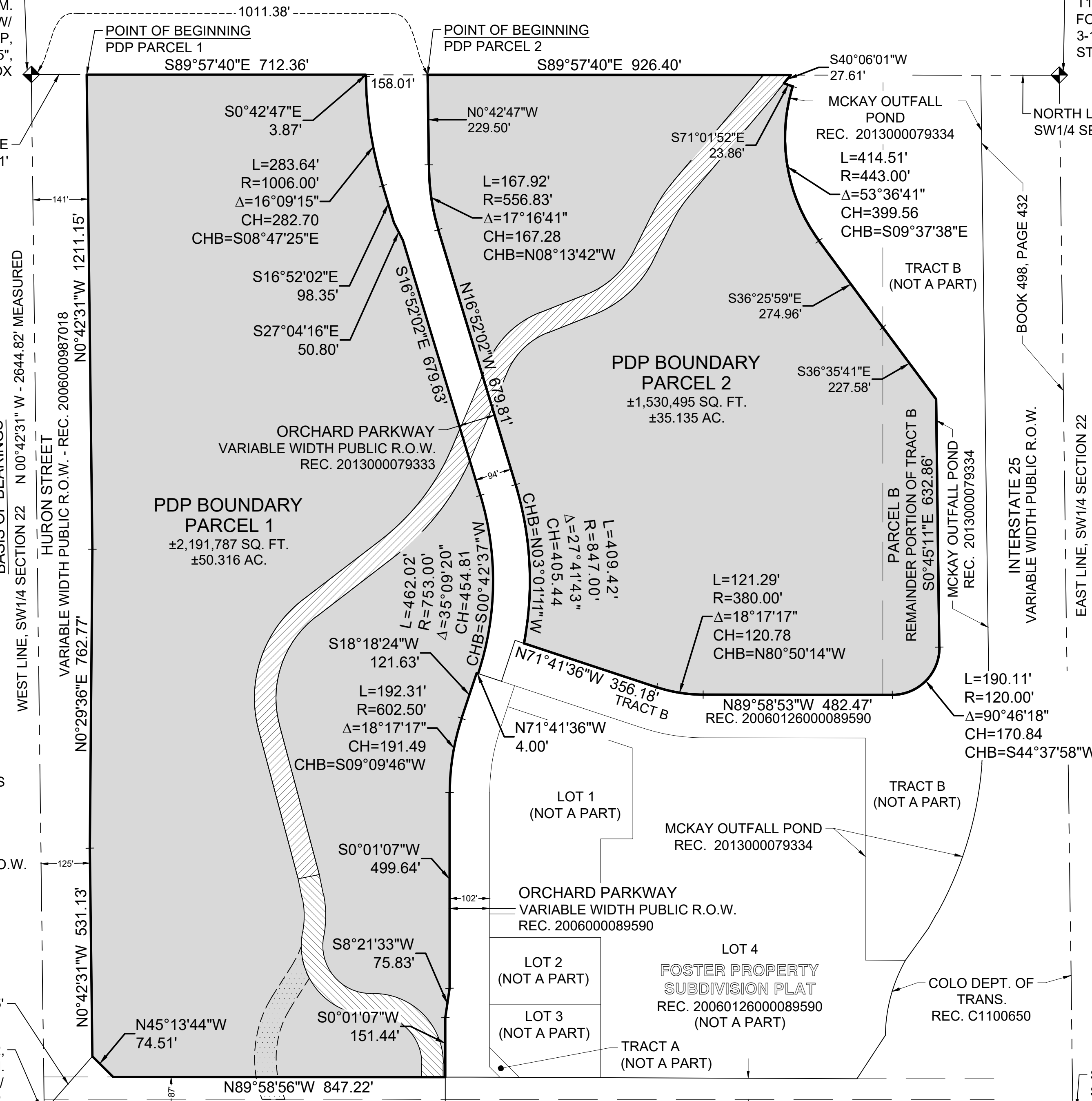
EAST LINE, SW1/4 SECTION 22

COLO DEPT. OF TRANS.
REC. C1100650

SOUTH QUARTER COR.,
SECTION 22
T1S, R68W, 6TH P.M.
FOUND #5 REBAR
W/ 3-1/4" DIA. ALUM. CAP.
STAMPED "PLS 29420"

SOUTH LINE, SW1/4 SECTION 22

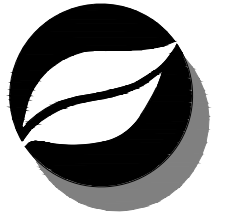
WEST 136TH AVENUE
VARIABLE WIDTH PUBLIC R.O.W.



4TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

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SHEET 6 OF 9



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DATE: OCTOBER 28TH, 2022

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
3RD AMENDED PRELIMINARY DEVELOPMENT PLAN

PDP BOUNDARY DESCRIPTION

2 PARCELS OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 1:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 141.01 FEET TO A POINT ON THE EAST LINE OF THE HURON STREET RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2006000987018, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND THE POINT OF BEGINNING;

THENCE S89°57'40" E, CONTINUING ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER CORNER OF SAID SECTION 22, A DISTANCE OF 712.36 FEET TO A POINT ON THE WEST LINE OF ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED AT RECEPTION NO. 2013000079333, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING TWELVE (12) COURSES:

1. S0°42'47" E, A DISTANCE OF 3.87 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1006.00 FEET, A CENTRAL ANGLE OF 16°09'15", AN ARC LENGTH OF 283.64 FEET, THE CHORD OF WHICH BEARS S 08°47'25" E, A DISTANCE OF 282.70;
3. S 16°52'02" E, A DISTANCE OF 98.35 FEET;
4. S 27°04'16" E, A DISTANCE OF 50.80 FEET;
5. S 16°52'02" E, A DISTANCE OF 679.63 FEET TO A POINT OF CURVATURE;
6. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 753.00 FEET, A CENTRAL ANGLE OF 35°09'20", AN ARC LENGTH OF 462.02 FEET, THE CHORD OF WHICH BEARS S 00°42'37" W, A DISTANCE OF 454.81 FEET;
7. N 71°41'36" W, A DISTANCE OF 4.00 FEET;
8. S 18°18'24" W, A DISTANCE OF 121.63 FEET TO A POINT OF CURVATURE;
9. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 602.50 FEET, A CENTRAL ANGLE OF 18°17'17" AND AN ARC LENGTH OF 192.31 FEET, THE CHORD OF WHICH BEARS S 09°09'46" W, A DISTANCE OF 191.49 FEET;
10. S 00°01'07" W, A DISTANCE OF 499.64 FEET;
11. S 08°21'33" W, A DISTANCE OF 75.83 FEET;
12. S 00°01'07" W, A DISTANCE OF 151.44 FEET TO A POINT ON THE NORTH LINE THE WEST 136TH AVENUE RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. C1100650, SAID ADAMS COUNTY RECORDS;

THENCE N 89°58'56" W, ALONG SAID NORTH LINE, A DISTANCE OF 847.22 FEET;

THENCE N 45°13'44" W, ALONG SAID NORTH LINE, A DISTANCE OF 74.51 FEET TO A POINT ON THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY, RECEPTION NO. 20060000987018, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY, THE FOLLOWING THREE (3) COURSES:

1. N 00° 42' 31" W, A DISTANCE OF 531.13 FEET;
2. N 00° 29' 36" E, A DISTANCE OF 762.77 FEET;
3. N 00° 42' 31" W, A DISTANCE OF 1211.15 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM, ANY PORTION OF THE BULL CANAL RIGHT-OF-WAY, AS DESCRIBED IN THOSE DEEDS RECORDED IN BOOK 3136 AT PAGE 348 AND AT RECEPTION NO. 20041001000978540, BUT INCLUDING THAT PORTION DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 20041001000978560, SAID ADAMS COUNTY RECORDS.

PARCEL 2:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 1011.38 FEET TO A POINT ON THE EAST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079333, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND THE POINT OF BEGINNING;

THENCE S89°57'40" E, CONTINUING ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 926.40 FEET, TO A POINT ON THE WEST LINE OF MCKAY OUTFALL POND, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079334, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST LINE OF SAID MCKAY OUTFALL POND, THE FOLLOWING TEN (10) COURSES:

1. S 40°06'01" W, A DISTANCE OF 27.61 FEET;
2. S 71°01'52" E, A DISTANCE OF 23.86 FEET TO A POINT OF NON-TANGENT CURVATURE;
3. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 443.00 FEET, A CENTRAL ANGLE OF 53°36'41", AN ARC LENGTH OF 414.51 FEET, THE CHORD OF WHICH BEARS S 09°37'38" E, A DISTANCE OF 399.56 FEET;
4. S 36°25'59" E, A DISTANCE OF 274.96 FEET;
5. S 36°35'41" E, A DISTANCE OF 227.58 FEET;
6. S 00°45'11" E, A DISTANCE OF 632.86 FEET TO A POINT OF CURVATURE;
7. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 120.00 FEET, A CENTRAL ANGLE OF 90°46'18" AN ARC LENGTH OF 190.11 FEET, THE CHORD OF WHICH BEARS S44°37'58"W, A DISTANCE OF 170.84 FEET;
8. N 89°58'53" W, ALONG THE NORTH LINE LINE OF TRACT B, AS DEDICATED BY FOSTER PROPERTY SUBDIVISION PLAT, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 20060126000089590, SAID ADAMS COUNTY RECORDS, A DISTANCE OF 482.47 FEET TO A POINT OF CURVATURE;
9. ALONG SAID NORTH LINE AND ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 380.00 FEET, A CENTRAL ANGLE OF 18°17'17", AN ARC LENGTH OF 121.29 FEET, THE CHORD OF WHICH BEARS N 80°50'14" W, A DISTANCE OF 120.78 FEET;
10. N 71°41'36" W, ALONG SAID NORTH LINE, A DISTANCE OF 356.18 FEET TO A POINT ON THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, BEING A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING FOUR (4) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 847.00 FEET, A CENTRAL ANGLE OF 27°41'43" AN ARC LENGTH OF 409.42 FEET, THE CHORD OF WHICH BEARS N 03°01'11" W, A DISTANCE OF 405.44 FEET;
2. N 16°52'02" W, A DISTANCE OF 679.81 FEET TO A POINT OF CURVATURE
3. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 556.83 FEET, A CENTRAL ANGLE OF 17°16'41" AN ARC LENGTH OF 167.92 FEET, A CHORD OF WHICH BEARS N08°13'42"W, A DISTANCE OF 167.28 FEET;
4. N 0°42'47" W, A DISTANCE OF 229.50 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM, ANY PORTION OF THE BULL CANAL RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED IN BOOK 3136 AT PAGE 348, SAID ADAMS COUNTY RECORDS.

CONTAINING A NET AREA OF 3,722,282 SQUARE FEET OR 85.452 ACRES, MORE OR LESS AS SURVEYED.

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR S 00°42'31" E, FROM THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP, STAMPED "PLS 25645" TO THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

SUBMITTALS / REVISIONS	Date	Description
	6/04/2021	• PRE-APP PDP SET
	2/18/2022	• 1ST PDP SET
	5/19/2022	• 2ND PDP SET
	8/15/2022	• 3RD PDP SET
	10/28/2022	• FINAL PDP SET

4TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 7 OF 9



Consilium Design
LAND PLANNING AND
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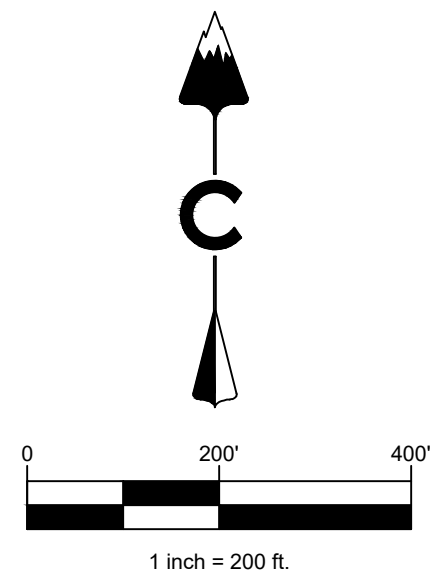
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DATE: OCTOBER 28TH, 2022

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
3RD AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS	Date	Description
	6/04/2021	• PRE-APP PDF SET
	2/18/2022	• 1ST PDP SET
	5/19/2022	• 2ND PDP SET
	8/15/2022	• 3RD PDP SET
	10/28/2022	• FINAL PDP SET

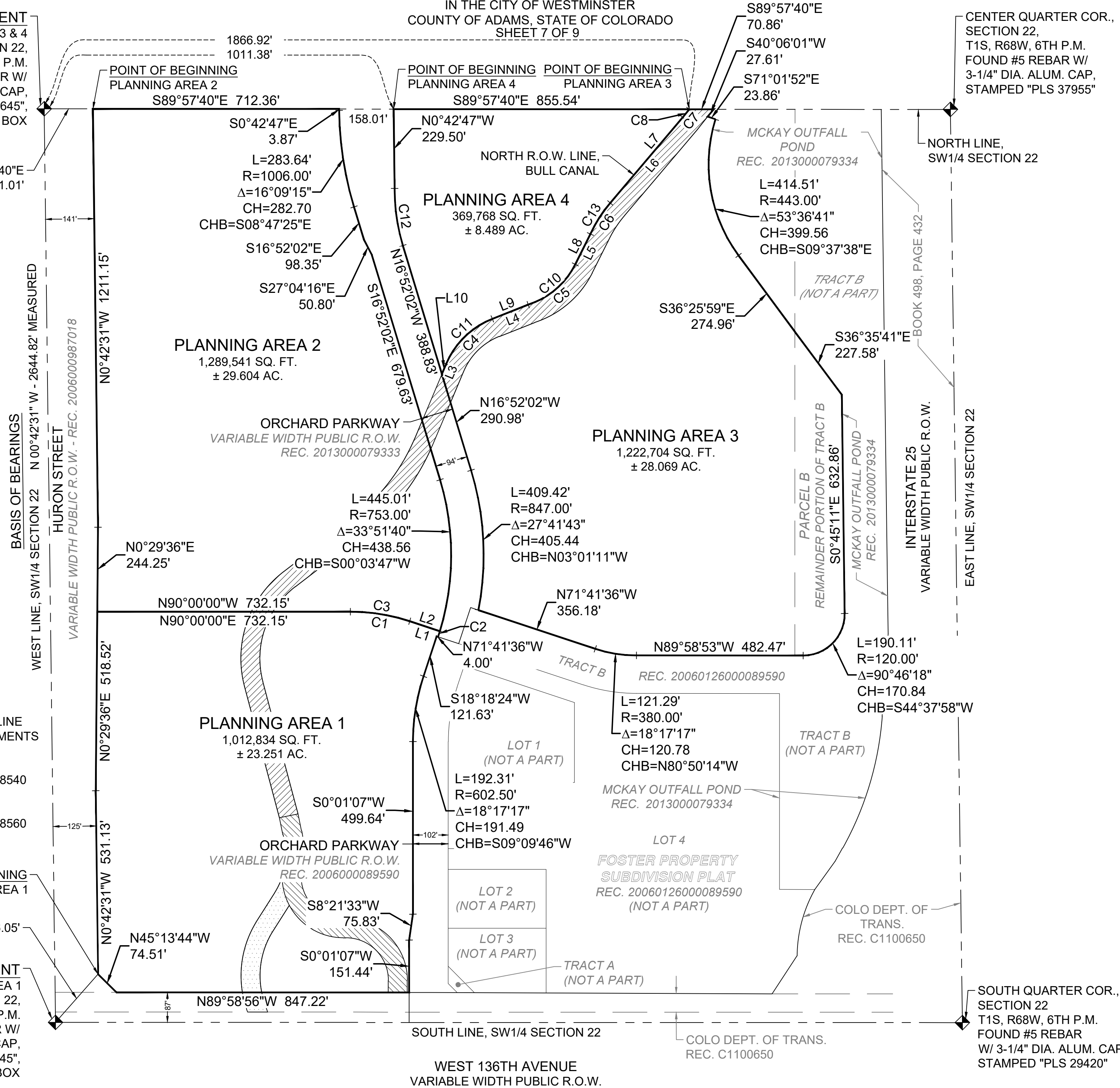
POINT OF COMMENCEMENT
PLANNING AREAS 2, 3 & 4
WEST QUARTER COR., SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP,
STAMPED "PLS 25645",
IN A RANGE BOX



- BULL CANAL R.O.W.
BK. 3136, PG. 348
BASED ON CENTERLINE
OF DITCH IMPROVEMENTS
- BULL CANAL R.O.W.
REC. 20041001000978540
- BULL CANAL R.O.W.
REC. 20041001000978560

POINT OF BEGINNING
PLANNING AREA 1
N41°27'50"E 186.05'

POINT OF COMMENCEMENT
PLANNING AREA 1
SOUTHWEST COR., SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP,
STAMPED "PLS 25645",
IN A RANGE BOX



SOUTH QUARTER COR.,
SECTION 22
T1S, R68W, 6TH P.M.
FOUND #5 REBAR
W/ 3-1/4" DIA. ALUM. CAP,
STAMPED "PLS 29420"

CENTER QUARTER COR.,
SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP,
STAMPED "PLS 37955"

4TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 8 OF 9



Consilium Design
LAND PLANNING AND
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DATE: OCTOBER 28TH, 2022

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
3RD AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS	Date	Description
	6/04/2021	• PRE-APP PDF SET
	2/18/2022	• 1ST PDP SET
	5/19/2022	• 2ND PDP SET
	8/15/2022	• 3RD PDP SET
	10/28/2022	• FINAL PDP SET

8 OF 9
PLANNING AREA
LEGAL DESC.

PLANNING AREA 1:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22, THENCE N 41°27'50" E, A DISTANCE OF 186.05 FEET TO A POINT ON THE EAST LINE OF THE HURON STREET RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2006000987018, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND THE POINT OF BEGINNING;

THENCE ALONG THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY, THE FOLLOWING TWO (2) COURSES:

1. N00°42'31" W, A DISTANCE OF 531.13 FEET;
2. N00°29'36" E, A DISTANCE OF 518.52 FEET;

THENCE N 90°00'00" E, DEPARTING SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 732.15 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 545.00 FEET, A CENTRAL ANGLE OF 18°22'53" AND AN ARC LENGTH OF 174.84 FEET;

THENCE S 71°37'07" E, A DISTANCE OF 91.78 FEET TO A POINT ON THE WEST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079333, SAID ADAMS COUNTY RECORDS, BEING A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 753.00 FEET, A CENTRAL ANGLE OF 1°17'40" AN ARC LENGTH OF 17.01 FEET, THE CHORD OF WHICH BEARS S 17°38'27" W, A DISTANCE OF 17.01 FEET TO A POINT ON THE WEST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DEDICATED BY FOSTER PROPERTY SUBDIVISION PLAT, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2006000089590, SAID ADAMS COUNTY RECORDS;

THENCE ALONG SAID WEST LINE, THE FOLLOWING SIX (6) COURSES

1. N 71°41'36" W, A DISTANCE OF 4.00 FEET;
2. S 18°18'24" W, A DISTANCE OF 121.63 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 602.50 FEET, A CENTRAL ANGLE OF 18°17'17" AND AN ARC LENGTH OF 192.31 FEET;
4. S 00°01'07" W, A DISTANCE OF 499.64 FEET;
5. S 08°21'33" W, A DISTANCE OF 75.83 FEET;
6. S 00°01'07" W, A DISTANCE OF 151.44 FEET TO A POINT ON THE NORTH LINE THE WEST 136TH AVENUE RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. C1100650. SAID ADAMS COUNTY RECORDS;

THENCE N 89°58'56" W, ALONG SAID NORTH LINE A DISTANCE OF 847.22 FEET TO A POINT ON THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY, RECEPTION NO. 20060000987018, SAID ADAMS COUNTY RECORDS;

THENCE N 45°13'44" W, ALONG SAID EAST LINE, A DISTANCE OF 74.51 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 1,012,834 SQUARE FEET OR 23.251 ACRES, MORE OR LESS.

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

PLANNING AREA 2:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 141.01 FEET TO A POINT ON THE EAST LINE OF THE HURON STREET RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2006000987018, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND THE POINT OF BEGINNING;

THENCE S89°57'40" E, CONTINUING ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER CORNER OF SAID SECTION 22, A DISTANCE OF 712.36 FEET TO A POINT ON THE WEST LINE OF ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED AT RECEPTION NO. 2013000079333, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING SIX (6) COURSES:

1. S0°42'47" E, A DISTANCE OF 3.87 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1006.00 FEET, A CENTRAL ANGLE OF 16°09'15" AND AN ARC LENGTH OF 283.64 FEET;
3. S 16°52'02" E, A DISTANCE OF 98.35 FEET;
4. S 27°04'16" E, A DISTANCE OF 50.80 FEET;
5. S 16°52'02" E, A DISTANCE OF 679.63 FEET TO A POINT OF CURVATURE;
6. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 753.00 FEET, A CENTRAL ANGLE OF 33°51'40" AND AN ARC LENGTH OF 445.01 FEET;

THENCE N 71°37'07" W, A DISTANCE OF 91.78 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 545.00 FEET, A CENTRAL ANGLE OF 18°22'53" AND AN ARC LENGTH OF 174.84 FEET;

THENCE N 90°00'00" W, A DISTANCE OF 732.15 FEET TO A POINT ON THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY;

THENCE ALONG THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY, THE FOLLOWING TWO (2) COURSES:

1. N 0°29'36" E, A DISTANCE OF 244.25 FEET;
2. N 0°42'31" W, A DISTANCE OF 1211.15 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 1,289,541 SQUARE FEET OR 29.604 ACRES, MORE OR LESS.

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	91.78'	S 71°37'07" E
L2	91.78'	N 71°37'07" W
L3	31.92'	N 22°54'14" E
L4	111.79'	N 68°23'01" E
L5	98.08'	N 26°26'16" E
L6	324.83'	N 40°14'45" E
L7	324.83'	S 40°14'45" W
L8	98.08'	S 26°26'16" W
L9	111.79'	S 68°23'01" W
L10	31.92'	S 22°54'14" W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	174.84'	545.00'	18°22'53"	S80°48'34"E	174.10'
C2	17.01'	753.00'	1°17'40"	S17°38'27"W	17.01'
C3	174.84'	545.00'	18°22'53"	N80°48'34"W	174.10'
C4	191.70'	241.50'	45°28'47"	N45°38'38"E	186.70'
C5	184.17'	230.33'	45°48'52"	N49°26'28"E	179.30'
C6	106.86'	378.42'	16°10'46"	N32°33'27"E	106.51'
C7	30.09'	801.27'	2°09'07"	N39°10'12"E	30.09'
C8	30.09'	801.27'	2°09'07"	S39°10'12"W	30.09'
C10	184.17'	230.33'	45°48'52"	S49°26'28"W	179.30'
C11	191.70'	241.50'	45°28'47"	S45°38'38"W	186.70'
C12	167.92'	556.83'	17°16'41"	N8°13'42"W	167.28'
C13	106.86'	378.42'	16°10'46"	S32°33'27"W	106.51'

4TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 9 OF 9



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DATE: OCTOBER 28TH, 2022

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
3RD AMENDED PRELIMINARY DEVELOPMENT PLAN

PLANNING AREA 3:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 1866.92 FEET TO THE POINT OF BEGINNING;

THENCE S89°57'40" E, CONTINUING ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 70.86 FEET TO A POINT ON THE WEST LINE OF MCKAY OUTFALL POND, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079334, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST AND NORTH LINES OF SAID MCKAY OUTFALL POND, THE FOLLOWING TEN (10) COURSES:

1. S 40°06'01" W, A DISTANCE OF 27.61 FEET;
2. S 71°01'52" E, A DISTANCE OF 23.86 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 443.00 FEET, A CENTRAL ANGLE OF 53°36'41" AND AN ARC LENGTH OF 414.51 FEET;
4. S 36°25'59" E, A DISTANCE OF 274.96 FEET;
5. S 36°35'41" E, A DISTANCE OF 227.58 FEET;
6. S 0°45'11" E, A DISTANCE OF 632.86 FEET TO A POINT OF CURVATURE;
7. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 120.00 FEET, A CENTRAL ANGLE OF 90°46'18" AND AN ARC LENGTH OF 190.11 FEET;
8. N 89°58'53" W, ALONG THE NORTH LINE LINE OF TRACT B, AS DEDICATED BY FOSTER PROPERTY SUBDIVISION PLAT, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 20060126000089590, SAID ADAMS COUNTY RECORDS, A DISTANCE OF 482.47 FEET TO A POINT OF CURVATURE;
9. ALONG SAID NORTH LINE AND ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 380.00 FEET, A CENTRAL ANGLE OF 18°17'17" AND AN ARC LENGTH OF 121.29 FEET;
10. N 71°41'36" W, ALONG SAID NORTH LINE, A DISTANCE OF 356.18 FEET TO A POINT ON THE EAST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079333 SAID ADAMS COUNT RECORDS, BEING A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING TWO (2) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 847.00 FEET, A CENTRAL ANGLE OF 27°41'43" AND AN ARC LENGTH OF 409.42 FEET;
2. N 16°52'02" W, A DISTANCE OF 290.98 FEET TO A POINT ON THE NORTH LINE OF THE BULL CANAL RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED IN BOOK 3136 AT PAGE 348 OF SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE NORTH LINE OF SAID BULL CANAL RIGHT-OF-WAY, THE FOLLOWING EIGHT (8) COURSES:

1. N 22°54'14" E, A DISTANCE OF 31.92 FEET TO A POINT OF NON-TANGENT CURVATURE;
2. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 241.50 FEET, A CENTRAL ANGLE OF 45°28'47" AN ARC LENGTH OF 191.70 FEET, THE CHORD OF WHICH BEARS N 45°38'38" E, A DISTANCE OF 186.70 FEET ;
3. N 68°23'01" E, A DISTANCE OF 111.79 FEET TO A POINT OF NON-TANGENT CURVATURE;
4. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 230.33 FEET, A CENTRAL ANGLE OF 45°48'52" AN ARC LENGTH OF 184.17 FEET, THE CHORD OF WHICH BEARS N 49°26'28" E, A DISTANCE OF 179.30 FEET;
5. N 26°26'16" E, A DISTANCE OF 98.08 FEET TO A POINT OF NON-TANGENT CURVATURE;
6. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 378.42 FEET, A CENTRAL ANGLE OF 16°10'46" AND AN ARC LENGTH OF 106.86 FEET, THE CHORD OF WHICH BEARS N 32°33'27" E, A DISTANCE OF 106.51 FEET;
7. N 40°14'45" E, A DISTANCE OF 324.83 FEET TO A POINT OF CURVATURE;
8. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 801.27 FEET, A CENTRAL ANGLE OF 2°09'07" AND AN ARC LENGTH OF 30.09 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 1,222,704 SQUARE FEET OR 28.069 ACRES, MORE OR LESS.

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

PLANNING AREA 4:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 1011.38 FEET TO A POINT ON THE EAST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079333, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND THE POINT OF BEGINNING;

THENCE S89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 855.54 FEET, TO A POINT ON THE NORTH LINE OF THE BULL CANAL RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED IN BOOK 3136 AT PAGE 348, SAID ADAMS COUNTY RECORDS, BEING A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF SAID BULL CANAL RIGHT-OF-WAY, THE FOLLOWING EIGHT (8) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 801.27 FEET, A CENTRAL ANGLE OF 2°09'07" AN ARC LENGTH OF 30.09 FEET, THE CHORD OF WHICH BEARS S 39°10'12" W, A DISTANCE OF 30.09 FEET;
2. S 40°14'45" W, A DISTANCE OF 324.83 FEET TO A POINT OF NON-TANGENT CURVATURE;
3. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 378.42 FEET, A CENTRAL ANGLE OF 16°10'46" AND AN ARC LENGTH OF 106.86 FEET, THE CHORD OF WHICH BEARS S 32°33'27" W, A DISTANCE OF 106.51 FEET;
4. S 26°26'16" W, A DISTANCE OF 98.08 TO A POINT OF NON-TANGENT CURVATURE;
5. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 230.33 FEET, A CENTRAL ANGLE OF 45°48'52" AN ARC LENGTH OF 184.17 FEET, THE CHORD OF WHICH BEARS S 49°26'28" W, A DISTANCE OF 179.30 FEET ;
6. S 68°23'01" W, A DISTANCE OF 111.79 FEET TO A POINT OF CURVATURE;
7. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 241.50 FEET, A CENTRAL ANGLE OF 45°28'47" AND AN ARC LENGTH OF 191.70 FEET;
8. S 22°54'14" W, A DISTANCE OF 31.92 FEET TO A POINT ON THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY;

THENCE ALONG THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING THREE (3) COURSES:

1. N 16°52'02" W, A DISTANCE OF 388.83 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 556.83 FEET, A CENTRAL ANGLE OF 17°16'41" AND AN ARC LENGTH OF 167.92 FEET;
3. N 0°42'47" W, A DISTANCE OF 229.50 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 369,768 SQUARE FEET OR 8.489 ACRES, MORE OR LESS.

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

SUBMITTALS / REVISIONS	Date	Description
	6/04/2021	• PRE-APP PDF SET
	2/18/2022	• 1ST PDP SET
	5/19/2022	• 2ND PDP SET
	8/15/2022	• 3RD PDP SET
	10/28/2022	• FINAL PDP SET

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 14



LEGAL DESCRIPTION

SEE PROPERTY LEGAL DESCRIPTIONS AND SURVEY EXHIBITS ON THE FOLLOWING SHEETS:

- SHEET 5: PROPERTY LEGAL DESCRIPTION
- SHEET 6: PROPERTY EXHIBIT
- SHEET 7-8: PLANNING AREA LEGAL DESCRIPTION
- SHEET 9-10: PLANNING AREA EXHIBIT
- SHEET 11-12: CANAL & PUBLIC USE PARCEL LEGAL DESCRIPTION
- SHEET 13-14 - CANAL & PUBLIC USE PARCEL EXHIBIT

PURPOSE OF AMENDMENT

FOSTER FARMS IS A DEVELOPMENT LOCATED IN THE CITY OF WESTMINSTER BOUNDED BY THE NORTH HURON P.U.D. TO THE NORTH, E. 136TH AVENUE TO THE SOUTH, I-25 TO THE EAST, AND HURON STREET TO THE WEST. THE DEVELOPMENT IS BISECTED BY ORCHARD PARKWAY WHICH FINISHED CONSTRUCTION IN 2014. THE DEVELOPMENT CONSISTS OF APPROXIMATELY 85.5 ACRES OF REMAINING AREA TO BE DEVELOPED. AN EXISTING COMMERCIAL AREA CONSISTING OF A LARGE ANCHOR BUILDING AND MISCELLANEOUS COMMERCIAL OUTPARCELS EXISTS SOUTH AND EAST OF THE DEVELOPABLE AREA.

THE PROPOSED PDP AMENDMENT IS PRESENTED TO:

1. REDEFINE THE ALLOWABLE USES PER THE 2040 COMPREHENSIVE PLAN WITHIN THE REMAINING DEVELOPABLE ACREAGE
2. CREATE NEW PUBLIC USE PARCELS
3. CHANGE CERTAIN PLANNING AREA DIMENSIONS AND REVISE THE CORRESPONDING LEGAL DESCRIPTIONS
4. REMOVE THE USE RESTRICTION THAT WAS INCLUDED IN THE ORIGINAL PDP, SEE NOTE ON SHEET 4

FULL FORCE & EFFECT

ALL PROVISIONS OF THE ORIGINAL PDP, RECORDED AT RECEPTION NO. C0631797, AND SUBSEQUENT PDP AMENDMENTS SHALL REMAIN IN FULL FORCE AND EFFECT, EXCEPT AS OTHERWISE NOTED HEREIN.

ZONING & LAND USE

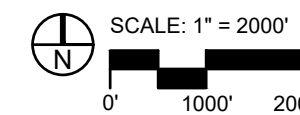
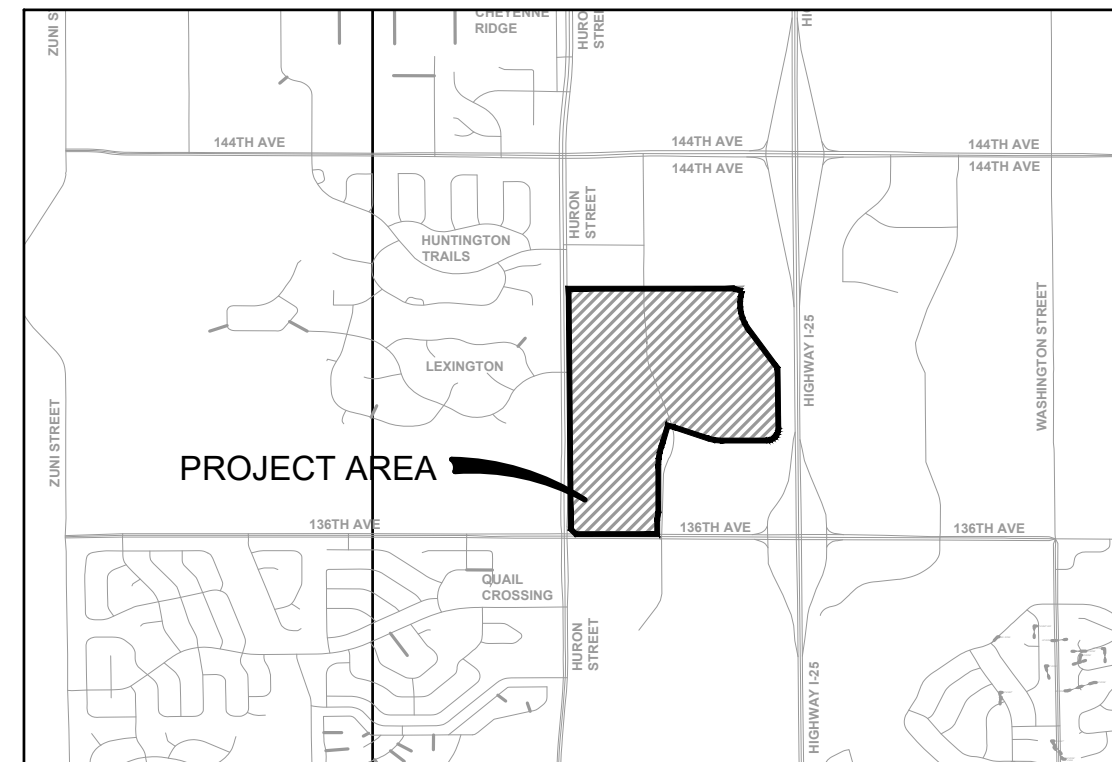
CURRENT ZONING: PUD
CURRENT LAND USE: AGRICULTURE
PROPOSED ZONING & LAND USE: PUD
COMPREHENSIVE PLAN DESIGNATION: COMMERCIAL & EMPLOYMENT-FLEX

SURVEYOR'S CERTIFICATE

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE LEGAL DESCRIPTIONS ON SHEETS 7,8, AND 9 HAVE BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PDP PROPERTY BOUNDARY.

DATE _____ REGISTERED LAND SURVEYOR & NO. _____

VICINITY MAP



PROJECT TEAM:

DEVELOPER

SCHUCK-CHAPMAN COMPANIES
2 N. CASCADE AVE,
STE. 1280
COLORADO SPRINGS, CO 80903
O: 719.633.4500

PROPERTY OWNER

136TH & HURON, LLC
BY GROWTH UNLIMITED, LLC
5450 TIRRAMNA COURT
FT. COLLINS, CO 80524
P: 719.640.3439

CIVIL ENGINEER:

HR GREEN DEVELOPMENT, LLC
PH: 720-602-4999
5613 DTC PARKWAY, SUITE 950
GREENWOOD VILLAGE, CO 80111

SHEET INDEX

- SHEET 1 OF 14 - COVER
- SHEET 2 OF 14 - NOTES
- SHEET 3 OF 14 - NOTES
- SHEET 4 OF 14 - SITE PLAN
- SHEET 5 OF 14 - PROPERTY LEGAL DESCRIPTION
- SHEET 6 OF 14 - PROPERTY EXHIBIT
- SHEET 7 OF 14 - PLANNING AREA LEGAL DESCRIPTION
- SHEET 8 OF 14 - PLANNING AREA LEGAL DESCRIPTION
- SHEET 9 OF 14 - PLANNING AREA EXHIBIT
- SHEET 10 OF 14 - PLANNING AREA EXHIBIT
- SHEET 11 OF 14 - CANAL & PUBLIC USE PARCEL LEGAL DESCRIPTION
- SHEET 12 OF 14 - CANAL & PUBLIC USE PARCEL LEGAL DESCRIPTION
- SHEET 13 OF 14 - CANAL & PUBLIC USE PARCEL EXHIBIT
- SHEET 14 OF 14 - CANAL & PUBLIC USE PARCEL EXHIBIT

I, Cindee Elizabeth Wood AS MANAGER OF GROWTH UNLIMITED, LLC A COLORADO LIMITED LIABILITY COMPANY THE MANAGER OF 136TH & HURON, LLC A COLORADO LIMITED LIABILITY COMPANY IN THE STATE OF COLORADO, PROPERTY OWNER, DO APPROVE THIS PDP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER.

THIS _____ DAY OF _____, 20____.

SIGNATURE TITLE

I, E. Suzanne Mowery AS MANAGER OF FOSTER FAMILY, LLC A COLORADO LIMITED LIABILITY COMPANY THE MANAGER OF 136TH & HURON, LLC A COLORADO LIMITED LIABILITY COMPANY IN THE STATE OF COLORADO, THE PROPERTY OWNER, DO APPROVE THIS PDP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER

THIS _____ DAY OF _____, 20____.

SIGNATURE TITLE

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

CHAIRMAN

ATTEST: CITY CLERK

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

MAYOR

ATTEST: CITY CLERK

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT ____:____ O'CLOCK __.M.

ADAMS COUNTY CLERK AND RECORDER

BY: DEPUTY CLERK



HR GREEN - DENVER
5613 DTC PARKWAY
SUITE 950
GREENWOOD
VILLAGE CO 80111
PHONE: 720.602.4999
FAX: 844.273.1057

DATE: JANUARY 10, 2024

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS	
Date	Description

ETRAKIT #PLN23-0090

PROJECT NOTES

DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S PDP OR LATEST PDP AMENDMENT IS MORE THAN FIVE (5) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE PDP OR AMENDED PDP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS: 2024-2034, SEE PHASING PLAN ON SHEET 3.

PERMITTED USES

PLANNING AREA 1:

PRIMARY: RETAIL STORES, EATING ESTABLISHMENTS, BANKS, SUPERMARKETS, BUSINESS AND PROFESSIONAL OFFICES, AND PERSONAL BUSINESS SERVICES.
SECONDARY: AUTO-ORIENTED USES¹, STAND-ALONE USES WITH VEHICLE DRIVE-THROUGHS, HOTELS, CHILD CARE FACILITIES, MICROBREWERIES, LIVE ENTERTAINMENT, MEDICAL FACILITIES.

PLANNING AREAS 2, 3, AND 4:

PRIMARY: PROFESSIONAL OFFICES, BANKING, RESEARCH AND DEVELOPMENT LABS, MEDICAL FACILITIES², FLEX OFFICE, INCUBATOR SPACE.
SECONDARY: HOTELS^b, MANUFACTURING, WAREHOUSING, PRODUCTION, FABRICATION, REPAIR SHOPS, WHOLESALE DISTRIBUTORS, SUPPORT COMMERCIAL^a INCLUDING EATING ESTABLISHMENTS, PHARMACIES, BUSINESS SERVICES, OFFICE SUPPLY.

PROHIBITED USES

THE FOLLOWING USES SHALL BE PROHIBITED: PAWN SHOPS, NEW AND USED CAR SALES, MASSAGE PARLORS, TATTOO PARLORS, OFF-TRACK BETTING, BILLIARD PARLORS, THRIFT STORE, AUCTION HOUSES, MINI-STORAGE FACILITIES, STAND-ALONE GUN SHOPS, DAY LABOR SERVICES, ADULT BUSINESSES, PAYDAY LENDING, AND CHECK CASHING FACILITIES.

ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

DEFINITIONS:

¹ AUTO-ORIENTED USES: A COMMERCIAL USE THAT INCLUDES AUTOMOTIVE REPAIR, AMBULANCE SERVICES, AUTOMOTIVE SERVICE STATION, USES WITH DRIVE-THROUGH LANES, AUTOMOTIVE WASH, FUEL SALES AND CONVENIENCE STORE, PARCEL DELIVERY SERVICE.

² MEDICAL FACILITY: USES CONCERNED WITH THE DIAGNOSIS, TREATMENT, AND CARE OF HUMAN BEINGS. INCLUDING:

- HOSPITALS
- MEDICAL OFFICE BUILDINGS
- AMBULATORY SURGICAL CENTERS
- DENTAL SERVICES
- PHYSICIAN OFFICES OR CLINICS
- COUNSELING
- LABORATORIES
- DIAGNOSTIC SERVICES
- BEHAVIORAL HEALTH AND SUBSTANCE ABUSE FACILITIES
- SHORT TERM REHABILITATION OR SKILLED NURSING FACILITIES (INTENDED FOR PEOPLE RECOVERING FROM DISABILITIES CAUSED BY INJURIES, ILLNESS OR SURGERY WITH STAYS OF 100 DAYS OR LESS.)

(WAREHOUSING OF MEDICAL PRODUCTS AND LONG-TERM RESIDENTIAL CARE FACILITIES ARE NOT MEDICAL FACILITIES.)

NOTES:

^a SUPPORT COMMERCIAL LIMITED TO MAXIMUM 10% OF GFA OR 15,000 SQ FT PER BUILDING, WHICHEVER IS LESS.

^b HOTELS ARE A PRIMARY USE IN PLANNING AREA 3.

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 14

LAND USE TABLE

SUB AREA	LAND USE	LAND AREA (ACRES)	LAND AREA (S.F.)	LANDSCAPE AREA (S.F.)	% OF PROPERTY	FAR	MAX BUILDING HEIGHT (STORIES)
PLANNING AREA 1	COMMERCIAL	19.018	828,405	MIN 20%	21.3%	MAXIMUM 0.45	3 STORIES
PLANNING AREA 2	EMPLOYMENT-FLEX	28.076	1,222,982	MIN 20%	31.4%	MAXIMUM 1.0*	4 STORIES**
PLANNING AREA 3	EMPLOYMENT-FLEX	26.647	1,160,727	MIN 20%	29.8%	MAXIMUM 1.0*	4 STORIES**
PLANNING AREA 4	EMPLOYMENT-FLEX	8.489	369,768	MIN 20%	9.5%	MAXIMUM 1.0*	4 STORIES**
CANAL & PUBLIC USE PARCEL NO. 1	BULL CANAL & PUBLIC USE	1.945	84,727	N/A	2.2%	N/A	N/A
CANAL & PUBLIC USE PARCEL NO. 2	BULL CANAL & PUBLIC USE	1.792	78,050	N/A	2.0%	N/A	N/A
CANAL & PUBLIC USE PARCEL NO. 3	BULL CANAL & PUBLIC USE	1.423	61,977	N/A	1.6%	N/A	N/A
FUTURE 138TH AVENUE STREET ROW	COW ROW	2.025	88,204	N/A	2.2%	N/A	N/A
	TOTAL	89.415	3,894,840		100.0%		

* MAXIMUM 1.0 FAR FOR PRIMARY USES. MAXIMUM 0.5 FAR FOR STANDALONE SECONDARY USES.
 ** ALLOWED HEIGHTS MAY BE INCREASED SINCE THE PROPERTY IS IN THE NORTH I-25 FOCUS AREA AND IS ADJACENT TO I-25.

SETBACKS TABLE

LOCATION	BUILDING	PARKING
INTERSTATE 25	50 FT.	25 FT.
136TH AVENUE	***40 FT.	25 FT.
ORCHARD PARKWAY	***40 FT.	25 FT.
HURON ST	50 FT.	25 FT.
MAIN INTERNAL ACCESS DRIVE	20 FT.	20 FT.
NORTH PROPERTY LINE	20 FT	20 FT
EXISTING ABANDONED WELL	200 FT.	0 FT.

*** SETBACK TO BE 50 FT. IF PARKING IS ADJACENT TO THE RIGHT OF WAY.

SERVING FACILITIES

PUBLIC RECREATION AREAS	BIG DRY CREEK PARK, THORN CREEK GOLF COURSE, QUAIL'S CROSSING PARK
PUBLIC OPEN SPACE	BIG DRY CREEK OPEN SPACE, MCKAY LAKE OPENSACE
DRAINAGEWAYS	MCKAY DRAINAGEWAY
MAJOR DETENTION	MCKAY DRAINAGEWAY REGIONAL POND WEST OF I-25
NEARBY SHOPPING AREAS	WESTMINSTER CROSSINGS, DENVER PREMIUM OUTLETS, SHOPS AT QUAIL CREEK, WALMART RETAIL CENTER
NEARBY FIRE STATIONS	WESTMINSTER FIRE STATION 6
NEARBY BUS STOPS	136TH AVE & ORCHARD PKWY #34644, #34643

CURRENT SURROUNDING ZONING/LAND USES

BOUNDRY	ZONING	COMP. PLAN DESIGNATION	LAND USE
NORTH:	PUD	WEST OF ORCHARD: EMPLOYMENT-FLEX EAST OF ORCHARD: EMPLOYMENT OFFICE/ INSTITUTIONAL CAMPUS	PUBLIC/QUASI-PUBLIC ; VACANT
SOUTH:	PUD	COMMERCIAL	COMMERCIAL ; VACANT
EAST:	PUD	PUBLIC/QUASI-PUBLIC, I-25	PUBLIC/QUASI-PUBLIC
WEST:	PUD	R-1 AND R-2.5 (BROOMFIELD)	RESIDENTIAL ESTATE



HR GREEN - DENVER
 5613 DTC PARKWAY
 SUITE 950
 GREENWOOD
 VILLAGE CO 80111
 PHONE: 720.602.4989
 FAX: 844.273.1057

DATE: JANUARY 10, 2024

FOSTER FARM
 SCHUCK-CHAPMAN COMPANIES
 5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS

Date	Description

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 14



PROJECT NOTES

PUBLIC ART: (DUE TO THE SCALE AND NATURE OF THE DEVELOPMENT, IT IS THE DEVELOPER'S INTENT TO PROVIDE PUBLIC ART ON THE PROPERTY IN VARIOUS LOCATION THROUGHOUT THE DEVELOPMENT. HOWEVER, IF PUBLIC ART IS NOT PROVIDED ON SITE, THE BELOW SHALL APPLY)

CASH-IN-LIEU (OR INSTALLATION ON SITE) OF BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF INDIVIDUAL OFFICIAL DEVELOPMENT PLAN(ODP). IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR 85.45 ACRES A FEE OF \$170,900 IS DUE TO THE CITY.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PDP USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

RECOVERY COSTS: RECOVERY AMOUNTS MAY CHANGE BASED ON ACTUAL DIMENSIONS. THE AMOUNTS BELOW ARE BASED ON A 85.45 ACRE PROJECT.

- A. CITY OF WESTMINSTER RECOVERIES/CASH-IN-LIEU AFFECTING FOSTER PROPERTY:
 - A.1. SANITARY SEWER OUTFALL - CITY PROJECT WW87-1: \$392.85/ACRE (MAXIMUM INTEREST HAS BEEN MET)
 - A.2. NORTH HURON UTILITIES WATER MAIN - CITY PROJECT W87-1: \$637.35/ACRE (MAXIMUM INTEREST HAS BEEN MET)
 - A.3. HURON STREET IMPROVEMENTS FROM 128TH TO 140TH - CITY ORDINANCE #3373: \$18,767.74/ACRE (MAXIMUM INTEREST HAS BEEN MET)
 - A.4. ORCHARD PARKWAY IMPROVEMENTS FROM 138TH AVENUE (NORTH PROPERTY LINE OF LOWES PROPERTY) TO 140TH AVENUE (NORTH PROPERTY LINE OF FOSTER PROPERTY): \$20,759.23/ACRE PLUS INTEREST ACCRUED, STARTING ON NOVEMBER 27, 2017, UP TO THE DATE OF ACTUAL PAYMENT, MAXIMUM INTEREST DUE SHALL NOT EXCEED 50% OF PRINCIPAL.
 - A.5. FOSTER PROPERTY DRAINAGE IMPROVEMENT AGREEMENT DATED MAY 23, 2005, ABSOLVES THE FOSTER PROPERTY FROM RECOVERIES ASSOCIATED WITH MCKAY LAKE DAM IMPROVEMENTS AND MCKAY LAKE DRAINAGEWAY AND REGIONAL DETENTION POND IMPROVEMENTS.

STANDARD STATEMENTS

- A. APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN CONSTITUTES A CONCEPT APPROVAL OF THE PLAN SUBJECT TO THE ABILITY OF THE CITY OF WESTMINSTER OR THE LAND OWNER TO PROVIDE NECESSARY SERVICES. DUE TO SERIOUS SHORT-RANGE AND LONG-RANGE LIMITATIONS ON THE RAW WATER SUPPLY, WATER TREATMENT CAPACITY AND SEWAGE TREATMENT CAPACITY OF THE CITY, DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN MAY NOT BE POSSIBLE. APPROVAL OF THIS PLAN IMPLIES NO COMMITMENT OF THE CITY OF WESTMINSTER TO PROVIDE SERVICES. THE CITY OF WESTMINSTER ADVISES AGAINST DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN WITHOUT A THOROUGH INVESTIGATION BY THE DEVELOPER OF THE AVAILABILITY OF WATER AND SEWER SERVICE AT THE TIME OF SUCH DEVELOPMENT.
- B. THE LAND USES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE LOCATION AND NUMBER OF SUCH ESTABLISHMENTS AND THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- C. THE DENSITIES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE CONSIDERED AS A MAXIMUM AND SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.
- D. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. IF YOU HAVE ANY QUESTIONS REGARDING THE CITY'S USE TAX REQUIREMENTS, PLEASE CONTACT THE CITY TAX AUDITOR.
- E. UTILITY EASEMENTS: THE DESIGN OF THE PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.

PUD EXCEPTIONS

THE DEVELOPER IS SEEKING THE FOLLOWING EXCEPTIONS FROM THE PUD STANDARDS:

- 1. THE DEVELOPER IS REQUESTING AN EXCEPTION TO THE ALLOWED PRIMARY USES IN PLANNING AREAS 2, 3 & 4 TO ALLOW MEDICAL FACILITIES AS A PRIMARY USE.

STANDARD: PER THE 2040 COMPREHENSIVE PLAN MEDICAL FACILITIES ARE A SECONDARY USE WITHIN THE EMPLOYMENT-FLEX LAND USE CHARACTER TYPE.

JUSTIFICATION: THE FOSTER PROPERTY IS WITHIN THE NORTH I-25 FOCUS AREA WHICH ALSO INCLUDES THE ST. ANTHONY NORTH HEALTH CAMPUS. THE FOSTER PROPERTY IS LOCATED ONE-QUARTER MILE SOUTH OF THIS HEALTH CAMPUS. THE FOCUS AREA AS DESCRIBED IN THE 2040 COMPREHENSIVE PLAN CALLS FOR THE CITY TO TAKE MEASURES TO ENSURE ADJACENT PROPERTIES ARE DEVELOPED IN A COMPATIBLE MANNER. MEDICAL FACILITIES AS A PRIMARY USE IN PLANNING AREAS 2, 3 AND 4, THE PROPERTY CLOSEST TO THE HOSPITAL, WILL ALLOW MORE THAN 25% OF A PLANNING AREA TO BE COMPRISED OF THE USES LISTED IN FOOTNOTE 2 ON SHEET 2 TO SERVE THE DEMAND FOR MEDICAL USES IN THE AREA AND TO COMPLEMENT THE HEALTH CAMPUS. ADDITIONALLY, MEDICAL FACILITIES AS A SECONDARY USE COULD HAMPER THE FOSTER PROPERTY FROM DEVELOPING TIMELY AND EFFICIENTLY.

- 2. THE DEVELOPER IS REQUESTING AN EXCEPTION TO THE ALLOWED PRIMARY USES IN PLANNING AREA 3 TO ALLOW HOTELS AS A PRIMARY USE.

STANDARD: PER THE 2040 COMPREHENSIVE PLAN HOTELS ARE A SECONDARY USE WITHIN THE EMPLOYMENT-FLEX LAND USE CHARACTER TYPE.

JUSTIFICATION: THE FOSTER PROPERTY IS WITHIN THE NORTH I-25 FOCUS AREA. THIS FOCUS AREA AS DESCRIBED IN THE 2040 COMPREHENSIVE PLAN IS THE ONLY REMAINING SITE IN WESTMINSTER WITH I-25 VISIBILITY. HOTELS ARE CONSIDERABLY MORE SUCCESSFUL WHEN THEY ARE VISIBLE FROM MAJOR TRANSPORTATION CORRIDORS AND I-25 SERVES THE HIGHEST TRAFFIC VOLUMES IN THE STATE. ADDITIONALLY, THE ST. ANTHONY NORTH HEALTH CAMPUS AND COMPLEMENTARY MEDICAL FACILITIES WILL BENEFIT FROM A HOTEL LOCATED IN THE FOSTER PROPERTY.

GENERAL DESIGN STANDARDS

A CONSISTENT ARCHITECTURAL PHILOSOPHY WILL BE EMPLOYED IN DESIGN AND PLANNING OF THIS BUSINESS DISTRICT. BUILDING MASSING, MATERIALS AND DETAILS SHALL BE DESIGNED TO IMPART A HIGH-QUALITY IMAGE TO THIS SITE LOCATION AS THE NORTHERN ENTRANCE TO THE CITY OF WESTMINSTER. DESIGN GUIDELINES WILL BE DEVELOPED AS PART OF THE OFFICIAL DEVELOPMENT PLAN APPROVAL PROCESS.

BUILDING ELEMENTS:

PER PLANNING AREA, A SINGLE BUILDING OR COMPLEX MUST BE STYLISTICALLY CONSISTENT. ARCHITECTURAL STYLE, MATERIALS, COLOR, AND FORM SHALL WORK TOGETHER TO EXPRESS A SINGLE THEME.

FRANCHISE ARCHITECTURE SHALL TAKE INTO CONSIDERATION THE CHARACTER OF THE SURROUNDING ARCHITECTURE AND STREETScape WHERE APPROPRIATE. APPLICABLE LIGHTING, COLORS AND MATERIALS THAT BLEND WITH THE AREAS AESTHETIC SHALL BE USED.

EXTERIOR BUILDING DESIGN, INCLUDING ROOF STYLE, MATERIAL AND COLORS, ARCHITECTURAL FORMS AND DETAILING, SHALL HAVE CONSISTENT ELEMENTS AMONG ALL BUILDINGS IN A COMPLEX TO ACHIEVE DESIGN HARMONY AND CONTINUITY.

THE USE OF MASONRY AS A PRIMARY MATERIAL IS HIGHLY ENCOURAGED. BUILDING COLORS ARE TO BE INCLUDED AS A PART OF THE OFFICIAL DEVELOPMENT PLAN. COLORS SHOULD GENERALLY BE IN HARMONY WITH THE SURROUNDING ENVIRONMENT.

PAD BUILDINGS IN PLANNING AREA 1 SHALL MATCH MATERIALS OF MAIN BUILDINGS, CARRYING OUT THE BUILDING DESIGN THEME AND OTHER THEMES OF THE CENTER.

"360 DEGREE" ARCHITECTURE IS REQUIRED. ALL SIDES OF ALL BUILDINGS ARE TO BE TREATED WITH THE RELATIVE SAME DEGREE OF ARCHITECTURAL STYLE AND DETAIL AS THE FRONT ELEVATION OF THE BUILDING. ITEMS TO BE CONSIDERED INCLUDE CONSISTENT USE OF MATERIALS, COLORS, ARCADES, ENTRANCES, AND DETAILING.

IF THE BACKSIDE OF A PAD SITE BUILDING FACES THE STREET, THAT SIDE OF THE BUILDINGS SHOULD READ LIKE THE FRONT. ONLY "ACTIVE" BUILDING ELEVATIONS (NO BLANK WALLS OR LOADING AREAS UNLESS SCREENED) SHOULD FACE PUBLIC STREETS.

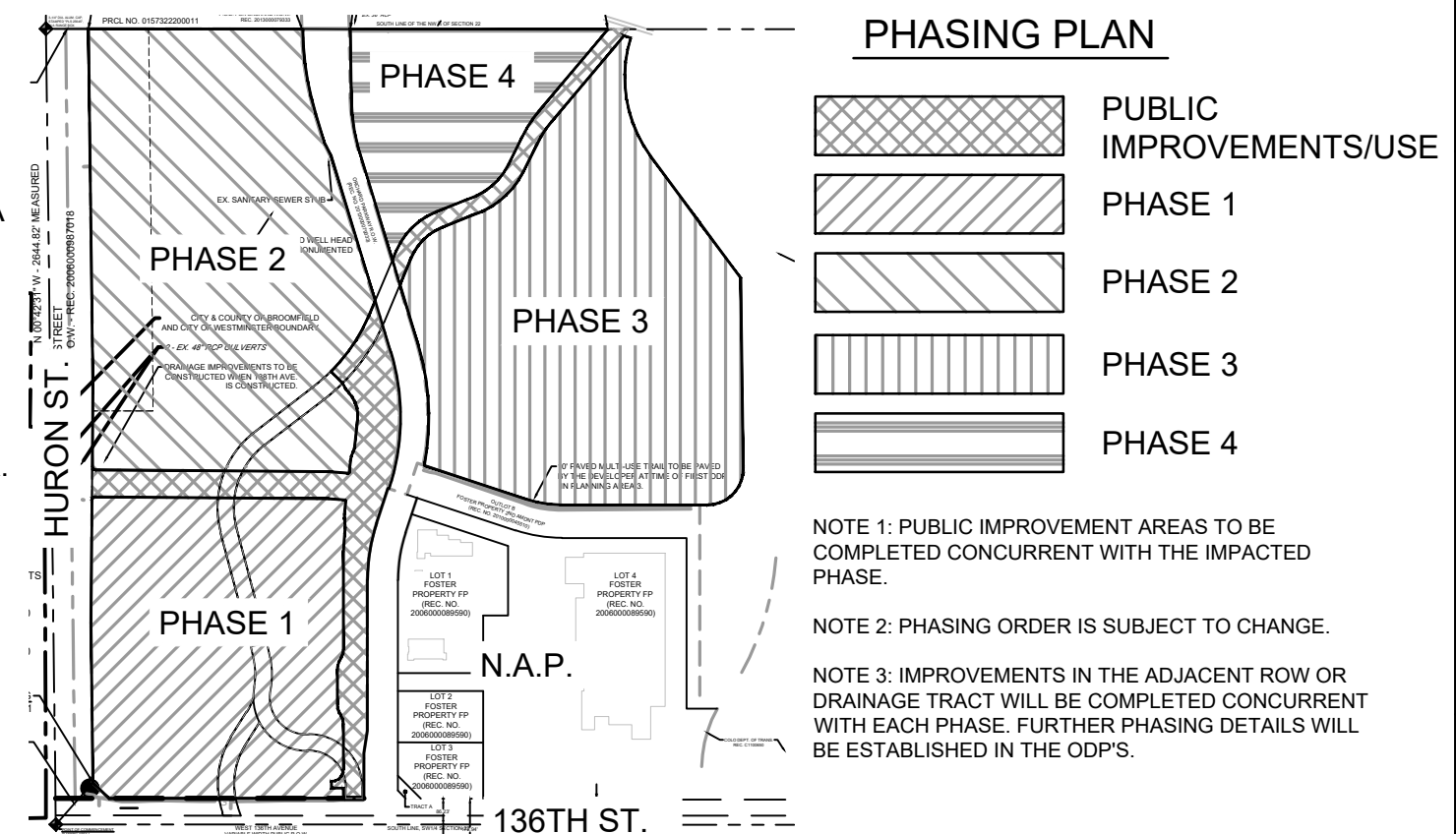
LONG LINEAR LOOKING BUILDINGS SHOULD BE AVOIDED. BUILDINGS SHOULD PROVIDE VARYING BUILDING HEIGHTS, CHANGES IN WALL PLANES AND SPATIAL VOLUMES, AS WELL AS A VARIETY OF WINDOW AREAS, ARCADES, MATERIALS OR ROOF ELEMENTS.

ARCHITECTURAL LIGHTING INCLUDING ORNAMENTAL ARMATURES AND FIXTURES RELATING TO THE THEME OF THE DEVELOPMENT WILL BE REQUIRED.

SIGNAGE, FENCING, AND LANDSCAPING WILL COMPLIMENT SURROUNDING AREAS AND ARCHITECTURE WHILE APPROPRIATE FOR A RETAIL, OFFICE, MANUFACTURING, AND RESEARCH & DEVELOPMENT BUSINESS DISTRICT. MORE INFORMATION TO BE PROVIDED DURING THE ODP APPROVAL PROCESS.

LOADING, SERVICE, OR STORAGE AREAS SHALL BE FULLY SCREENED FROM VIEW FROM PUBLIC RIGHTS OF WAY, TRAILS, AND OTHER PUBLIC PROPERTY.

OUTDOOR AMENITY AREAS FOR EMPLOYEES AND CUSTOMERS SHALL BE PROVIDED. LOCATIONS AND SIZES TO BE DETERMINED AT TIME OF ODP.



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VILLAGE CO 80111
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FAX: 844.273.1057

DATE: JANUARY 10, 2024

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS	
Date	Description

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4 OF 14



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DATE: JANUARY 10, 2024

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

THIS AMENDMENT REMOVES THE
USE RESTRICTION THAT WAS
INCLUDED IN THE ORIGINAL PDP.

NOTES:

1. A SUB-AREA OF THE DEVELOPMENT SHALL BE CREATED ALONG THE EAST SIDE OF THE ULTIMATE RIGHT OF WAY (R.O.W) OF HURON STREET BEGINNING AT THE NORTH PROPERTY LINE OF THE FOSTER PROPERTY TO 1,270 FEET TO THE SOUTH, AND FOR A DEPTH OF 200 FEET EAST OF THE ULTIMATE R.O.W. OF HURON STREET. IN THAT SUB-AREA, NO BUILDINGS SHALL BE PERMITTED TO BE HIGHER THAN 50 FEET. ADDITIONALLY IN THAT SUB-AREA, NO USES SHALL BE PERMITTED OTHER THAN THOSE PERMITTED IN THE "OFFICE" CATEGORY AS DEFINED IN THE WESTMINSTER 1997 COMPREHENSIVE LAND-USE PLAN TO BE FURTHER IDENTIFIED DURING THE ODP APPROVAL PROCESS, ALL BUILDINGS WITHIN THE SUB-AREA SHALL BE SET BACK 50 FEET FROM THE ULTIMATE RIGHT-OF-WAY (R.O.W.) OF HURON STREET AND ALL PARKING LOTS SHALL BE SET BACK 25 FEET FROM THE ULTIMATE R.O.W. OF HURON STREET.
2. THIS AREA INCLUDES POTENTIAL WETLANDS. TO BE VERIFIED AND ALL NECESSARY PAPERWORK WILL BE PROVIDED WITH THE ODP AND PHASE II DRAINAGE REPORT.

LEGEND

- PLANNING AREA BOUNDARY
- EXISTING SANITARY SEWER MAIN
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING IRRIGATION CANAL
- HEIGHT RESTRICTION SETBACK (SEE NOTE 1)
- FLOODPLAIN ZONE LINE
- EXISTING WQ/DETENTION POND
- EXISTING FIRE HYDRANT
- ACCESS LOCATION (TO BE DETERMINED AT TIME OF ODP)

LAND USE TABLE

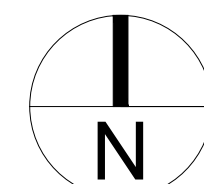
SUB AREA	ACREAGE	USE
PA 1	19.018	COMMERCIAL
PA 2	28.076	EMPLOYMENT-FLEX
PA 3	26.647	EMPLOYMENT-FLEX
PA 4	8.489	EMPLOYMENT-FLEX
C&PU NO. 1	1.945	BULL CANAL & PUBLIC USE
C&PU NO. 2	1.792	BULL CANAL & PUBLIC USE
C&PU NO. 3	1.423	BULL CANAL & PUBLIC USE
FUT 138TH ROW	2.025	COW ROW
TOTAL	89.415	

C&PU - CANAL & PUBLIC USE

0 200 400 600



Scale: 1"=200'



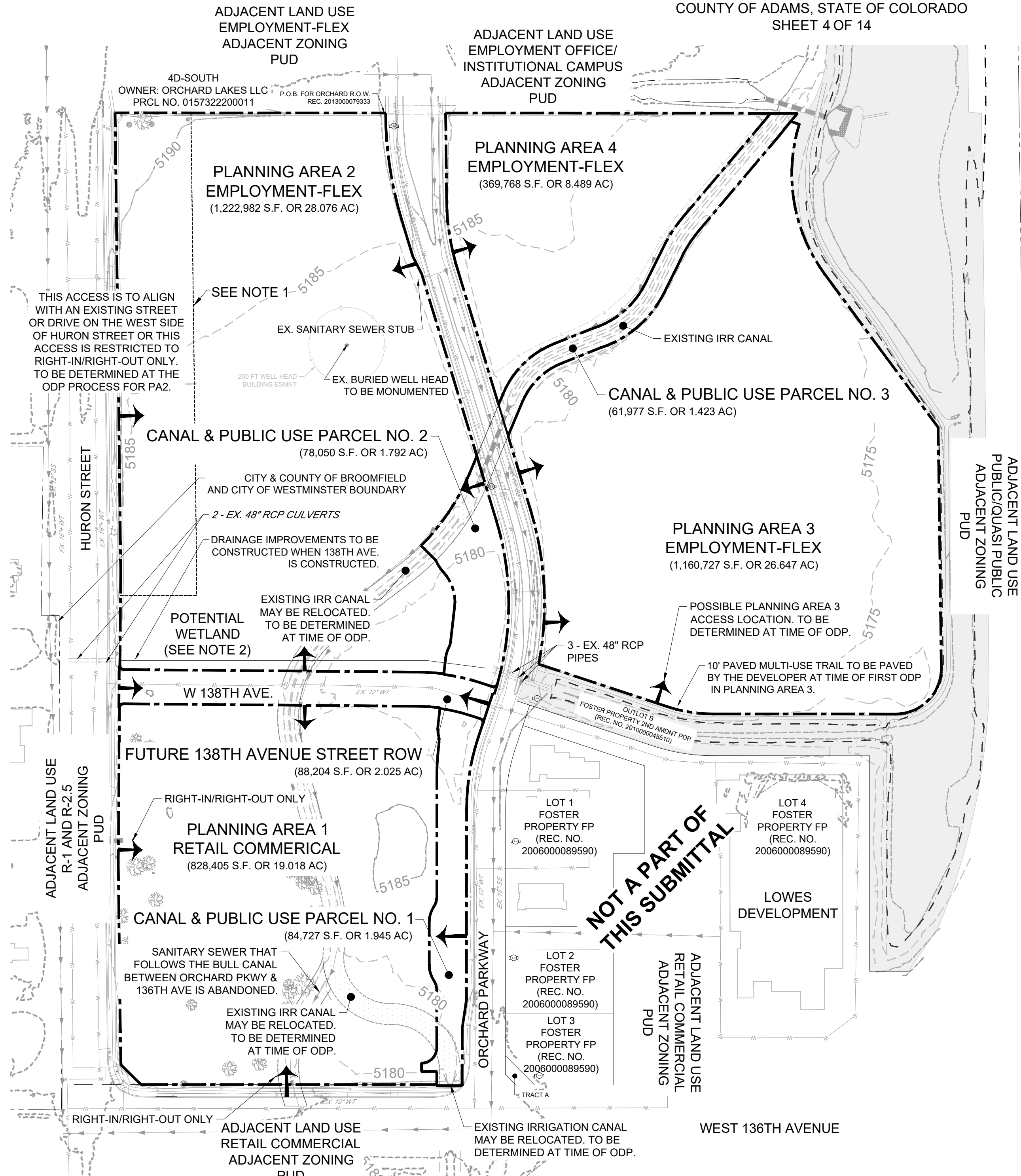
SUBMITTALS / REVISIONS

Date Description

Date	Description

4 OF 14

SITE PLAN



5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 5 OF 14



PDP BOUNDARY DESCRIPTION

2 PARCELS OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 1:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 141.01 FEET TO A POINT ON THE EAST LINE OF THE HURON STREET RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2006000987018, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND THE POINT OF BEGINNING;

THENCE S89°57'40" E, CONTINUING ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER CORNER OF SAID SECTION 22, A DISTANCE OF 712.36 FEET TO A POINT ON THE WEST LINE OF ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED AT RECEPTION NO. 2013000079333, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING TWELVE (12) COURSES:

1. S0°42'47" E, A DISTANCE OF 3.87 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1006.00 FEET, A CENTRAL ANGLE OF 16°09'15", AN ARC LENGTH OF 283.64 FEET, THE CHORD OF WHICH BEARS S 08°47'25" E, A DISTANCE OF 282.70;
3. S 16°52'02" E, A DISTANCE OF 98.35 FEET;
4. S 27°04'16" E, A DISTANCE OF 50.80 FEET;
5. S 16°52'02" E, A DISTANCE OF 679.63 FEET TO A POINT OF CURVATURE;
6. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 753.00 FEET, A CENTRAL ANGLE OF 35°09'20", AN ARC LENGTH OF 462.02 FEET, THE CHORD OF WHICH BEARS S 00°42'37" W, A DISTANCE OF 454.81 FEET;
7. N 71°41'36" W, A DISTANCE OF 4.00 FEET;
8. S 18°18'24" W, A DISTANCE OF 121.63 FEET TO A POINT OF CURVATURE;
9. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 602.50 FEET, A CENTRAL ANGLE OF 18°17'17" AND AN ARC LENGTH OF 192.31 FEET, THE CHORD OF WHICH BEARS S 09°09'46" W, A DISTANCE OF 191.49 FEET;
10. S 00°01'07" W, A DISTANCE OF 499.64 FEET;
11. S 08°21'33" W, A DISTANCE OF 75.83 FEET;
12. S 00°01'07" W, A DISTANCE OF 151.44 FEET TO A POINT ON THE NORTH LINE THE WEST 136TH AVENUE RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. C1100650, SAID ADAMS COUNTY RECORDS;

THENCE N 89°58'56" W, ALONG SAID NORTH LINE, A DISTANCE OF 847.22 FEET;

THENCE N 45°13'44" W, ALONG SAID NORTH LINE, A DISTANCE OF 74.51 FEET TO A POINT ON THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY, RECEPTION NO. 20060000987018, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY, THE FOLLOWING THREE (3) COURSES:

1. N 00° 42' 31" W, A DISTANCE OF 531.13 FEET;
2. N 00° 29' 36" E, A DISTANCE OF 762.77 FEET;
3. N 00° 42' 31" W, A DISTANCE OF 1211.15 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM, ANY PORTION OF THE BULL CANAL RIGHT-OF-WAY, AS DESCRIBED IN THOSE DEEDS RECORDED IN BOOK 3136 AT PAGE 348 AND AT RECEPTION NO. 20041001000978540, BUT INCLUDING THAT PORTION DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 20041001000978560, SAID ADAMS COUNTY RECORDS.

PARCEL 2:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 1011.38 FEET TO A POINT ON THE EAST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079333, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND THE POINT OF BEGINNING;

THENCE S89°57'40" E, CONTINUING ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 926.40 FEET, TO A POINT ON THE WEST LINE OF MCKAY OUTFALL POND, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079334, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST LINE OF SAID MCKAY OUTFALL POND, THE FOLLOWING TEN (10) COURSES:

1. S 40°06'01" W, A DISTANCE OF 27.61 FEET;
2. S 71°01'52" E, A DISTANCE OF 23.86 FEET TO A POINT OF NON-TANGENT CURVATURE;
3. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 443.00 FEET, A CENTRAL ANGLE OF 53°36'41", AN ARC LENGTH OF 414.51 FEET, THE CHORD OF WHICH BEARS S 09°37'38" E, A DISTANCE OF 399.56 FEET;
4. S 36°25'59" E, A DISTANCE OF 274.96 FEET;
5. S 36°35'41" E, A DISTANCE OF 227.58 FEET;
6. S 00°45'11" E, A DISTANCE OF 632.86 FEET TO A POINT OF CURVATURE;
7. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 120.00 FEET, A CENTRAL ANGLE OF 90°46'18" AN ARC LENGTH OF 190.11 FEET, THE CHORD OF WHICH BEARS S44°37'58"W, A DISTANCE OF 170.84 FEET;
8. N 89°58'53" W, ALONG THE NORTH LINE OF TRACT B, AS DEDICATED BY FOSTER PROPERTY SUBDIVISION PLAT, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 20060126000089590, SAID ADAMS COUNTY RECORDS, A DISTANCE OF 482.47 FEET TO A POINT OF CURVATURE;
9. ALONG SAID NORTH LINE AND ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 380.00 FEET, A CENTRAL ANGLE OF 18°17'17", AN ARC LENGTH OF 121.29 FEET, THE CHORD OF WHICH BEARS N 80°50'14" W, A DISTANCE OF 120.78 FEET;
10. N 71°41'36" W, ALONG SAID NORTH LINE, A DISTANCE OF 356.18 FEET TO A POINT ON THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, BEING A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING FOUR (4) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 847.00 FEET, A CENTRAL ANGLE OF 27°41'43" AN ARC LENGTH OF 409.42 FEET, THE CHORD OF WHICH BEARS N 03°01'11" W, A DISTANCE OF 405.44 FEET;
2. N 16°52'02" W, A DISTANCE OF 679.81 FEET TO A POINT OF CURVATURE
3. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 556.83 FEET, A CENTRAL ANGLE OF 17°16'41" AN ARC LENGTH OF 167.92 FEET, A CHORD OF WHICH BEARS N08°13'42"W, A DISTANCE OF 167.28 FEET;
4. N 0°42'47" W, A DISTANCE OF 229.50 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM, ANY PORTION OF THE BULL CANAL RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED IN BOOK 3136 AT PAGE 348, SAID ADAMS COUNTY RECORDS.

CONTAINING A NET AREA OF 3,722,282 SQUARE FEET OR 85.452 ACRES, MORE OR LESS AS SURVEYED.

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR S 00°42'31" E, FROM THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP, STAMPED "PLS 25645" TO THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIA. ALUMINUM CAP STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.



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PHONE: 720.602.4989
FAX: 844.273.1057

DATE: JANUARY 10, 2024

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS

Date Description

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 6 OF 14



HR GREEN - DENVER
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FAX: 844.273.1057

DATE: JANUARY 10, 2024

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

Submittals / Revisions	Date	Description

POINT OF COMMENCEMENT
WEST QUARTER COR., SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP,
STAMPED "PLS 25645",
IN A RANGE BOX

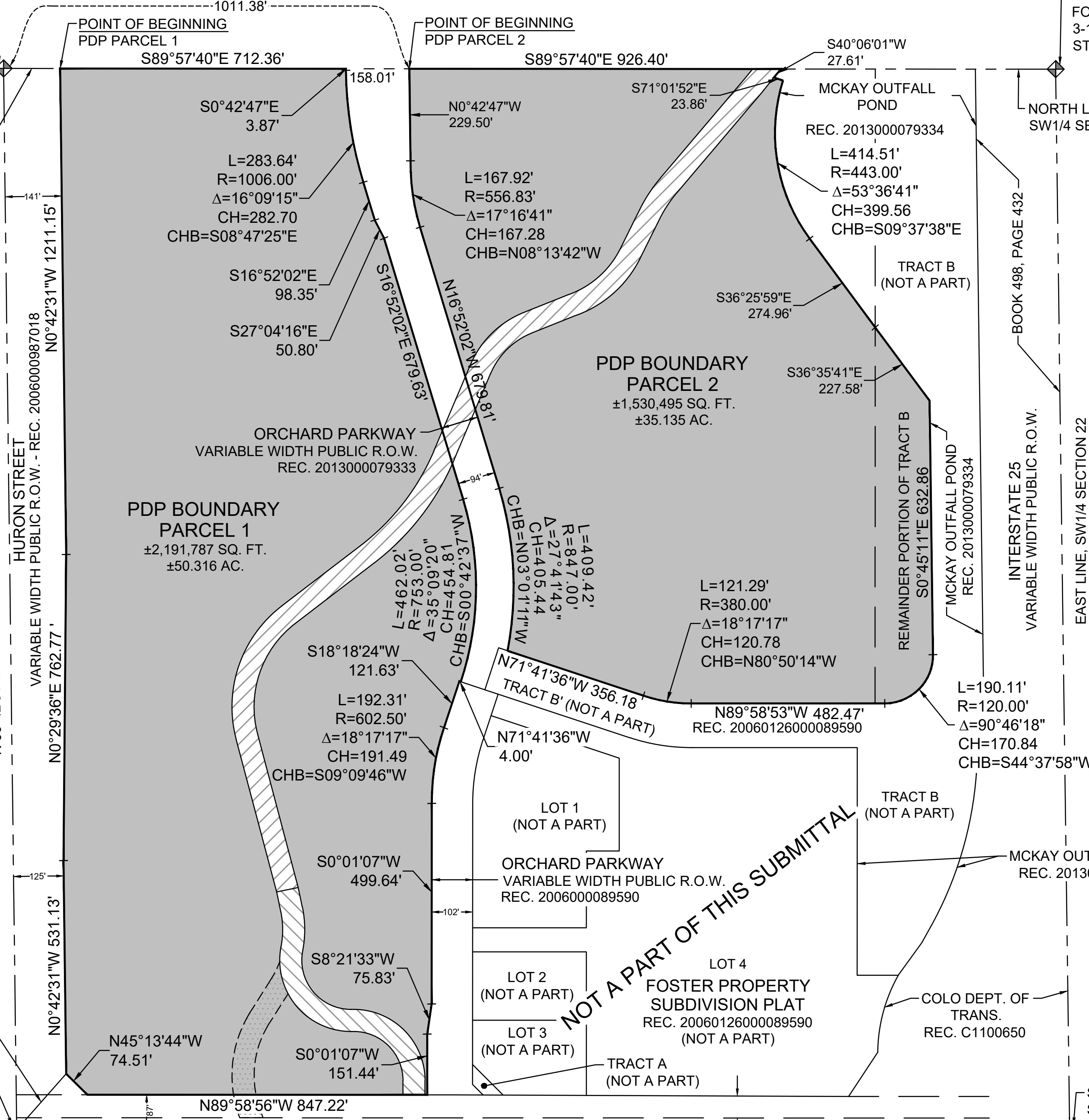
CENTER QUARTER COR.,
SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP,
STAMPED "PLS 37955"

- BULL CANAL R.O.W.
BK. 3136, PG. 348
BASED ON CENTERLINE
OF DITCH IMPROVEMENTS
- BULL CANAL R.O.W.
REC. 20041001000978540
- VACATED BULL CANAL R.O.W.
REC. 20041001000978560

SOUTHWEST COR., SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP,
STAMPED "PLS 25645",
IN A RANGE BOX

SOUTH QUARTER COR.,
SECTION 22
T1S, R68W, 6TH P.M.
FOUND #5 REBAR
W/ 3-1/4" DIA. ALUM. CAP,
STAMPED "PLS 29420"

BASIS OF BEARINGS



NOT A PART OF THIS SUBMITTAL

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 7 OF 14



CORE

CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

DATE: JANUARY 10, 2024

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

PLANNING AREA 1:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22, THENCE N 41°27'50" E, A DISTANCE OF 186.05 FEET TO A POINT ON THE EAST LINE OF THE HURON STREET RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2006000987018, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND THE POINT OF BEGINNING;

THENCE ALONG THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY, THE FOLLOWING TWO (2) COURSES:

1. N 00°42'31" W, A DISTANCE OF 531.13 FEET;
2. N 00°29'36" E, A DISTANCE OF 408.52 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 10.00 FEET, A CENTRAL ANGLE OF 89°59'51" AND AN ARC LENGTH OF 15.71 FEET;

THENCE S 89°30'33"E, A DISTANCE OF 776.24 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 455.00 FEET, A CENTRAL ANGLE OF 07°15'06" AND AN ARC LENGTH OF 57.59 FEET;

THENCE S 06°32'20"W, A DISTANCE OF 47.24 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT A HAVING A RADIUS OF 72.00 FEET, A CENTRAL ANGLE OF 20°51'51" AND AN ARC LENGTH OF 26.22 FEET TO A POINT OF NON-TANGENT REVERSE CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 51.54 FEET, A CENTRAL ANGLE OF 20°14'06", AN ARC LENGTH OF 18.20 FEET THE CHORD OF WHICH BEARS S 03°53'35" E, A DISTANCE OF 18.11 FEET;

THENCE S 06°32'20"W, A DISTANCE OF 19.59 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 535.00 FEET, A CENTRAL ANGLE OF 06°30'35" AND AN ARC LENGTH OF 60.78 FEET;

THENCE S 00°01'46"W, A DISTANCE OF 287.95 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 33°16'23" AND AN ARC LENGTH OF 29.04 FEET FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG THE ARC OF A REVERSE CURVE TO THE LEFT, HAVING A RADIUS OF 72.00 FEET, A CENTRAL ANGLE OF 33° 16' 23", AN ARC LENGTH OF 41.81 FEET;

THENCE S 00° 01' 46"W, A DISTANCE OF 151.37 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 72.00 FEET, A CENTRAL ANGLE OF 33°12'58" AND AN ARC LENGTH OF 41.74 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG THE ARC OF A REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 33°11'54" AND AN ARC LENGTH OF 28.97 FEET;

THENCE S 00° 00' 41" W, A DISTANCE OF 150.95 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 62.83 FEET;

THENCE S 00°00'41" W, A DISTANCE OF 22.00 FEET;

THENCE S 89°59'19" E, A DISTANCE OF 40.00 FEET;

THENCE S 00°00'41" W, A DISTANCE OF 34.31 FEET TO A POINT ON THE NORTH LINE THE WEST 136TH AVENUE RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. C1100650. SAID ADAMS COUNTY RECORDS;

THENCE N 89°58'56" W, ALONG SAID NORTH LINE A DISTANCE OF 779.25 FEET TO A POINT ON THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY;

THENCE N 45°13'44" W, ALONG SAID EAST LINE, A DISTANCE OF 74.51 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 828,405 SQUARE FEET OR 19.018 ACRES, MORE OR LESS.

PLANNING AREA 2:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 141.01 FEET TO A POINT ON THE EAST LINE OF THE HURON STREET RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2006000987018, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND THE POINT OF BEGINNING;

THENCE S 89°57'40" E, CONTINUING ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER CORNER OF SAID SECTION 22, A DISTANCE OF 712.36 FEET TO A POINT ON THE WEST LINE OF ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED AT RECEPTION NO. 2013000079333, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING FIVE(5) COURSES:

1. S 0°42'47" E, A DISTANCE OF 3.87 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1006.00 FEET, A CENTRAL ANGLE OF 16°09'15" AND AN ARC LENGTH OF 283.64 FEET;
3. S 16°52'02" E, A DISTANCE OF 98.35 FEET;
4. S 27°04'16" E, A DISTANCE OF 50.80 FEET;
5. S 16°52'02" E, A DISTANCE OF 501.58 FEET TO A POINT OF CURVATURE;

THENCE S 22°54'14" W, A DISTANCE OF 53.61 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 583.50 FEET, A CENTRAL ANGLE OF 22°14'57" AND AN ARC LENGTH OF 226.59 FEET;

THENCE S 44°48'35" E, A DISTANCE OF 55.00 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 110.00 FEET, A CENTRAL ANGLE OF 19°22'15" AND AN ARC LENGTH OF 37.19 FEET, THE CHORD OF WHICH BEARS S 32°47'57" E, A DISTANCE OF 37.01 FEET;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 115.00 FEET, A CENTRAL ANGLE OF 49°01'24" AND AN ARC LENGTH OF 98.40 FEET, THE CHORD OF WHICH BEARS S 17°58'22" E, A DISTANCE OF 95.42 FEET;

THENCE S 6°32'20" W, A DISTANCE OF 94.17 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 36.00 FEET, A CENTRAL ANGLE OF 22°11'30" AND AN ARC LENGTH OF 13.94 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 72.00 FEET, A CENTRAL ANGLE OF 22°11'30" AND AN ARC LENGTH OF 27.89 FEET, THE CHORD OF WHICH BEARS S 17°38'05" E, A DISTANCE OF 27.71 FEET;

THENCE S 6°32'20" W, A DISTANCE OF 43.86 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 545.00 FEET, A CENTRAL ANGLE OF 7°03'10" AND AN ARC LENGTH OF 67.09 FEET, THE CHORD OF WHICH BEARS N 85°58'58" W, A DISTANCE OF 67.04 FEET;

THENCE N 89°30'33" W, A DISTANCE OF 776.23 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 10.00 FEET, A CENTRAL ANGLE OF 90°00'09" AND AN ARC LENGTH OF 15.71 FEET TO A POINT ON THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY;

THENCE ALONG THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY, THE FOLLOWING TWO (2) COURSES:

1. N 0°29'36" E, ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 244.25 FEET;
2. N 0°42'31" W, ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 1211.15 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 1,222,982 SQUARE FEET OR 28.076 ACRES, MORE OR LESS.

SUBMITTALS / REVISIONS

Date Description

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 8 OF 14



CORE

CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

DATE: JANUARY 10, 2024

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

PLANNING AREA 3:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 1937.78 FEET TO A POINT ON THE WEST LINE OF MCKAY OUTFALL POND, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079334, SAID ADAMS COUNTY RECORDS;

THENCE S 40°06'01" W, ALONG SAID WEST LINE, A DISTANCE OF 27.60 FEET TO THE POINT OF BEGINNING;

THENCE ALONG THE WEST AND NORTH LINES OF SAID MCKAY OUTFALL POND, THE FOLLOWING NINE (9) COURSES:

1. S 71°01'52" E, A DISTANCE OF 23.86 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 443.00 FEET, A CENTRAL ANGLE OF 53°36'41" AND AN ARC LENGTH OF 414.51 FEET;
3. S 36°25'59" E, A DISTANCE OF 274.96 FEET;
4. S 36°35'41" E, A DISTANCE OF 227.58 FEET;
5. S 0°45'11" E, A DISTANCE OF 632.86 FEET TO A POINT OF CURVATURE;
6. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 120.00 FEET, A CENTRAL ANGLE OF 90°46'18" AND AN ARC LENGTH OF 190.11 FEET;
7. N 89°58'53" W, ALONG THE NORTH LINE LINE OF TRACT B, AS DEDICATED BY FOSTER PROPERTY SUBDIVISION PLAT, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 20060126000089590, SAID ADAMS COUNTY RECORDS, A DISTANCE OF 482.47 FEET TO A POINT OF CURVATURE;
8. ALONG SAID NORTH LINE AND ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 380.00 FEET, A CENTRAL ANGLE OF 18°17'17" AND AN ARC LENGTH OF 121.29 FEET;
9. N 71°41'36" W, ALONG SAID NORTH LINE, A DISTANCE OF 356.18 FEET TO A POINT ON THE EAST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079333 SAID ADAMS COUNT RECORDS, BEING A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING TWO (2) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 847.00 FEET, A CENTRAL ANGLE OF 27°41'43" AND AN ARC LENGTH OF 409.42 FEET;
2. N 16°52'02" W, A DISTANCE OF 205.01 FEET TO A POINT ON THE SOUTH LINE OF THE BULL CANAL RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED IN BOOK 3136 AT PAGE 348 OF SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE SOUTH LINE OF SAID BULL CANAL RIGHT-OF-WAY, THE FOLLOWING EIGHT (8) COURSES:

1. N 22°54'14" E, A DISTANCE OF 98.00 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 186.50 FEET, A CENTRAL ANGLE OF 45°28'47" AND AN ARC LENGTH OF 148.04 FEET, THE CHORD OF WHICH BEARS N 45°38'38" E, A DISTANCE OF 144.18 FEET;
3. N 68°23'01" E, A DISTANCE OF 109.99 FEET TO A POINT OF NON-TANGENT CURVATURE;
4. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 285.33 FEET, A CENTRAL ANGLE OF 45°25'17" AND AN ARC LENGTH OF 226.19 FEET, THE CHORD OF WHICH BEARS N 49°14'05" E, A DISTANCE OF 220.32 FEET;
5. N 26°26'16" E, A DISTANCE OF 99.11 FEET TO A POINT OF NON-TANGENT CURVATURE;
6. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 323.42 FEET, A CENTRAL ANGLE OF 16°22'23" AND AN ARC LENGTH OF 92.42 FEET, THE CHORD OF WHICH BEARS N 32°29'36" E, A DISTANCE OF 92.11 FEET;
7. N 40°14'45" E, A DISTANCE OF 325.03 FEET TO A POINT OF CURVATURE;
8. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 836.02 FEET, A CENTRAL ANGLE OF 3°18'24" AND AN ARC LENGTH OF 48.25 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 1,160,727 SQUARE FEET OR 26.647 ACRES, MORE OR LESS.

PLANNING AREA 4:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 1011.38 FEET TO A POINT ON THE EAST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079333, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND THE POINT OF BEGINNING;

THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 855.54 FEET, TO A POINT ON THE NORTH LINE OF THE BULL CANAL RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED IN BOOK 3136 AT PAGE 348, SAID ADAMS COUNTY RECORDS, BEING A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF SAID BULL CANAL RIGHT-OF-WAY, THE FOLLOWING EIGHT (8) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 801.27 FEET, A CENTRAL ANGLE OF 2°09'07" AND AN ARC LENGTH OF 30.09 FEET, THE CHORD OF WHICH BEARS S 39°10'12" W, A DISTANCE OF 30.09 FEET;
2. S 40°14'45" W, A DISTANCE OF 324.83 FEET TO A POINT OF NON-TANGENT CURVATURE;
3. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 378.42 FEET, A CENTRAL ANGLE OF 16°10'46" AND AN ARC LENGTH OF 106.86 FEET, THE CHORD OF WHICH BEARS S 32°33'27" W, A DISTANCE OF 106.51 FEET;
4. S 26°26'16" W, A DISTANCE OF 98.08 FEET TO A POINT OF NON-TANGENT CURVATURE;
5. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 230.33 FEET, A CENTRAL ANGLE OF 45°48'52" AN ARC LENGTH OF 184.17 FEET, THE CHORD OF WHICH BEARS S 49°26'28" W, A DISTANCE OF 179.30 FEET ;
6. S 68°23'01" W, A DISTANCE OF 111.79 FEET TO A POINT OF CURVATURE;
7. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 241.50 FEET, A CENTRAL ANGLE OF 45°28'47" AND AN ARC LENGTH OF 191.70 FEET;
8. S 22°54'14" W, A DISTANCE OF 31.92 FEET TO A POINT ON THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY;

THENCE ALONG THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING THREE (3) COURSES:

1. N 16°52'02" W, A DISTANCE OF 388.83 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 556.83 FEET, A CENTRAL ANGLE OF 17°16'41" AND AN ARC LENGTH OF 167.92 FEET;
3. N 0°42'47" W, A DISTANCE OF 229.50 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 369,768 SQUARE FEET OR 8.489 ACRES, MORE OR LESS.

SUBMITTALS / REVISIONS

Date Description

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 9 OF 14



CORE
CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

DATE: JANUARY 10, 2024

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

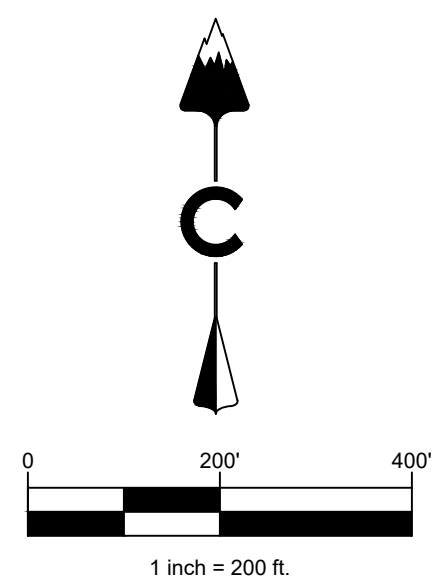
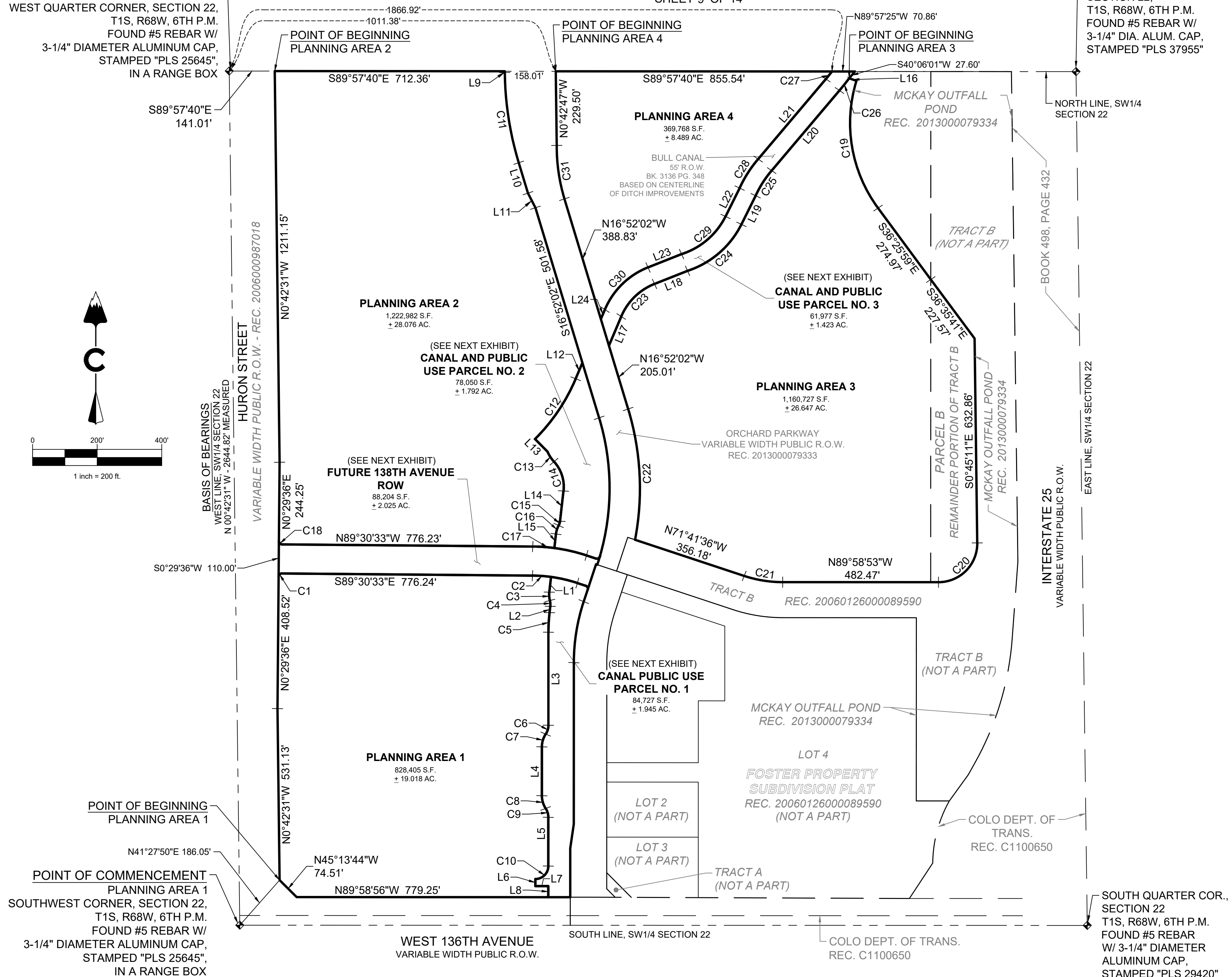
SUBMITTALS / REVISIONS	
Date	Description

POINT OF COMMENCEMENT
PLANNING AREAS 2, 3 & 4
WEST QUARTER CORNER, SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIAMETER ALUMINUM CAP,
STAMPED "PLS 25645",
IN A RANGE BOX

CENTER QUARTER COR.,
SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP,
STAMPED "PLS 37955"

POINT OF BEGINNING
PLANNING AREA 1
SOUTHWEST CORNER, SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIAMETER ALUMINUM CAP,
STAMPED "PLS 25645",
IN A RANGE BOX

SOUTH QUARTER COR.,
SECTION 22
T1S, R68W, 6TH P.M.
FOUND #5 REBAR
W/ 3-1/4" DIAMETER
ALUMINUM CAP,
STAMPED "PLS 29420"



BASIS OF BEARINGS
WEST LINE, SW1/4 SECTION 22
N 00°42'31" W - 2644.82' MEASURED

HURON STREET
VARIABLE WIDTH PUBLIC R.O.W. - REC. 2006000987018

WEST LINE, SW1/4 SECTION 22
N 00°42'31" W - 2644.82' MEASURED

VARIABLE WIDTH PUBLIC R.O.W. - REC. 2006000987018

S0°29'36"W 110.00'

N0°29'36"E 408.52'

N0°29'36"E 244.25'

N0°42'31"W 531.13'

N0°29'36"E 408.52'

N0°42'31"W 1211.15'

N0°29'36"E 244.25'

N0°42'31"W 1211.15'

N0°29'36"E 244.25'

N0°42'31"W 1211.15'

N0°29'36"E 244.25'

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N0°42'31"W 1211.15'

N0°29'36"E 244.25'

N0°42'31"W 1211.15'

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 10 OF 14

LINE AND CURVE TABLE FOR
PLANNING AREAS 1, 2, 3 AND 4



CORE

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DATE: JANUARY 10, 2024

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S6°32'20"W	47.24'
L2	S6°32'20"W	19.59'
L3	S0°01'46"W	287.95'
L4	S0°01'46"W	151.37'
L5	S0°00'41"W	150.95'
L6	S0°00'41"W	22.00'
L7	S89°59'19"E	40.00'
L8	S0°00'41"W	34.31'
L9	S0°42'47"E	3.87'

LINE TABLE		
LINE #	BEARING	DISTANCE
L10	S16°52'02"E	98.35'
L11	S27°04'16"E	50.80'
L12	N22°54'14"E	53.61'
L13	N44°48'35"W	55.00'
L14	S6°32'20"W	94.17'
L15	S6°32'20"W	43.86'
L16	S71°01'52"E	23.86'
L17	N22°54'14"E	98.00'
L18	N68°23'01"E	109.99'

LINE TABLE		
LINE #	BEARING	DISTANCE
L19	N26°26'16"E	99.11'
L20	N40°14'45"E	325.03'
L21	S40°14'45"W	324.83'
L22	S26°26'16"W	98.08'
L23	S68°23'01"W	111.79'
L24	S22°54'14"W	31.92'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	15.71'	10.00'	89°59'51"	N45°29'32"E	14.14'
C2	57.59'	455.00'	7°15'06"	S85°53'00"E	57.55'
C3	26.22'	72.00'	20°51'52"	N3°53'35"W	26.07'
C4	18.20'	51.54'	20°14'07"	N3°53'35"W	18.11'
C5	60.78'	535.00'	6°30'35"	N3°17'03"E	60.75'
C6	29.04'	50.00'	33°16'23"	N16°39'57"E	28.63'
C7	41.81'	72.00'	33°16'23"	N16°39'57"E	41.23'
C8	41.74'	72.00'	33°12'58"	N16°34'43"W	41.16'
C9	28.97'	50.00'	33°11'54"	N16°35'16"W	28.57'
C10	62.83'	40.00'	90°00'00"	N45°00'41"E	56.57'
C11	283.64'	1006.01'	16°09'15"	S8°47'24"E	282.70'
C12	226.59'	583.50'	22°14'58"	N34°01'43"E	225.17'
C13	37.19'	110.00'	19°22'15"	N32°47'57"W	37.01'
C14	98.40'	115.00'	49°01'24"	N17°58'22"W	95.42'
C15	13.94'	36.00 ⁰	22°11'30"	N17°38'05"E	13.86'
C16	226.53'	72.00'	22°11'37"	N17°38'32"E	27.71'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C17	67.09'	545.00'	7°03'10"	N85°58'58"W	67.04'
C18	15.71'	10.00'	90°00'09"	N44°30'28"W	14.14'
C19	414.51'	443.00'	53°36'41"	S9°37'38"E	399.56'
C20	190.11'	120.00'	90°46'18"	S44°37'58"W	170.84'
C21	121.29'	380.00'	18°17'17"	N80°50'14"W	120.78'
C22	409.42'	847.00'	27°41'43"	N3°01'11"W	405.44'
C23	148.04'	186.50'	45°28'47"	S45°38'38"W	144.18'
C24	226.19'	285.33'	45°25'17"	S49°14'05"W	220.32'
C25	92.42'	323.42'	16°22'23"	S32°29'36"W	92.11'
C26	48.25'	836.02'	3°18'25"	S38°36'44"W	48.25'
C27	30.09'	801.27'	2°09'07"	S39°10'12"W	30.09'
C28	106.86'	378.42'	16°10'46"	S32°33'27"W	106.51'
C29	184.17'	230.33'	45°48'52"	S49°26'28"W	179.30'
C30	191.70'	241.50'	45°28'47"	S45°38'38"W	186.70'
C31	167.92'	556.83'	17°16'41"	N8°13'42"W	167.28'

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS

Date Description

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 11 OF 14



CORE

CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
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DATE: JANUARY 10, 2024

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

CANAL AND PUBLIC USE PARCEL 1:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22, THENCE N 41°27'50" E, A DISTANCE OF 186.05 FEET TO A POINT ON THE EAST LINE OF HURON STRET RIGHT-OFWEAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2006000987018 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE;
THENCE S 45°13'44" E, A DISTANCE OF 74.51 FEET TO A POINT ON THE NORTH LINE OF THE WEST 136TH AVENUE RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. C1100650, SAID ADAMS COUNTY RECORDS;
THENCE S 89°58'56" E, ALONG SAID NORTH LINE, A DISTANCE OF 779.25 FEET TO THE POINT OF BEGINNING;

THENCE N 00° 00' 41" E, A DISTANCE OF 34.31 FEET;

THENCE N 89° 59' 19" W, A DISTANCE OF 40.00 FEET;

THENCE N 00° 00' 41" E, A DISTANCE OF 22.00 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 90° 00' 00" AND AN ARC LENGTH OF 62.83 FEET, THE CHORD OF WHICH BEARS N 45° 00' 41" E, A DISTANCE OF 56.57 FEET;

THENCE N 00° 00' 41" E, A DISTANCE OF 150.95 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 33° 11' 53" AND AN ARC LENGTH OF 28.97 FEET, THE CHORD OF WHICH BEARS N 16° 35' 16" W, A DISTANCE OF 28.57 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG THE ARC OF A REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 72.00 FEET, A CENTRAL ANGLE OF 33° 12' 58" AND AN ARC LENGTH OF 41.74 FEET, THE CHORD OF WHICH BEARS N 16° 34' 43" W, A DISTANCE OF 41.16 FEET;

THENCE N 00° 01' 46" E, A DISTANCE OF 151.37 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 72.00 FEET, A CENTRAL ANGLE OF 33° 16' 23" AND AN ARC LENGTH OF 41.81 FEET, THE CHORD OF WHICH BEARS N 16° 39' 57" E, A DISTANCE OF 41.23 FEET TO A POINT OF REVERSE CURVATURE.

THENCE ALONG THE ARC OF A REVERSE CURVE TO THE LEFT, HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 33° 16' 23" AND AN ARC LENGTH OF 29.04 FEET, THE CHORD OF WHICH BEARS N 16° 39' 57" E, A DISTANCE OF 28.63 FEET;

THENCE N 00° 01' 46" E, A DISTANCE OF 287.95 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 535.00 FEET, A CENTRAL ANGLE OF 06° 30' 35" AND AN ARC LENGTH OF 60.78 FEET, THE CHORD OF WHICH BEARS N 03° 17' 03" E, A DISTANCE OF 60.75 FEET;

THENCE N 06° 32' 20" E, A DISTANCE OF 19.59 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 51.54 FEET, A CENTRAL ANGLE OF 20° 14' 07" AND AN ARC LENGTH OF 18.20 FEET, THE CHORD OF WHICH BEARS N 03° 53' 35" W, A DISTANCE OF 18.11 FEET TO A POINT OF NON-TANGENT REVERSE CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 72.00 FEET, A CENTRAL ANGLE OF 20° 51' 52" AND AN ARC LENGTH OF 26.22 FEET, THE CHORD OF WHICH BEARS N 03° 53' 35" W, A DISTANCE OF 26.07 FEET;

THENCE N 06° 32' 20" E, A DISTANCE OF 47.24 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 455.00 FEET, A CENTRAL ANGLE OF 10° 33' 25" AND AN ARC LENGTH OF 83.84 FEET, THE CHORD OF WHICH BEARS S 76° 58' 44" E, A DISTANCE OF 83.72 FEET;

THENCE S 71° 42' 02" E, A DISTANCE OF 26.68 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 10.00 FEET, A CENTRAL ANGLE OF 90° 00' 26" AND AN ARC LENGTH OF 15.71 FEET, THE CHORD OF WHICH BEARS S 26° 41' 49" E, A DISTANCE OF 14.14 FEET TO A POINT ON THE WEST LINE OF ORCHARD PARKWAY RIGHT-OF-WAY, AS SHOWN IN THAT DEED RECORDED AT RECEPTION NO. 2006000089590, SAID ADAMS COUNTY RECORDS;

THENCE ALONG SAID WEST LINE THE FOLLOWING FIVE (5) COURSES:
1. S 18° 18' 24" W, A DISTANCE OF 38.38 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 602.50 FEET, A CENTRAL ANGLE OF 18° 17' 17" AND AN ARC LENGTH OF 192.31 FEET, THE CHORD OF WHICH BEARS S 09° 09' 45" W, A DISTANCE OF 191.49 FEET;
3. S 00° 01' 07" W, A DISTANCE OF 499.64 FEET;
4. S 08° 21' 33" W, A DISTANCE OF 75.83 FEET;
5. S 00° 01' 07" W, A DISTANCE OF 151.44 FEET TO A POINT ON THE NORTH LINE OF SAID WEST 136TH AVENUE RIGHT-OF-WAY;

THENCE N 89° 58' 56" W, ALONG SAID NORTH LINE, A DISTANCE OF 67.97 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 84,727 SQUARE FEET OR 1.945 ACRES, MORE OR LESS.

CANAL AND PUBLIC USE PARCEL 2:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 853.37 FEET TO A POINT ON THE WEST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079333, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE;

THENCE ALONG SAID WEST LINE, THE FOLLOWING FIVE (5) COURSES:
1. S 00°42'47" E, A DISTANCE OF 3.87 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1006.00 FEET, A CENTRAL ANGLE OF 16°09'15" AND AN ARC LENGTH OF 283.64 FEET;
3. S 16°52'02" E, A DISTANCE OF 98.35 FEET;
4. S 27°04'16" E, A DISTANCE OF 50.80 FEET;
5. S 16°52'02" E, A DISTANCE OF 501.58 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID WEST LINE, THE FOLLOWING TWO (2) COURSES:
1. S 16° 52' 02" E, A DISTANCE OF 178.05 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 753.00 FEET, A CENTRAL ANGLE OF 33° 05' 31" AND AN ARC LENGTH OF 434.90 FEET, THE CHORD OF WHICH BEARS S 00° 19' 17" E, A DISTANCE OF 428.88 FEET TO A POINT OF NON-TANGENT COMPOUND CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT COMPOUND CURVE TO THE RIGHT, HAVING A RADIUS OF 10.00 FEET, A CENTRAL ANGLE OF 92° 05' 14" AND AN ARC LENGTH OF 16.07 FEET, THE CHORD OF WHICH BEARS S 62° 15' 21" W, A DISTANCE OF 14.40 FEET;

THENCE N 71° 42' 02" W, A DISTANCE OF 30.21 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 545.00 FEET, A CENTRAL ANGLE OF 10° 45' 21" AND AN ARC LENGTH OF 102.31 FEET, THE CHORD OF WHICH BEARS N 77° 04' 42" W, A DISTANCE OF 102.16 FEET;

THENCE N 06° 32' 20" E, A DISTANCE OF 43.86 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 72.00 FEET, A CENTRAL ANGLE OF 22° 11' 30" AND AN ARC LENGTH OF 27.89 FEET, THE CHORD OF WHICH BEARS N 17° 38' 05" E, A DISTANCE OF 27.71 FEET TO A POINT OF NON-TANGENT REVERSE CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT REVERSE CURVE TO THE LEFT, HAVING A RADIUS OF 36.00 FEET, A CENTRAL ANGLE OF 22° 11' 30" AND AN ARC LENGTH OF 13.94 FEET, THE CHORD OF WHICH BEARS N 17° 38' 05" E, A DISTANCE OF 13.86 FEET;

THENCE N 06° 32' 20" E, A DISTANCE OF 94.17 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 115.00 FEET, A CENTRAL ANGLE OF 49° 01' 24" AND AN ARC LENGTH OF 98.40 FEET, THE CHORD OF WHICH BEARS N 17° 58' 22" W, A DISTANCE OF 95.42 FEET TO A POINT OF NON-TANGENT REVERSE CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 110.00 FEET, A CENTRAL ANGLE OF 19° 22' 15" AND AN ARC LENGTH OF 37.19 FEET, THE CHORD OF WHICH BEARS N 32° 47' 57" W, A DISTANCE OF 37.01 FEET;

THENCE N 44° 48' 35" W, A DISTANCE OF 55.00 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF A NON-TAGENT CURVE TO THE LEFT, HAVING A RADIUS OF 583.50 FEET, A CENTRAL ANGLE OF 22° 14' 58" AND AN ARC LENGTH OF 226.59 FEET, THE CHORD OF WHICH BEARS N 34° 01' 43" E, A DISTANCE OF 225.17 FEET;

THENCE N 22° 54' 14" E, A DISTANCE OF 53.61 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 78,050 SQUARE FEET OR 1.792 ACRES, MORE OR LESS.

SUBMITTALS / REVISIONS

Date Description

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 12 OF 14



CORE

CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

DATE: JANUARY 10, 2024

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

CANAL AND PUBLIC USE PARCEL NO. 3:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22, THENCE S 89°57'40" E, ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 1866.92 FEET TO THE POINT OF BEGINNING;

THENCE S 89°57'40" E, CONTINUING ALONG SAID NORTH LINE, A DISTANCE OF 70.86 FEET TO A POINT ON THE SOUTH LINE OF THE BULL CANAL RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED IN BOOK 3136 AT PAGE 348 OF SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE SOUTH LINE OF SAID BULL CANAL RIGHT-OF-WAY, THE FOLLOWING NINE (9) COURSES:

1. S 40°06'01" E, A DISTANCE OF 27.60 FEET TO A POINT OF NON-TANGENT CURVATURE
2. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 836.02 FEET, A CENTRAL ANGLE OF 3°18'24", AN ARC LENGTH OF 48.25 FEET, THE CHORD OF WHICH BEARS S 38°36'44" W, A DISTANCE OF 48.25 FEET;
3. S 40°14'45" W, A DISTANCE OF 325.03 FEET TO A POINT OF NON-TANGENT CURVATURE;
4. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 323.42 FEET, A CENTRAL ANGLE OF 16°22'23" AND AN ARC LENGTH OF 92.42 FEET, THE CHORD OF WHICH BEARS S 32°29'36" W, A DISTANCE OF 92.11 FEET;
5. S 26°26'16" W, A DISTANCE OF 99.11 FEET TO A POINT OF NON-TANGENT CURVATURE;
6. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 285.33 FEET, A CENTRAL ANGLE OF 45°25'17" AN ARC LENGTH OF 226.19 FEET, THE CHORD OF WHICH BEARS S 49°14'05" W, A DISTANCE OF 220.32 FEET;
7. S 68°23'01" W, A DISTANCE OF 109.99 FEET TO A POINT OF NON-TANGENT CURVATURE;
8. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 186.50 FEET, A CENTRAL ANGLE OF 45°28'47" AN ARC LENGTH OF 148.04 FEET, THE CHORD OF WHICH BEARS S 45°38'38" W, A DISTANCE OF 144.18 FEET;
9. S 22°54'14" W, A DISTANCE OF 98.00 FEET TO A POINT ON THE EAST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079333 SAID ADAMS COUNTY RECORDS;

THENCE N 16°52'02" W, ALONG THE EAST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, A DISTANCE OF 85.97 FEET TO A POINT ON THE SOUTH LINE OF THE BULL CANAL RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED IN BOOK 3136 AT PAGE 348 OF SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE NORTH LINE OF SAID BULL CANAL RIGHT-OF-WAY, THE FOLLOWING EIGHT (8) COURSES:

1. N 22°54'14" E, A DISTANCE OF 31.92 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 241.50 FEET, A CENTRAL ANGLE OF 45°28'47" AND AN ARC LENGTH OF 191.70 FEET;
3. N 68°23'01" E, A DISTANCE OF 111.79 FEET TO A POINT OF NON-TANGENT CURVATURE;
4. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 230.33 FEET, A CENTRAL ANGLE OF 45°48'52" AND AN ARC LENGTH OF 184.17 FEET, THE CHORD OF WHICH BEARS N 49°26'28" E, A DISTANCE OF 179.30 FEET;
5. N 26°26'16" E, A DISTANCE OF 98.08 FEET TO A POINT OF NON-TANGENT CURVATURE;
6. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 378.42 FEET, A CENTRAL ANGLE OF 16°10'46" AND AN ARC LENGTH OF 106.86 FEET, THE CHORD OF WHICH BEARS N 32°33'27" E, A DISTANCE OF 106.51 FEET;
7. N 40°14'45" E, A DISTANCE OF 324.83 FEET TO A POINT OF NON-TANGENT CURVATURE;
8. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 801.27 FEET, A CENTRAL ANGLE OF 2°09'07" AND AN ARC LENGTH OF 30.09 FEET, THE CHORD OF WHICH BEARS N 39°10'12" E, A DISTANCE OF 30.09 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 61,977 SQUARE FEET OR 1.423 ACRES, MORE OR LESS.

FUTURE 138TH AVE R.O.W.:

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 00°42'31" W, FROM THE SOUTHWEST CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP STAMPED "PLS 25645" TO THE WEST QUARTER CORNER OF SAID SECTION 22, BEING MONUMENTED BY A #5 REBAR WITH A 3-1/4 INCH DIAMETER ALUMINUM CAP, STAMPED "PLS 25645", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22, THENCE N 41°27'50" E, A DISTANCE OF 186.05 FEET TO A POINT ON THE EAST LINE OF THE HURON STREET RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2006000987018, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE;

THENCE ALONG THE EAST LINE OF SAID HURON STREET RIGHT-OF-WAY, THE FOLLOWING TWO (2) COURSES:

1. N 00°42'31" W, A DISTANCE OF 531.13 FEET;
2. N 00°29'36" E, A DISTANCE OF 408.52 FEET TO THE POINT OF BEGINNING;

THENCE N 00°29'36" E, CONTINUING ALONG SAID EAST LINE, A DISTANCE OF 110.00 FEET TO A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 10.00 FEET, A CENTRAL ANGLE OF 90°00'09", AN ARC LENGTH OF 15.71 FEET AND A CHORD WHICH BEARS S 44°30'28" E, A DISTANCE OF 14.14 FEET;

THENCE S 89°30'33" E, A DISTANCE OF 776.23 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 545.00 FEET, A CENTRAL ANGLE OF 17°48'31" AND AN ARC LENGTH OF 169.40 FEET;

THENCE S 71°42'02" E, A DISTANCE OF 30.21 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT A HAVING A RADIUS OF 10.00 FEET, A CENTRAL ANGLE OF 92°05'14" AND AN ARC LENGTH OF 16.07 FEET TO A POINT ON THE WEST LINE OF THE ORCHARD PARKWAY RIGHT-OF-WAY, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2013000079333 SAID ADAMS COUNTY RECORDS, ALSO BEING A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE WEST LINE OF SAID ORCHARD PARKWAY RIGHT-OF-WAY, THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 753.00 FEET, A CENTRAL ANGLE OF 02°03'36", AN ARC LENGTH OF 27.07 FEET, THE CHORD OF WHICH BEARS S 17°15'08" E FOR A DISTANCE OF 27.07 FEET;
2. N 71°41'36" W, A DISTANCE OF 4.00 FEET;
3. S 18°18'24" W, A DISTANCE OF 83.25 FEET TO A POINT OF NON-TANGENT CURVATURE;

ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 10.00 FEET, A CENTRAL ANGLE OF 90°00'26", AN ARC LENGTH OF 15.71 FEET, THE CHORD OF WHICH BEARS N 26°41'49" W FOR A DISTANCE OF 14.14 FEET;

THENCE N 71°42'02" W, A DISTANCE OF 26.68 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 455.00 FEET, A CENTRAL ANGLE OF 17° 48' 31" AND AN ARC LENGTH OF 141.42 FEET;

THENCE N 89°30'33" W, A DISTANCE OF 776.24 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 10.00 FEET, A CENTRAL ANGLE OF 89°59'51" AND AN ARC LENGTH OF 15.71 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 88,204 SQUARE FEET OR 2.025 ACRES, MORE OR LESS.

SUBMITTALS / REVISIONS

Date Description

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 13 OF 14



CORE

CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

DATE: JANUARY 10, 2024

FOSTER FARM

SCHUCK-CHAPMAN COMPANIES

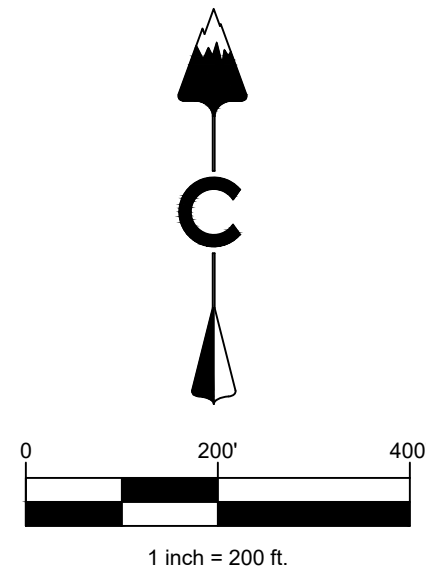
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS

Date Description

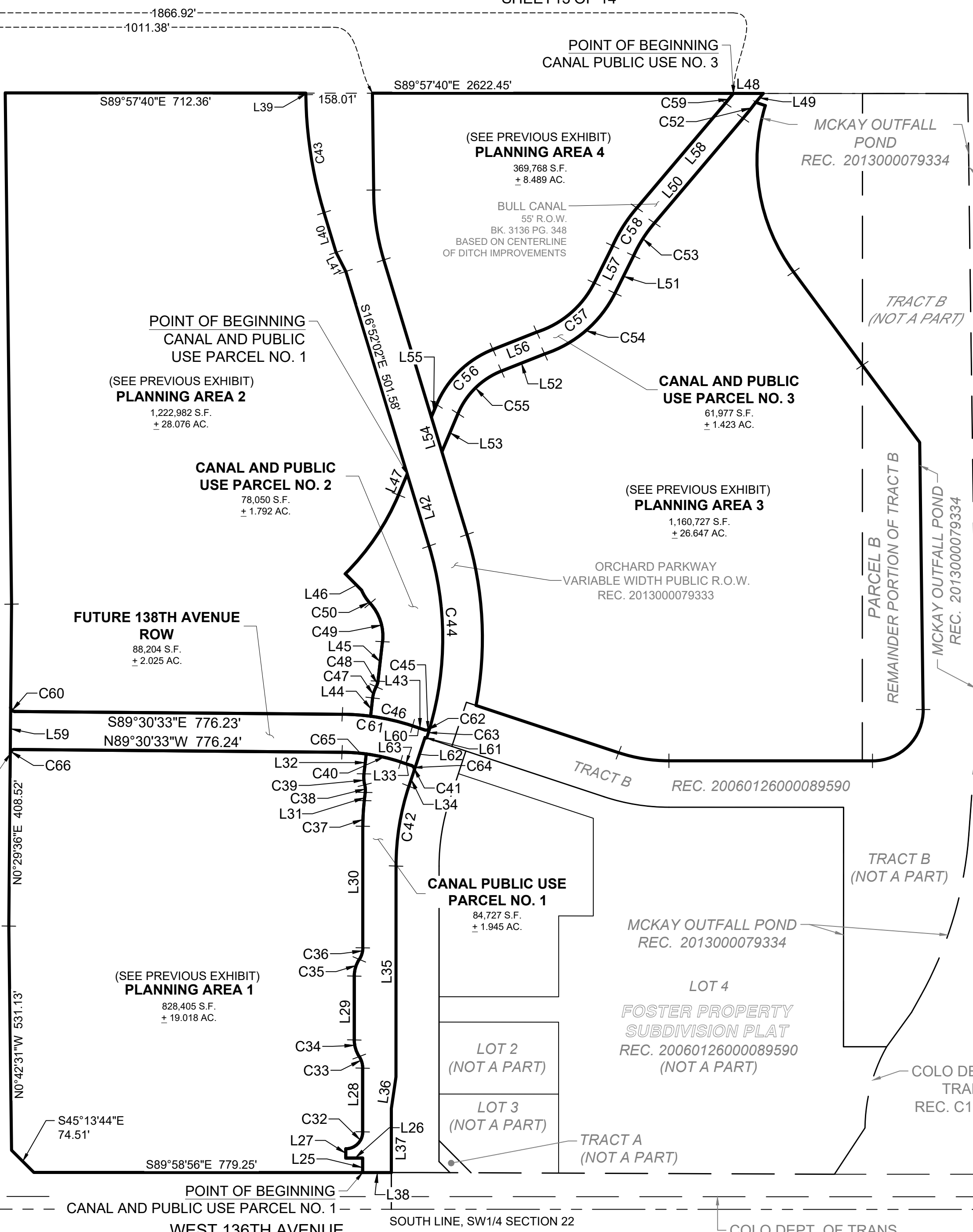
13 OF 14
C&PU PARCEL
EXHIBIT

POINT OF COMMENCEMENT
PLANNING AREAS 2, 3 & 4
WEST QUARTER CORNER, SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIAMETER ALUMINUM CAP,
STAMPED "PLS 25645",
IN A RANGE BOX



POINT OF COMMENCEMENT
PLANNING AREA 1
SOUTHWEST CORNER, SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIAMETER ALUMINUM CAP,
STAMPED "PLS 25645",
IN A RANGE BOX

BASIS OF BEARINGS
WEST LINE, SW1/4 SECTION 22
N 00°42'31" W - 2644.82' MEASURED
HURON STREET
VARIABLE WIDTH PUBLIC R.O.W. - REC. 20060000987018



CENTER QUARTER COR.,
SECTION 22,
T1S, R68W, 6TH P.M.
FOUND #5 REBAR W/
3-1/4" DIA. ALUM. CAP,
STAMPED "PLS 37955"

NORTH LINE, SW1/4
SECTION 22

INTERSTATE 25
VARIABLE WIDTH PUBLIC R.O.W.
EAST LINE, SW1/4 SECTION 22

BOOK 498, PAGE 432

SOUTH QUARTER COR.,
SECTION 22
T1S, R68W, 6TH P.M.
FOUND #5 REBAR
W/ 3-1/4" DIAMETER
ALUMINUM CAP,
STAMPED "PLS 29420"

COLO DEPT. OF TRANS.
REC. C1100650

COLO DEPT. OF
TRANS.
REC. C1100650

MCKAY OUTFALL POND
REC. 2013000079334

TRACT B
REC. 20060126000089590

ORCHARD PARKWAY
VARIABLE WIDTH PUBLIC R.O.W.
REC. 2013000079333

(SEE PREVIOUS EXHIBIT)
PLANNING AREA 3
1,160,727 S.F.
± 26.647 AC.

CANAL AND PUBLIC
USE PARCEL NO. 3
61,977 S.F.
± 1.423 AC.

BULL CANAL
55' R.O.W.
BK. 3136 PG. 348
BASED ON CENTERLINE
OF DITCH IMPROVEMENTS

(SEE PREVIOUS EXHIBIT)
PLANNING AREA 2
1,222,982 S.F.
± 28.076 AC.

CANAL AND PUBLIC
USE PARCEL NO. 2
78,050 S.F.
± 1.792 AC.

FUTURE 138TH AVENUE
ROW
88,204 S.F.
± 2.025 AC.

CANAL PUBLIC USE
PARCEL NO. 1
84,727 S.F.
± 1.945 AC.

(SEE PREVIOUS EXHIBIT)
PLANNING AREA 1
828,405 S.F.
± 19.018 AC.

LOT 4
FOSTER PROPERTY
SUBDIVISION PLAT
REC. 20060126000089590
(NOT A PART)

LOT 2
(NOT A PART)

LOT 3
(NOT A PART)

TRACT A
(NOT A PART)

TRACT B
(NOT A PART)

PARCEL B
REMAINDER PORTION OF TRACT B

MCKAY OUTFALL
POND
REC. 2013000079334

TRACT B
(NOT A PART)

MCKAY OUTFALL POND
REC. 2013000079334

MCKAY OUTFALL POND
REC. 2013000079334

SOUTH LINE, SW1/4 SECTION 22

POINT OF BEGINNING
CANAL AND PUBLIC USE PARCEL NO. 1
WEST 136TH AVENUE
VARIABLE WIDTH PUBLIC R.O.W.

POINT OF BEGINNING
FUTURE 138TH AVENUE ROW

POINT OF BEGINNING
CANAL PUBLIC USE NO. 3

5TH AMENDED PRELIMINARY DEVELOPMENT PLAN FOR

FOSTER PROPERTY

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 14 OF 14

LINE AND CURVE TABLE FOR CANAL
PUBLIC USE AREAS 1, 2 AND 3 AND
FUTURE 138TH AVENUE
RIGHT-OF-WAY



CORE
CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

DATE: JANUARY 10, 2024

LINE TABLE		
LINE #	BEARING	DISTANCE
L25	N0°00'41"E	34.31'
L26	N89°59'19"W	40.00'
L27	N0°00'41"E	22.00'
L28	N0°00'41"E	150.95'
L29	N0°01'46"E	151.37'
L30	N0°01'46"E	287.95'
L31	S6°32'20"W	19.59'
L32	N6°32'20"E	47.24'
L33	S71°42'02"E	26.68'
L34	N18°18'24"E	38.38'
L35	S0°01'07"W	499.64'
L36	S8°21'33"W	75.83'
L37	S0°01'07"W	151.44'

LINE TABLE		
LINE #	BEARING	DISTANCE
L38	N89°58'56"W	67.97'
L39	S0°42'47"E	3.87'
L40	S16°52'02"E	98.35'
L41	S27°04'16"E	50.80'
L42	S16°52'02"E	178.05'
L43	N71°42'02"W	30.21'
L44	N6°32'20"E	43.86'
L45	N6°32'20"E	94.17'
L46	N44°48'35"W	55.00'
L47	N22°54'14"E	53.61'
L48	S89°57'25"E	70.86'
L49	S40°06'01"W	27.60'
L50	S40°14'45"W	325.03'

LINE TABLE		
LINE #	BEARING	DISTANCE
L51	S26°26'16"W	99.11'
L52	S68°23'01"W	109.99'
L53	S22°54'14"W	98.00'
L54	N16°52'02"W	85.97'
L55	N22°54'14"E	31.92'
L56	N68°23'01"E	111.79'
L57	N26°26'16"E	98.08'
L58	N40°14'45"E	324.83'
L59	N0°29'36"E	110.00'
L60	S71°42'02"E	30.21'
L61	N71°41'36"W	4.00'
L62	S18°18'24"W	83.25'
L63	N71°42'02"W	26.68'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C32	62.83'	40.00'	90°00'00"	N45°00'41"E	56.57'
C33	28.97'	50.00'	33°11'54"	N16°35'16"W	28.57'
C34	41.74'	72.00'	33°12'58"	N16°34'43"W	41.16'
C35	41.81'	72.00'	33°16'23"	N16°39'57"E	41.23'
C36	29.04'	50.00'	33°16'23"	N16°39'57"E	28.63'
C37	60.78'	535.00'	6°30'35"	N3°17'03"E	60.75'
C38	18.20'	51.54'	20°14'07"	N3°53'35"W	18.11'
C39	26.22'	72.00'	20°51'52"	N3°53'35"W	26.07'
C40	83.84'	455.00'	10°33'25"	N76°58'44"W	83.72'
C41	15.71'	10.00'	90°00'26"	S26°41'49"E	14.14'
C42	192.31'	602.50'	18°17'17"	S9°09'46"W	191.49'
C43	283.64'	1006.00'	16°09'15"	S8°47'24"E	282.70'
C44	434.90'	753.00'	33°05'31"	S0°19'17"E	428.88'
C45	16.07'	10.00'	92°05'14"	N62°15'21"E	14.40'
C46	102.31'	545.00'	10°45'21"	N77°04'42"W	102.16'
C47	27.89'	72.00'	22°11'30"	N17°38'05"E	27.71'
C48	13.94'	36.00'	22°11'30"	N17°38'05"E	13.86'
C49	98.40'	115.00'	49°01'24"	N17°58'22"W	95.42'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C50	37.19'	110.00'	19°22'15"	N32°47'57"W	37.01'
C51	226.53'	583.50'	22°14'37"	N34°01'32"E	225.11'
C52	48.25'	836.02'	3°18'25"	S38°36'44"W	48.25'
C53	92.42'	323.42'	16°22'23"	S32°29'36"W	92.11'
C54	226.19'	285.33'	45°25'17"	S49°14'05"W	220.32'
C55	148.04'	186.50'	45°28'47"	S45°38'38"W	144.18'
C56	191.70'	241.50'	45°28'47"	S45°38'38"W	186.70'
C57	184.17'	230.33'	45°48'52"	N49°26'28"E	179.30'
C58	106.86'	378.42'	16°10'46"	N32°33'27"E	106.51'
C59	30.09'	801.27'	2°09'07"	N39°10'12"E	30.09'
C60	15.71'	10.00'	90°00'09"	S44°30'28"E	14.14'
C61	169.40'	545.00'	17°48'31"	S80°36'17"E	168.72'
C62	16.07'	10.00'	92°05'14"	N62°15'21"E	14.40'
C63	27.07'	753.00'	2°03'36"	S17°15'22"W	27.07'
C64	15.71'	10.00'	90°00'26"	N26°41'49"W	14.14'
C65	141.42'	455.00'	17°48'31"	N80°36'17"W	140.85'
C66	15.71'	10.00'	89°59'51"	S45°29'32"W	14.14'

FOSTER FARM
SCHUCK-CHAPMAN COMPANIES
5TH AMENDED PRELIMINARY DEVELOPMENT PLAN

SUBMITTALS / REVISIONS	
Date	Description



COMMERCIAL

This character type serves a variety of neighborhood and regional commercial needs and can be comprised of retail stores, eating establishments, banks, supermarkets, and business and professional offices. This character type is primarily intended for retail commercial uses, however, two sub-types of Commercial exist: Service Commercial and Commercial Mixed-use, which are further described below. This section describes the predominant Commercial character type.

Retail uses shall be located within walking distances of residential neighborhoods or in areas where retail uses are already established. Smaller-scale neighborhood commercial development is allowed on collector streets.

Auto service stations, convenience stores, drive-through facilities, and other similar uses may be permitted when incorporated into a larger commercial development but may be limited in quantity and scale and may be prohibited in locations that directly abut residential uses, public/quasi-public or institutional uses, or parks and open spaces if their impacts cannot be sufficiently mitigated. Where allowed, such facilities shall use contextual architectural design and be compatible with surrounding uses. Additionally, the site design shall orient outdoor activities such as gas pumps, lighting, outdoor menu boards and speakers, and vacuums away from residences. Such uses shall incorporate provisions on-site for changing vehicle technologies.



Examples: Country Club Village, Walnut Creek, Westminster Plaza

Table 3-8. Commercial Development Standards

Land Use	
Primary Uses	Retail Stores; Eating Establishments; Banks; Supermarkets; Professional Offices
Secondary Uses	Auto-Oriented Uses; Stand-alone uses with vehicle drive-throughs; Hotels; Child Care Facilities; Microbreweries; Live Entertainment; Medical Facilities
Development Characteristics	
Form and Guidelines	Buildings 1 to 3 stories depending on context, however, certain secondary uses may allow greater height; Parking preferred at rear, though some parking in front is typical; Direct linkages between residential and commercial uses; Employee and customer amenity spaces
Floor Area Ratio	Maximum 0.45 FAR



EMPLOYMENT - FLEX

This character type provides and protects land for flexible employment uses including offices, research and development facilities, and supportive uses. In general, office uses predominate this category. Light industrial uses (including warehouses, distribution, and wholesalers) may be allowed when located away from residential areas and adequately buffered from sensitive land uses, as shown in Map 3-2, or Flex/Light Industrial designated locations in the prior Comprehensive Plan. Manufacturing and assembly space is permitted when inclusive of storefront/showroom space for offices, sales or customer service. Uses that create objectionable levels of noise, vibration, odor, glare or hazards are not permitted. Outdoor storage must be screened from view. Hotel uses that support employment uses may be permitted through a master planned development. Support commercial uses integrated into employment buildings are permitted up to 10% of GFA. The city may impose stricter design standards for more intense uses.



Examples: Church Ranch Corporate Center, Park Centre, Westmoor



Table 3-12. Employment - Flex Development Standards

Land Use	
Primary Uses	Professional Offices; Research and Development Labs; Flex Office; Incubator Space
Secondary Uses	Manufacturing; Warehousing; Fabrication; Repair Shops; Wholesale Distributors; Production; Medical Facilities; Hotels; Support Commercial (eating establishments, pharmacies, business services, office supply)
Development Characteristics	
Form and Guidelines	Buildings 1 to 4 stories but may be allowed higher in Focus or Transition Areas or where adjacent to expressways; Employee and customer amenity spaces; Loading, service or storage areas screened from view; Architectural detailing for elevations within public view; Maximum 10% of GFA for support commercial or 15,000 square feet, whichever is less
Floor Area Ratio	Maximum 1.0 FAR (primary uses) Maximum 0.5 FAR (standalone secondary uses)

as a restaurant complex, but not surrounding residential neighborhoods. Permitted commercial support uses may include uses such as restaurants, coffee shops, health clubs, office supply stores, beauty-barber shops, cleaners, and drug stores. A business park development must provide for adequate buffers between adjacent uses. Depending on ease of access and the availability of large, contiguous vacant parcels (70 acres minimum), certain business parks areas may be appropriate for larger scaled regional commercial uses.

b. Office

Areas designated for office are intended for professional and commercial office uses, such as medical, real estate, law, and design offices. Offices shall be the primary use and manufacturing or warehousing uses will be prohibited. Support commercial, including restaurants and limited retail uses such as pharmacies and office supply facilities, may be allowed as a conditional use but only when developed in conjunction with and accessory to office uses. Commercial support uses are limited to 25 percent of the total building area and are restricted to 50 percent of the ground floor of a building.

c. Industrial

Industrial areas are typically comprised of a variety of businesses that may require on-site storage of materials, larger lot sizes and structures for operations, and direct access to trucking routes. Examples include: warehousing, fabrication facilities, repair shops, wholesale distributors, and light manufacturing. Industrial areas should be adequately buffered from other land uses. The City may impose a stricter standard for more intense industrial uses.

d. Office/Residential

Areas designated for Office/Residential are designated for professional offices and moderate density residential uses, located in a low-scale development that is compatible with surrounding residential neighborhoods. Support commercial, including restaurants and limited retail uses such as pharmacies and office supply facilities, may be allowed as a conditional use but only when developed in conjunction with and accessory to office uses. Commercial support uses are limited to 10 percent of the total building area and are restricted to 50 percent of the ground floor of a building. Developments in this category should be either residential or office and residential densities will not exceed 10 dwelling units per acre. Buildings will be limited to 2 stories. A combination of office/residential will be considered if the total area to be developed is a contiguous 10 acres or more.

Attachment 9
Public Comments
Received as of
February 20, 2024

From: John Carpenter <jfc4390@gmail.com>
Sent: Wednesday, January 31, 2024 3:21 PM
To: Kasza, Jacob
Subject: [EXTERNAL] Novera proposed project at 136th/Huron

Follow Up Flag: Flag for follow up
Flag Status: Completed

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Jacob,

I hope that all is well with you. The City's website that lists current development proposals mentions this development as approved. What is the status of it moving forward? Can I get a copy of the approved PDP and ODP?

This is the Foster property. MANY years ago when their PDP was approved, they were on the hook to set up a district to maintain the storm water detention pond and drainage areas on the south and east sides of their property. Is the new developer assuming those obligations? Have any tenants/developments for the site been announced? I am hoping for a Whole Foods or Trader Joes!

Also, what is the status of the project as the southwest corner of 104th and Sheridan? I know that is was approved months ago. Will the developer start overlot grading on thde site any time soon?

Thanks for your help with this. Say hi to your Dad for me.

John Carpenter

From: John Carpenter <jfc4390@gmail.com>
Sent: Wednesday, February 14, 2024 3:04 PM
To: Kasza, Jacob
Subject: Re: [EXTERNAL] Novera proposed project at 136th/Huron

Jacob,

Thanks for the reply. Glad to hear that that GID and not the ditch company will own tracts. I remember them being very uncooperative when the ditch was relocated as a part of the construction of the detention pond north of the Foster property. Do you anticipate any ODP applications in the near future for development on the site? Are they installing public art. The kinetic sculptures at the northeast and southeast corners of 136th and Orchard Parkway are somewhat iconic. Would be nice to get something memorable installed on this property, perhaps on the Orchard Parkway median where it bows out. There should have a pretty large amount of money that would have to spend for the City's public art requirement, assuming that has not changed since I retired.

Thanks for the information.

On Wed, Feb 14, 2024, 2:20 PM Kasza, Jacob <jpkasza@westminsterco.gov> wrote:

Hi John,

I have added some answers in red to your questions below.

Jacob

From: John Carpenter <jfc4390@gmail.com>
Sent: Tuesday, February 13, 2024 1:57 PM
To: Kasza, Jacob <jpkasza@westminsterco.gov>
Subject: Re: [EXTERNAL] Novera proposed project at 136th/Huron

Hi Jacob,

Thanks for the information on the Foster property. I am glad to see that no residential is proposed here! A few questions:

1) Who is responsible for installing landscaping and maintaining the barren medians in Orchard Parkway? What triggers the requirement to install the landscaping? Hopefully sooner than later!

The Business Improvement District and the Metro District to the north are responsible for the landscaping in the medians. We are tying it to their adjacent ODP approval. The developer/BID is looking at processing an ODP for master infrastructure and they might choose to include some of these areas at this earlier time.

2) Who will own and maintain Canal and Public Use parcels 1, 2 and Are and landscape improvements required? Will the public be able to access these parcels?

The BID will own and maintain all of these parcels. Landscaping is required, but the ditch company is not cooperating with this. They will still hold an easement over the canal and they don't want any landscaping other than a short native grass. We are still working on this. There will be at a minimum a gravel trail that follows along the canal and it will be publicly accessible. They are looking at building a small park like amenity on the Public Use parcel 2.

3) Will a trail be installed next to the Bull Canal east of Orchard Parkway?

At a minimum it will be a publicly accessible gravel trail.

4) Is PRL staff maintaining Tracts B and A and the detention pond to the north next to I-25?

My understanding is that they are. We are looking at some of our funding resources to ensure that the maintenance is paid for long term.

5) What will the BID construct and maintain?

The BID will move the canal and construct associated improvements, build 138th Avenue and associated traffic signal, construct a trail along the canal, pave the trail along the drainageway north of Lowes, and install and maintain all of the landscaping in the perimeter rights-of-way.

6) Will future developments be required to detain any flood water before releasing into Tracts B and C?

I do not believe we are requiring detention. We have discussed the need for some water quality treatment.

7) Is the City still requiring developers to install 8 foot wide concrete sidewalks set back at least 12 feet along arterial streets, like 136th Avenue and Huron Street, and major collector streets, like Orchard Parkway?

It generally would depend on what is specified in the Transportation and Mobility Plan and the Trail Master Plan. If those plans indicate the improvement is required, we would make them install it. The existing sidewalks along Huron, 136th, and Orchard will generally remain as they are now. When they move the canal, they will need to add that last stretch of sidewalk to Orchard Pkwy.

Thanks for the information.

John

On Thu, Feb 1, 2024, 11:11 AM Kasza, Jacob <jkasza@westminsterco.gov> wrote:

Hi John,

Things are going quite well for me, I hope the same for you.

For the Foster Property, they received approval of a PDP Amendment in 2022. I have attached that to this email. They are currently applying for another PDP Amendment to update the land uses to generally match the 2040 Comprehensive Plan.

They received approval of a BID in 2022. Those formation documents did not include a requirement to maintain the pond. They have not announced any retail tenants, but they are negotiating with smaller specialty grocers for the retail commercial component of the development.

The property at 104th and Sheridan was sold from Berkeley Homes to Toll Brothers last fall. Toll Brothers just applied for their Land Disturbance Permit this week. So hopefully they will get started soon. I will note, they do not need any approvals to clean up the debris piles. They could do that now as long as they follow the CDPHE requirements.

Jacob

From: John Carpenter <jfc4390@gmail.com>
Sent: Wednesday, January 31, 2024 3:21 PM
To: Kasza, Jacob <jkasza@westminsterco.gov>
Subject: [EXTERNAL] Novera proposed project at 136th/Huron

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Jacob,

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Also, what is the status of the project as the southwest corner of 104th and Sheridan? I know that is was approved months ago. Will the developer start overlot grading on thde site any time soon?

Thanks for your help with this. Say hi to your Dad for me.

John Carpenter

From: Harrison Yeager <hyeager@virtusre.com>
Sent: Thursday, September 28, 2023 9:32 AM
To: Kasza, Jacob
Subject: [EXTERNAL] RE: Foster Property PDP Amendment

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thanks Jacob.

Do you mind resending the attachments that you referenced? Looks like they didn't make it onto the 2nd email.



Harrison Yeager | Analyst - Healthcare
835 W. 6th Street, Suite 1500 | Austin, TX 78703
T: (512) 891-1274 | M: (512) 810-1557
www.virtusre.com

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From: Kasza, Jacob <jkasza@westminsterco.gov>
Sent: Thursday, September 28, 2023 10:17 AM
To: Harrison Yeager <hyeager@virtusre.com>
Subject: RE: Foster Property PDP Amendment

From: Kasza, Jacob <>
Sent: Thursday, September 28, 2023 8:40 AM
To: hyeager@virtusre.com
Subject: Foster Property PDP Amendment

Hi Harrison,

Here is a link to the page where you can find the City Council Study Session agenda and staff memos:
<https://www.westminsterco.gov/agendas>

Here is a link to the new 2040 Comprehensive Plan:
<https://www.westminsterco.gov/Government/Departments/CommunityDevelopment/Planning/LongRangePlanningandUrbanDesign/ComprehensivePlan>

Here is the old and not in effect 2013 Comprehensive Plan:
https://www.westminsterco.gov/Portals/1/Documents/Government%20-%20Documents/Departments/Community%20Development/Planning/COMPLETE%20Comp%20Plan_2015%20Update_WEB.pdf

I have also attached the 4th Amended PDP and their proposed changes, titled Attachment 2.

Let me know if you have any questions.

Jacob P. Kasza

Senior Planner

City of Westminster | Community Development

jpkasza@westminsterco.gov | 303.658.2400

4800 West 92nd Avenue, Westminster, CO 80031



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Agenda Memorandum

Agenda Item 3b.

Planning Commission Meeting February 27, 2024



*Strategic Priority 3: **Shared Sense of Community** – Foster equitable opportunities that help residents feel at home and connected in their community and empowered to live their best lives.*



*Strategic Priority 4: **Quality of Life** – Ensure that Westminster offers a diverse range of amenities and activities for residents, businesses, and visitors that honor the City's history and supports the arts, parks, recreation, open spaces, and libraries.*

SUBJECT: Public Hearing and Recommendation of an Official Development Plan for Uplands Filing 3, Block 2 / PA-C(2)

PREPARED BY: Nathan Lawrence, Senior Planner

RECOMMENDED PLANNING COMMISSION ACTION:

1. Hold a public hearing.
2. Recommend that City Council approve the Official Development Plan for Uplands Filing 3, Block 2 / PA-C(2). This recommendation is based on the finding that the Official Development Plan generally complies with the criteria in Section 11-5-15 of the Westminster Municipal Code.

SUMMARY STATEMENT:

- The proposed development consists of a 9.72-acre parcel located east of the intersection of Clay Street and West 87th Place, see Attachment 1. The Official Development Plan (ODP) comprises a larger 30.09-acre site which encapsulates street and sidewalk improvements. However, the development proposal is contained on the portion of the site located in Filing 3, Block 2.
- The applicant is requesting approval of an ODP that would facilitate the development of 247 multifamily residential homes accommodated in seven buildings, see Attachment 2.

FISCAL IMPACT:

\$0 in expenditures.

SOURCE OF FUNDS:

Not applicable.

POLICY ISSUE(S):

Should the Planning Commission recommend that City Council approve the ODP for the subject property known as Uplands Filing 3, Block 2 / PA-C(2)?

ALTERNATIVE(S):

The Planning Commission could choose to recommend City Council deny the ODP. Staff does not recommend this option because the ODP is generally supported by the criteria set forth in Section 11-5-15, Westminster Municipal Code (W.M.C.)

BACKGROUND INFORMATION:Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, depending upon the specific property and the proposed development, but typically requires a Preliminary Development Plan (PDP) and ODP pursuant to the land use allowances established by the Comprehensive Plan. The Comprehensive Plan includes specific land use designations that provide a broad range of uses and identify allowed densities and intensities of use. The W.M.C. requires that all development be in compliance with the Comprehensive Plan.

If the City Council chooses to approve this ODP, the applicant will need to secure approval of civil construction drawings and building permits before any construction could occur.

History of Subject Property

The subject property was annexed into the City in 1970. The property is currently zoned Planned Unit Development (PUD) with the PDP having been approved in December 2021. The property is vacant land and has generally been used for agricultural uses for approximately 100 years.

Nature of Request

The applicant is seeking approval of an ODP for Uplands Filing 3, Block 2 / PA-C(2). The proposed ODP allows for the construction of a total of 247 multifamily dwelling units. The project comprises seven three-story buildings. The proposal also includes a private amenity area containing a single-story club house, pool, playground, and sports court.

The applicant requested to advance this application to public hearings prior to the recordation of the Final Plat and approval of Construction Drawings associated with the public improvements within the larger Filing 3. Improvements shown in the Uplands Filing 3 Block 2 / PA-C(2) ODP are contingent upon the approval of the rest of the improvements in Filing 3.

The applicant is requesting 8 exceptions with the ODP. The exceptions and justifications for them are provided on Sheet 2 of the ODP, see Attachment 2.

Applicant

Service First Permits
 331 14th St. Ste. 200
 Denver, CO 80202
 Joseph Keresey
 Comments@S1permits.com
 (720) 498-7111

Property Owner

St Charles Town Company
 2368 15th Street, Suite B
 Denver, CO 80202

Location

The 9.72-acre project site is located east of the intersection of Clay Street and West 87th Place, see Attachment 1.

Surrounding Land Uses and Designations

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	City of Federal Heights	City of Federal Heights	N/A	Vacant/Park/Commercial
East	Highview Mobile Home Community	R-5	Residential Low Density	Single Family Residential
South	St. Anthony's Hospital	PUD	Employment-Office/Institutional Campus	Hospital/Institutional
West	Prospectors Point	PUD	Suburban Multifamily	Multifamily Residential

Public Notification

Section 11-5-13(A), W.M.C. requires the following three public notification procedures:

- Published Notice: Notice of public hearings scheduled before the Planning Commission or City Council shall be published and posted at least ten days prior to such hearing. Notice was published in the Westminster Window by the required deadline.

- **Property Posting:** Notice of the public hearing shall be posted on the property by the applicant with a minimum of one sign per every 660 linear feet of street frontage in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Sign(s) were posted on the subject property by the required deadline. The applicant has provided the City's Planning Manager with a certification that the sign(s) were posted and properly maintained throughout the posting period.
- **Written Notice:** At least ten days prior to the date of the public hearing, the applicant shall mail individual notices by first-class mail to all addresses within 1,000 feet of the subject property. The mailing list to be used shall be provided to the applicant by City staff. The applicant has provided the City's Planning Manager with a certification that the required notices were mailed by the required deadline.

Westminster Municipal Code Analysis

11-5-15. - Standards for Approval of Official Development Plans and Amendments to Official Development Plans.

(A) In reviewing an application for the approval of an Official Development Plan or amended Official Development Plan, the following criteria shall be considered:

- 1. The plan is in conformance with all City Codes, ordinances, and policies.*

The proposed ODP will generally meet all City Codes, ordinances, and policies with approval of the 8 exceptions listed on sheet 2 of the ODP. The 2040 Comprehensive Plan identifies the subject property as appropriate for "Suburban Multifamily" development. The Uplands PDP allows 247 units on this specific, PA(C)-2.

- 2. The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).*

With approval of the exceptions outlined on sheet 2 of the ODP, the ODP will generally comply with the Uplands PDP. The approximately four-acre Outlot A shown in Attachment 1, has been designated as Public Land Dedication (PLD) in the Uplands PDP.

- 3. The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.*

The plan of the proposed development was laid out in an efficient manner to accommodate the required number of affordable units, required parking, and a stormwater detention facility that serves other parcels outside the development site. Buildings 2B and 3D were shifted towards Clay Street to add to visual variety along that street frontage along with the inclusion of a 10-foot multi-use trail.

- 4. For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.*

The applicant is requesting 8 exceptions with the ODP. The exceptions and justifications for them are provided on sheet 2 of the ODP.

- 5. The plan is compatible and harmonious with existing public and private development in the surrounding area.*

Staff finds that the plan is generally compatible with existing public and private development in the surrounding area. Neighboring development includes Prospectors Point to the west, a multifamily project constructed at a similar density and scale. The mobile home community to the east consists of single-family homes built to a density similar to a single-family attached product.

- 6. The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

Staff finds that the proposed ODP generally provides for protection from influences surrounding the development. Building height is limited to three stories which matches the height of the Prospectors Point multifamily development across Clay Street to the west. A 35-foot landscape buffer and approximately 100-foot building setback from the Greenbriar Mobile Home Park to the east will provide adequate relief from the change in building height.

- 7. The plan has no significant adverse impacts on future land uses and future development of the immediate area.*

The proposed ODP has no significant adverse impacts on future land uses and future development. Adequate setbacks and landscaping have been provided around the perimeter of the development in keeping with the character of adjacent developments.

- 8. The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.*

The ODP proposes the construction of seven multifamily buildings oriented around a central amenity area with clubhouse. This amenity space will be a benefit to residents of the development. Garden courts have been provided between Buildings Two, Three, and Four.

- 9. Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.*

The applicant is requesting eight exceptions to the standards approved in the Uplands Master ODP for setbacks and building height step-down. All of these exceptions are justified on Sheet 2 of the ODP and reflect direct input from City Staff. Staff believes that these exceptions are in accordance with sound design principles and practice.

- 10. The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.*

The proposed design of the multifamily buildings and clubhouse are internally and externally compatible. Two different design styles have been proposed to offer additional variety to the architectural aesthetic of the project which generally conveys a contemporary farmhouse design vocabulary. This style should blend well with the adjacent existing development. The

applicant is requesting exceptions to the garage size and balcony size requirements from the Multifamily Design Standards, as listed on Sheet 2 of the ODP and reflect direct input from City Staff.

- 11. Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.*

No fencing, walls, or other screening aside from landscaping are proposed on the periphery of the project. The development is designed to fit in to the fabric of the existing community and the proposed use is compatible. There will be fencing installed around the storm detention pond in accordance with City safety regulations.

- 12. Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.*

Staff finds that landscaping is adequate and appropriate. The applicant is requesting three exceptions to the design standards for landscaping related to retaining wall height, provision of entrance medians, and landscaping quantities inside the ROW on West 88th Avenue. These exceptions are listed on Sheet 2 of the ODP and reflect direct input from City Staff.

- 13. Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.*

Staff have reviewed a traffic study for the development and find that the streets are adequate for the proposed development.

- 14. Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*

Staff finds that the proposed streets, parking, and access points will have been designed to promote safety, accessibility, minimum hazards, and meet the City's Engineering Standards and Specifications.

- 15. Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.*

The proposed development includes an abundance of new sidewalks connecting the various buildings within the development to the public streets on the north and west sides of the project site. Wide multi-use trails are proposed along the length of West 88th Avenue leading to Federal Boulevard and along Clay Street, which acts as the gateway to the project. Staff finds that the ODP will accommodate increased safety, convenience, and accessibility.

- 16. Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.*

The Public Works and Utilities Department (PWU) has reviewed the plans, Phase II Drainage Study, and Utility Study and found they can conform with the PDP and utility master plans associated with the Uplands development.

17. *The applicant is not in default or does not have any outstanding obligations to the City.*

The applicant is actively working to fulfill the obligations of the conditions of approval for the PDP.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an Official Development Plan or an amendment to an Official Development Plan.

Neighborhood Meeting(s) and Public Comments

A neighborhood meeting was held on August 2, 2023. In advance of the neighborhood meeting, the applicant mailed notice of the meeting to property owners, occupants, and homeowners associations registered with the City within 1,000 feet of the subject property. The meeting was also advertised on the City's website. Nine members of the public attended the project meeting. The applicant started the meeting with a presentation about the proposed development and staff gave an overview of the development review process.

Questions were raised about project funding sources, average income of families who qualify to live in the project, amount of landscaping, improvements to West 88th Avenue, and mitigation of construction traffic.

Public comments were received prior to the Planning Commission hearing, see Attachment 3.

Summary of Staff Recommendation

Staff recommends that the Planning Commission recommend approval of the ODP as it generally meets the standards for approval in Section 11-5-15, W.M.C.

STRATEGIC PLAN PRIORITIES:

The City's Strategic Plan priority of Shared Sense of Community is met through the creation of new affordable housing that will allow for a diversity of residents to make Westminster their home. The City's Strategic Plan priority of Quality of Life is met by facilitating the construction of new housing that offers residents access to park space, multi-use trails and other amenities.

Respectfully Submitted,



John McConnell, AICP
Interim Planning Manager

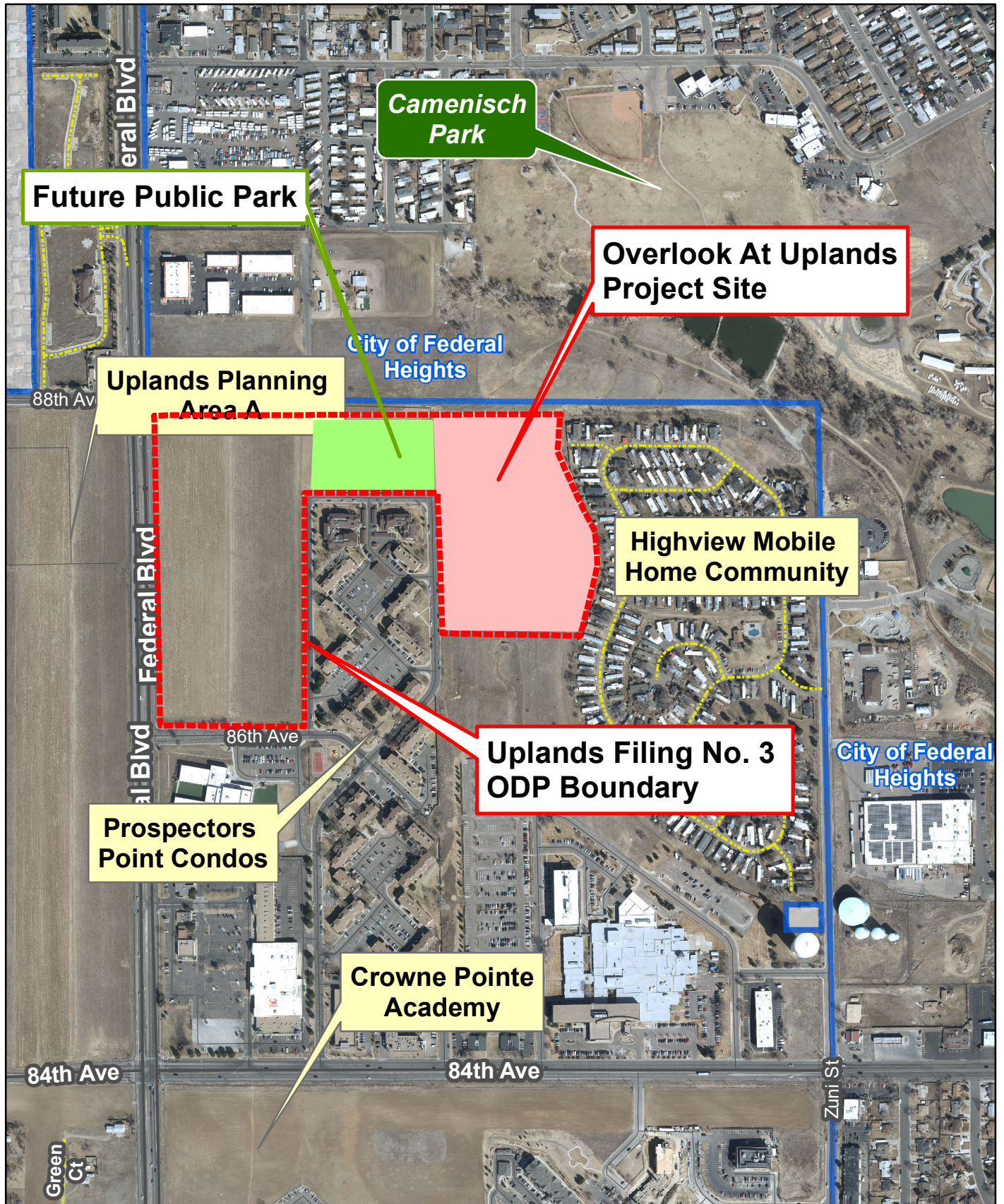
ATTACHMENTS:

Attachment 1: Vicinity Map

Attachment 2: Proposed Official Development Plan

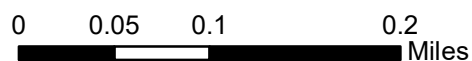
Attachment 3: Public Comment

ATTACHMENT 1



GIS-Apps\WestGIS\ArcGIS93Template\Westminster_Basic_93.mxd

VICINITY MAP



OFFICIAL DEVELOPMENT PLAN UPLANDS - FILING NO. 3 - BLOCK 2 A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER COUNTY OF ADAMS, STATE OF COLORADO SHEET 1 OF 72

LEGAL DESCRIPTION

ALL THAT CERTAIN PARCEL OF LAND SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH THAT PORTION OF BRYANT STREET VACATED BY ORDINANCE NO. 3198, SERIES OF 2005 RECORDED MARCH 7, 2005 UNDER RECEPTION NO. 20050307000226270 IN THE OFFICIAL RECORDS OF THE CLERK AND RECORDER, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 29, WHENCE THE NORTH LINE OF SAID NORTHEAST QUARTER BEARS NORTH 89°44'26" EAST, A DISTANCE OF 2,656.46 FEET WITH ALL BEARINGS HEREON REFERENCED THERETO;

THENCE SOUTH 45°08'32" EAST, A DISTANCE OF 71.21 FEET TO THE SOUTHWEST CORNER OF RIGHT-OF-WAY DEDICATION RECORDED OCTOBER 28, 1970 IN BOOK 1639, PAGE 307, IN SAID OFFICIAL RECORDS, SAID POINT ALSO BEING ON THE SOUTHERLY RIGHT-OF-WAY OF WEST 88TH AVENUE AND THE **POINT OF BEGINNING**;

THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID RIGHT-OF-WAY DEDICATION AND ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°44'26" EAST, A DISTANCE OF 1,582.10 FEET TO THE SOUTHEAST CORNER OF SAID RIGHT-OF-WAY DEDICATION, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT, BLOCK 1, GREENBRIER MOBILE HOME PARK RECORDED OCTOBER 28, 1970 AT RECEPTION NO. 904634 IN SAID RECORDS;

THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY ALONG THE WESTERLY BOUNDARY OF SAID LOT 1 THE FOLLOWING FOUR (4) COURSES:

1. SOUTH 01°21'04" EAST, A DISTANCE OF 225.02 FEET;
2. SOUTH 27°52'13" EAST, A DISTANCE OF 260.96 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 235.00 FEET;
3. SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 51°00'00", AN ARC LENGTH OF 209.17 FEET;
4. SOUTH 23°07'47" WEST, A DISTANCE OF 160.00 FEET TO THE NORTHEAST CORNER OF SPECIAL WARRANTY DEED RECORDED MARCH 17, 2005 UNDER RECEPTION NO. 2005000273450, IN SAID COUNTY RECORDS;

THENCE DEPARTING SAID WESTERLY BOUNDARY ALONG THE NORTHERLY BOUNDARY OF SAID SPECIAL WARRANTY DEED, SOUTH 88°57'27" WEST, A DISTANCE OF 525.30 FEET TO THE EASTERLY RIGHT-OF-WAY OF CLAY STREET AS DESCRIBED IN RIGHT-OF-WAY DEDICATION RECORDED OCTOBER 17, 1979 IN BOOK 2396, PAGE 694, IN SAID OFFICIAL RECORDS;

THENCE ALONG THE EASTERLY BOUNDARY SAID LAST DESCRIBED RIGHT-OF-WAY DEDICATION, NORTH 01°18'41" WEST, A DISTANCE OF 511.71 FEET TO THE NORTHEAST CORNER THEREOF;

THENCE ALONG THE NORTHERLY BOUNDARY OF SAID LAST DESCRIBED RIGHT-OF-WAY DEDICATION AND THE NORTHERLY AND WESTERLY BOUNDARIES OF THE RIGHT-OF-WAY DEDICATION RECORDED OCTOBER 17, 1979 IN BOOK 2396, PAGE 692, IN SAID OFFICIAL RECORDS THE FOLLOWING SIX (6) COURSES;

1. NORTH 89°44'14" WEST, A DISTANCE OF 540.06 FEET;
2. SOUTH 00°32'39" EAST, A DISTANCE OF 917.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 15.00 FEET
3. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET;
4. SOUTH 89°27'21" WEST, A DISTANCE OF 259.99 FEET;
5. NORTH 00°32'38", WEST, A DISTANCE OF 10.00 FEET;
6. SOUTH 89°27'22" WEST, A DISTANCE OF 299.99 FEET TO THE EASTERLY RIGHT-OF-WAY OF FEDERAL BOULEVARD;

THENCE DEPARTING SAID NORTHERLY BOUNDARY ALONG SAID DESCRIBED EASTERLY RIGHT-OF-WAY, NORTH 00°32'38" WEST, A DISTANCE OF 1235.85 FEET TO THE **POINT OF BEGINNING**.

CONTAINING AN AREA OF 30.091 ACRES (1,310,766 SQUARE FEET), MORE OR LESS

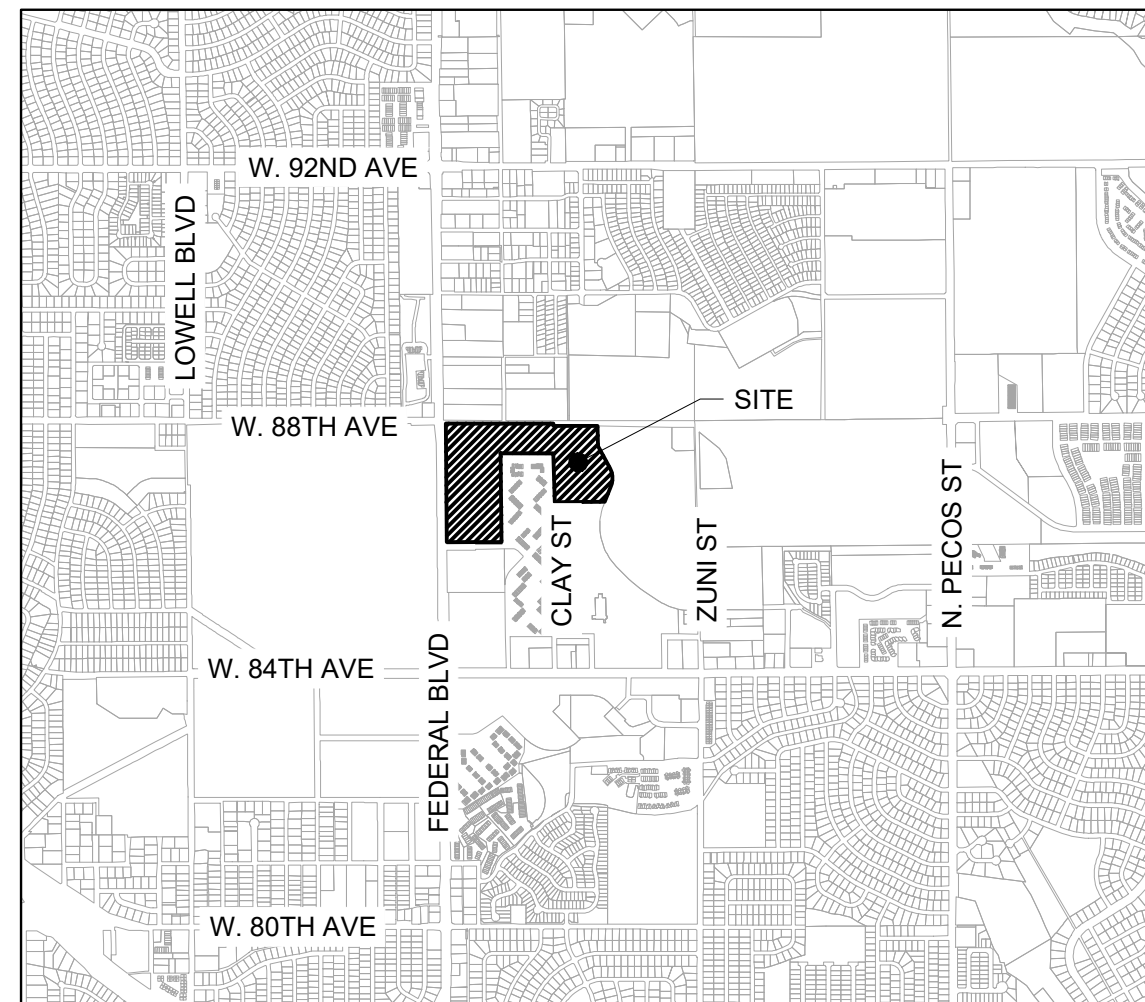
DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:

- THE PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE, WITH COMPLETION OF ALL BUILDINGS ANTICIPATED WITHIN 5 YEARS, SUBJECT TO MARKET CONDITIONS

VICINITY MAP - SCALE 1" = 2000'



PERMITTED USES:

- SINGLE FAMILY DETACHED, ALLEY LOADED
- SINGLE ALLEY ATTACHED - PAIRED HOME, ALLEY LOADED
- SINGLE FAMILY ATTACHED - TOWNHOME, ALLEY LOADED
- MULTI-FAMILY
- LIVE/WORK
- NURSING HOME/FACILITIES

REFER TO THE UPLANDS PRELIMINARY DEVELOPMENT PLAN FOR OVERALL PERMITTED/PROHIBITED USES BY PLANNING AREA THAT ARE NOT PROPOSED WITH THIS ODP.

PROHIBITED USES

ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

PROJECT SCOPE

THE ODP AREA CONTAINS 9.72 ACRES BOUND BY W 88TH AVE TO THE NORTH, CLAY ST TO THE WEST, AN EXISTING MOBILE HOME DEVELOPMENT TO THE EAST, AND UNDEVELOPED LAND TO THE SOUTH.

THE ODP PROPOSES A TOTAL OF 247 UNITS SPLIT BETWEEN 7 APARTMENT BUILDINGS, A CLUBHOUSE, AMENITY AREAS AND ASSOCIATED INFRASTRUCTURE.

SURVEYOR'S CERTIFICATE

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

DATE _____ REGISTERED _____ LAND SURVEYOR & NO. _____

CIVIL ENGINEER
CAGE CIVIL ENGINEERING
405 URBAN ST., STE. 404
LAKWOOD, CO 80228
DAN KATZ - DKATZ@CAGECIVIL.COM

PROPERTY OWNER
8775 CLAY STREET, LLC
2868 15TH STREET, SUITE B
DENVER, CO 80202
720.598.1300

LANDSCAPE ARCHITECT
OXBOW DESIGN COLLABORATIVE
209 N KALAMATH STREET UNIT 6
DENVER, CO 80223
JOHN YOUNG - JOHN@OXBOWDC.COM

ARCHITECT
KTGY ARCHITECTS
3660 BLAKE ST #500
DENVER, CO 80205
TERRY WILLIS - TWILLIS@KTGY.COM

OWNER APPROVAL

I, _____, AS _____ OF _____, A _____, PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____ TITLE _____

CITY APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

CHAIRMAN _____

ATTEST: CITY CLERK _____

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER
THIS _____ DAY OF _____, 20__.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT _____ O'CLOCK __M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

SHEET INDEX

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4	TYPICAL SECTIONS
5	EXISTING CONDITIONS
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41	PLANTING DETAILS
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ST. CHARLES
TOWN COMPANY

UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.10.2023

REVISIONS

5TH SUBMITTAL: 01.19.2024

4TH SUBMITTAL: 11.29.2023

3RD SUBMITTAL: 10.06.2023

2ND SUBMITTAL: 08.10.2023

1 OF 72

COVER SHEET

PROJECT NOTES

PARK DEVELOPMENT FEE:

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$1,583 PER MULTIFAMILY UNIT IS DUE TO THE CITY. FOR 247 DWELLINGS THE TOTAL FEE IS \$391,001. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

SCHOOL LAND DEDICATION:

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH IN LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR **MULTIFAMILY** A FEE OF \$112 PER MULTIFAMILY UNIT IS DUE TO THE CITY. FOR 247 DWELLINGS THE TOTAL FEE IS \$27,664. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR 9.72 ACRES A FEE OF \$19,440 IS DUE TO THE CITY.

RECOVERY COSTS:

ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

REQUIRED OFFSITE IMPROVEMENTS:

- 88TH AVENUE - IMPROVEMENTS AS SHOWN ON CROSS-SECTIONS WITHIN THIS DOCUMENT BETWEEN FEDERAL BOULEVARD AND LIMITS OF PA-C2.
- FULL INTERSECTION IMPROVEMENTS AT 88TH AND FEDERAL BOULEVARD INCLUDING SIGNALIZATION AS DICTATED BY TRAFFIC STUDY REQUIREMENTS
- WATER SYSTEM IMPROVEMENTS AS IDENTIFIED IN THE MEMORANDUM TITLED UPLANDS ONSITE AND OFFSITE WATER SYSTEM IMPROVEMENTS DATED FEBRUARY 19, 2021 PREPARED BY CITY OF WESTMINSTER PUBLIC WORKS AND UTILITIES.
- UPLANDS IS RESPONSIBLE FOR PAYING CASH-IN-LIEU FOR THE FOLLOWING SANITARY IMPROVEMENTS
 - UPSIZING THE SEWER IN DECATUR STREET AND 86TH AVENUE STARTING FROM MANHOLE I9MH029 AND TRAVELING SOUTH THROUGH H9MH018.
- WATER QUALITY AND DETENTION POND OUTFALL. THE OUTFALL WILL BE A CLOSED STORM SEWER SYSTEM THROUGH HYLAND HILLS PARK AND RECREATION DISTRICT (HHPRD) PROPERTY AND WILL DISCHARGE TO NIVER CREEK TRIBUTARY L. PERMISSION/EASEMENT WILL BE OBTAINED FROM HHPRD FOR CONSTRUCTION AND MAINTENANCE OF THE POND OUTFALL.
- 10' PEDESTRIAN/BICYCLE TRAIL FOR ACCESS FROM PA-C TO PA-E WITHIN THE EXISTING 88TH AVENUE ROW, AND COORDINATE WITH THE CITY AND HHPRD FOR ALIGNMENT. THE TRAIL SHALL CONNECT TO THE EXISTING HYLAND HILLS PARK AND RECREATION DISTRICT TRAIL SYSTEM AT CAMENISCH PARK.
- AT PUBLIC LAND DEDICATIONS, PUBLIC PARKS, AND OPEN SPACE, INSTALL WATER AND SANITARY STUB OUTS DURING UTILITY WORK. LOCATION AND SIZING OF STUB OUTS TO BE DETERMINED AT SITE SPECIFIC ODP'S.

PUBLIC LAND DEDICATION:

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. THE PUBLIC LAND DEDICATION FOR UPLANDS HAS BEEN COMPREHENSIVELY PLANNED ACROSS THE FULL 233.92 ACRE COMMUNITY.

34 ACRES OF PHYSICAL LAND DEDICATION ARE REQUIRED WITHIN UPLANDS AS DESCRIBED IN THE PDP. THIS INCLUDES A REQUIREMENT FOR 3.00 ACRES OF PHYSICAL LAND DEDICATION ON THE WESTERN SIDE OF PA-C(2):

THE PUBLIC LAND DEDICATION FOR PA-C(2) WILL BE DEDICATED WITH THE UPLANDS FILING NO. 3 FINAL PLAT AND WILL SATISFY ALL PLD REQUIREMENTS FOR THIS PROJECT

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 72

STANDARD STATEMENTS

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- L. PUBLIC STREET LIGHTS WILL BE INSTALLED, AS DESIGNED BY XCEL ENERGY, IN ACCORDANCE WITH THE CURRENT DESIGN STANDARDS EMPLOYED BY XCEL ENERGY AND APPROVED BY THE CITY OF WESTMINSTER, AT THE DEVELOPERS EXPENSE.
- M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFFSITE FOR OTHER PROPERTY.
- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.



UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

PARCELS	PHYSICAL PLD ACRES REQUIRED	PLD ACRES DEDICATED ODP PLN23-0014	PLD ACRES DEDICATED ODP PLN23-0061	PLD ACRES REMAINING	VIEW CORRIDOR ACRES REQUIRED	VIEW CORRIDOR ACRES DEDICATED ODP PLN23-0014	VIEW CORRIDOR ACRES DEDICATED ODP PLN23-0061	VIEW CORRIDOR ACRES REMAINING
PARCEL A	21.00 AC	-	-	21.00 AC	-	-	-	-
PARCEL B	6.06 AC	2.376	-	3.69 AC	3.28 AC	0.00	-	3.28 AC
PARCEL C	3.00 AC	-	0.00	3.00 AC	-	-	0.00	-
PARCEL D	4.24 AC	-	-	4.24 AC	3.07 AC	0.00	-	3.07 AC
PARCEL E	-	-	-	-	-	-	-	-
TOTAL	34.30 AC	2.376	0.00	31.93 AC	6.35 AC	0.00	0.00	6.35 AC

DESCRIPTION OF IMPROVEMENTS	INFRASTRUCTURE*	PAYEE	CONSTRUCTOR	OWNER	MAINTENANCE
BLOCK 2 (PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT IN PARCEL C2)	P, ST, D, W, S, U, L	8775 CLAY STREET, LLC	8775 CLAY STREET, LLC	8775 CLAY STREET, LLC	8775 CLAY STREET, LLC
88TH AVENUE IMPROVEMENTS FROM FEDERAL BLVD TO THE EASTERN BOUNDARY OF PARCEL C2	P, ST, U, L	8775 CLAY STREET, LLC	8775 CLAY STREET, LLC	CITY OF WESTMINSTER	CITY OF WESTMINSTER
DECATUR STREET IMPROVEMENTS FROM 87TH PLACE TO 88TH AVENUE	P, ST, U, L	8775 CLAY STREET, LLC	8775 CLAY STREET, LLC	CITY OF WESTMINSTER	CITY OF WESTMINSTER
87TH PLACE IMPROVEMENTS FROM FEDERAL BLVD TO DECATUR STREET	P, ST, U, L	8775 CLAY STREET, LLC	8775 CLAY STREET, LLC	CITY OF WESTMINSTER	CITY OF WESTMINSTER
CLAY STREET IMPROVEMENTS FROM 87TH PLACE TO 88TH AVENUE	P, ST, W, U, L	8775 CLAY STREET, LLC	8775 CLAY STREET, LLC	CITY OF WESTMINSTER	CITY OF WESTMINSTER
OUTLOT A (PROPOSED PLD AREA AT THE NORTHWEST CORNER OF W 87TH PL AND CLAY ST)	P, L	8775 CLAY STREET, LLC	8775 CLAY STREET, LLC	CITY OF WESTMINSTER	CITY OF WESTMINSTER

- *ABBREVIATIONS FOR INFRASTRUCTURE IMPROVEMENTS:
- P = PAVING, SIDEWALKS, CURB & GUTTER
 - ST = STORM SEWER AND INLETS
 - D = DETENTION FACILITY
 - W = WATER MAIN
 - S = SANITARY MAIN
 - U = DRY UTILITY INSTALLATION/RELOCATIONS
 - L = STREET LIGHTING IMPROVEMENTS

NOTE: THE MAINTENANCE RESPONSIBILITIES FOR THE PROPOSED WATER QUALITY AND DETENTION FACILITY WILL BE ASSIGNED TO THE UNDERLYING PROPERTY OWNER, OR ASSIGNEES, IN PERPETUITY.

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.10.2023

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NOTES

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 3 OF 72



ST. CHARLES
TOWN COMPANY

PUD EXCEPTIONS

THE FOLLOWING TEXT LISTS THE EXCEPTIONS REQUESTED FOR THIS PROJECT. THESE EXCEPTIONS TO THE WESTMINSTER MUNICIPAL CODE AND DESIGN STANDARDS ARE SUPPORTED BY THE INTENTIONAL FLEXIBILITY DESCRIBED IN THE PUD ZONE DISTRICT THAT GIVES THE CITY THE ABILITY TO UPDATE THESE CODES AND STANDARDS. THESE EXCEPTIONS ARE NECESSARY TO COMPLY WITH THE VISION FOR UPLANDS AND PROVIDE MUCH NEEDED HOUSING DIVERSITY WITHIN THE CITY OF WESTMINSTER. THEY ARE CONSISTENT WITH BEST PRACTICES IN NEIGHBORHOOD DESIGN IN MUNICIPALITIES ACROSS THE FRONT RANGE. SUPPORTING DOCUMENTS INCLUDE:

- 2013 COMPREHENSIVE PLAN - THE LAND USE DESIGNATION FOR THIS PLANNING AREA WAS AMENDED TO ALLOW FOR A LARGER VARIETY OF HOUSING TYPES
- WESTMINSTER MUNICIPAL CODE - THE SITE IS ZONED PUD; PER CODE, THIS ZONE DISTRICT IS INTENDED TO REFLECT MAXIMUM DESIGN FREEDOM TO FULLY UTILIZE THE PHYSICAL CHARACTERISTICS OF THE SITE, TO PROVIDE FOR DIVERSIFICATION AND FLEXIBILITY IN HOUSING TYPES, HOUSING PRICES AND OVERALL DESIGN AND TO ENCOURAGE HIGHER QUALITY DEVELOPMENT THAN POSSIBLE UNDER TRADITIONAL STANDARD ZONING REGULATIONS.
- PRELIMINARY DEVELOPMENT PLAN (PDP) - THE APPROVED PDP INCLUDES PLANNING PRINCIPLES THAT ENCOURAGE COMPACT, WALKABLE DEVELOPMENT ALONG WITH DIVERSE HOUSING TYPES AND SIZES

SETBACKS

STANDARD: PER THE PDP, PARCEL C: PERIMETER SETBACKS, MULTI-FAMILY SETBACKS FROM 88TH AVE IS 50 FT.

REQUEST: ENCROACHMENT OF RETAINING WALLS AND REGIONAL EXTENDED DETENTION BASIN WITHIN THE 50' SETBACK TO WITHIN 13' OF THE PROPOSED 88TH AVENUE ROW.

JUSTIFICATION: THE INTENT FOR THE SETBACK ALONG 88TH ASSUMES A COLLECTOR LEVEL OF SERVICE. 88TH AVENUE IS PROPOSED TO HAVE A REDUCED SECTION WIDTH AND A TURNAROUND TERMINUS ALONG THE FRONTAGE OF PARCEL C, EAST OF CLAY STREET. THEREFORE, THERE WILL BE SIGNIFICANTLY REDUCED VEHICLE TRAFFIC ADJACENT TO THE EXCEPTION. DUE TO THE EXISTING TOPOGRAPHY OF THE SITE, THE LOWEST POINT EXISTS AT THE VERY NORTHEAST CORNER OF THE SITE AND STORMWATER DETENTION REQUIRES THE LOWEST POINT OF ELEVATION TO BE FULLY FUNCTIONAL AND EFFECTIVELY CAPTURE AS MUCH ON-SITE RUNOFF AS POSSIBLE. NO ADVERSE IMPACTS TO THE PUBLIC WILL BE INCURRED BY THIS EXCEPTION.

STANDARD: PER THE PDP, PARCEL C: PERIMETER SETBACKS, MULTI-FAMILY SETBACK FROM EXISTING LOCAL STREETS (INCLUDING CLAY ST.) IS 40 FT.

REQUEST: MINIMUM SETBACK OF 14.9 FEET FROM BUILDING TO NEW PROPOSED ROW.

JUSTIFICATION: THE INTENT OF ALLOWING ENCROACHMENT OF BUILDINGS INTO THE 40' SETBACK ALONG CLAY STREET IS TO ALLOW FOR DIVERSITY IN THE ALIGNMENT OF BUILDINGS ALONG CLAY STREET TO BREAK THE VIEWING PLANE UP AND PROVIDE ARCHITECTURAL INTEREST ALONG AND NORTH OF W 87TH PLACE. IN ADDITION, THE ROW ALONG CLAY STREET IS EXPANDING BY 5 FEET TO ENCOMPASS THE PROPOSED 10 FOOT REGIONAL TRAIL WHICH PROVIDES AN OFFSETTING BENEFIT TO THE COMMUNITY. NO ADVERSE IMPACTS TO THE PUBLIC WILL BE INCURRED BY THIS EXCEPTION.

RETAINING WALLS

STANDARD: PER THE CITY OF WESTMINSTER LANDSCAPE REGULATIONS, RETAINING WALL HEIGHTS SHALL NOT EXCEED 4 FEET.

REQUEST: RETAINING WALL MAXIMUM HEIGHT OF 6 FEET INSTEAD OF 4 FEET.

JUSTIFICATION: THIS ODP CONTAINS A REGIONAL EXTENDED DETENTION FACILITY TO SERVE THE ENTIRETY OF UPLANDS PARCEL C. WITHIN THE PROPOSED FOOTPRINT OF THE EXTENDED DETENTION FACILITY, THE EXISTING TOPOGRAPHY CHANGES IN ELEVATION BY APPROXIMATELY 12'. TO MAKE THE DETENTION BASIN FUNCTIONAL, IT IS NECESSARY TO FLATTEN THIS AREA OUT THROUGH THE USE OF RETAINING WALLS. THE USE OF 6' WALLS INSTEAD OF 4' WALLS ALLOWS THE DETENTION BASIN TO UTILIZE THE EXISTING GRADE CHANGE AND GREATLY INCREASES THE CAPACITY OF THE REGIONAL EXTENDED BASIN. SAFETY RAILINGS AND/OR FENCING WILL BE INSTALLED ALONG THE ENTIRE PERIMETER OF THE DETENTION BASIN WHERE RETAINING WALLS EXIST AS A SAFETY PRECAUTION. NO ADVERSE IMPACTS TO THE PUBLIC WILL BE INCURRED BY THIS EXCEPTION.

ENTRANCE MEDIANS

STANDARD: PER THE CITY OF WESTMINSTER MULTI-FAMILY RESIDENTIAL DESIGN STANDARDS, LANDSCAPED STREET MEDIANS/ISLANDS ARE REQUIRED AT ENTRANCEWAYS.

REQUEST: PROVIDE ENHANCED LANDSCAPING ON EITHER SIDE OF THE ENTRANCES INSTEAD OF A LANDSCAPED MEDIAN.

JUSTIFICATION: THE PROPOSED WATER DISTRIBUTION DESIGN IN THIS ODP HAS WATER MAIN WITHIN IN BOTH PROJECT ENTRANCEWAYS TO CLAY STREET. PUBLIC WORKS PREFERS FOR LANDSCAPED MEDIANS TO NOT BE LOCATED IN CLOSE PROXIMITY TO WATER MAIN FOR MAINTENANCE REASONS. AS AN ALTERNATIVE, ENHANCED LANDSCAPING ON EITHER SIDE OF THE ENTRANCES IS TO BE PROVIDED.

GARAGES

STANDARD: GARAGE INTERIOR - MINIMUM DIMENSIONS, EXCLUDING ALL POSSIBLE AREAS OF STAIR LOCATIONS: DEPTH: SINGLE AND DOUBLE CAR GARAGES: 22 FEET. SINGLE CAR GARAGE WIDTH: 12 FEET. DOUBLE CAR GARAGE WIDTH: 20 FEET.

REQUEST: ALLOW GARAGE INTERIOR DIMENSIONS OF 10'-11" X 20'0".

JUSTIFICATION: GARAGE DIMENSIONS ARE ADEQUATE TO FIT CURRENT VEHICLE SIZES.

BALCONY

STANDARD: PRIVATE PATIOS (UNOBSTRUCTED 120 S.F. MINIMUM USABLE, FUNCTIONAL AREA) AND/OR BALCONIES (UNOBSTRUCTED 80 S.F. MINIMUM USABLE, FUNCTIONAL WITH SIX-FOOT MIN. DEPTH) SHALL BE PROVIDED ON AT LEAST 50% OF THE UNITS.

REQUEST: ALLOW AVERAGE BALCONY AND PATIO SIZES OF 45 S.F. IN LIEU OF 80 S.F. AND 120 S.F, RESPECTIVELY.

JUSTIFICATION. THE BALCONIES AND PATIOS ARE DESIGNED TO BE PROPORTIONATE TO THE UNIT SIZE AND ARE BALANCED WITH THE BUILDING ARCHITECTURE. THE MINIMUM 6'-0" BALCONY/PATIO DEPTH WILL BE MET. FURTHER, 100% OF THE UNITS ARE DESIGNED WITH A BALCONY OR PATIO.

BUILDING HEIGHT

STANDARD: BUILDINGS WITH MORE THAN TWO STORIES SHALL BE STEPPED DOWN AT THE EDGES OF THE STRUCTURE BY ONE STORY AT A MINIMUM TO AID TRANSITIONS BETWEEN BUILDING AND REDUCE THE MASS OF THE BUILDINGS. VERTICAL PLANES EXTENDING MORE THAN TWO STORIES ON TALLER BUILDINGS SHALL BE AVOIDED.

REQUEST: ALLOW FOR SOME BUILDINGS WITH NO STEP-DOWN AT THE EDGES OF THE STRUCTURE.

JUSTIFICATION: THE ROOFLINES OF EACH BUILDING ARE BROKEN UP AESTHETICALLY IN MULTIPLE WAYS INCLUDING THE USE OF DORMERS, DUTCH GABLE STEP DOWNS AT THE ROOF EDGES OF EACH STRUCTURE, AND MULTIPLE BUILDING STEPS THROUGHOUT THE ELEVATION OF EACH STRUCTURE WHICH ALL CONTRIBUTE TO REDUCING THE MASS OF THE BUILDINGS. BUILDING 7, THE LARGEST ON SITE, PROVIDES THE PREVIOUSLY MENTIONED ATTRIBUTES AND ADDITIONALLY STEPS DOWN TO TWO STORIES AT THE EDGES OF THE STRUCTURE.

88TH AVENUE ROW LANDSCAPE REQUIREMENTS

STANDARD: 1 TREE AND 3 SHRUBS ARE REQUIRED PER 550 SQ. FT. OF LANDSCAPE AREA WITHIN THE ROW.

REQUEST: ALLOW FOR THE REMOVAL OF ALL TREES AND SHRUBS IN THE RIGHT-OF-WAY ALONG 88TH AVENUE WITHIN THE PROPOSED TREE LAWN AREA.

JUSTIFICATION: NO TREES OR SHRUBS CAN BE PLANTED IN THE RIGHT OF WAY ALONG W 88TH AVENUE DUE TO AN EXISTING FORCE MAIN THAT RUNS DOWN THE MIDDLE OF THE TREE LAWN. LANDSCAPING IS PROVIDED OUTSIDE OF THE FORCE MAIN AREA.

PUD EXCEPTIONS CONTINUED

PDP CONDITION OF APPROVAL NOTE #5

STANDARD: PER THE CITY OF WESTMINSTER APPROVED UPLANDS PDP, "ALL FUTURE SITE SPECIFIC ODPS FOR PARCELS A, B, C, D, AND E THAT INCLUDE A PARK SHALL CONTAIN A NOTE THAT STATES: PRIVATE PARKS SHOWN ON THIS ODP SHALL BE AVAILABLE FOR USE BY THE GENERAL PUBLIC. A PUBLIC ACCESS EASEMENT SHALL BE RECORDED ON THE FINAL PLAT FOR THIS ODP."

REQUEST: NO PUBLIC ACCESS EASEMENT IS TO BE RECORDED ON THE FINAL PLAT FOR THIS ODP

JUSTIFICATION: THE PROPOSED COMMUNITY MEETS AND EXCEEDS THE PARK AREA REQUIREMENT AND DESIGN INTENT FOUND IN BOTH THE UPLANDS PDP AND THE MULTI-FAMILY DESIGN STANDARDS UTILIZING ONLY THE EXTERIOR AMENITY SPACES. THE AMENITIES PROVIDE MEANINGFUL AND PURPOSEFUL RECREATIONAL OPPORTUNITIES FOR THE CITY RESIDENTS IN THIS COMMUNITY INCLUDING A FLEX SOCCER/BASKETBALL COURT, PLAYGROUND, SPLASHPAD, POOL/HOT TUB (WITH SECURE ACCESS), AND BBQ AREAS. IN ADDITION, THE PROPOSED COMMUNITY PROVIDES AN ADDITIONAL 4,259 SF OF INTERIOR AMENITY SPACES OFFERING A COMPUTER CENTER, MEDIA ROOM, AND FITNESS CENTER. GIVEN THESE AMENITIES ARE INTERNAL TO THE COMMUNITY AND NOT ADJACENT TO OR ABUTTING THE PUBLIC RIGHT OF WAY, AND IN KEEPING WITH THE INTENT OF THE MULTI-FAMILY DESIGN STANDARDS, A PUBLIC ACCESS EASEMENT IS NOT WARRANTED. THE SITE DESIGN INCLUDED IN THIS ODP PROVIDES PUBLIC PEDESTRIAN CIRCULATION FOR ALL CITY RESIDENTS WITHIN THE RIGHTS-OF-WAY AND TO THE OVERALL TRAIL NETWORK, CREATING CONNECTIONS BETWEEN THE PUBLICLY ACCESSIBLE PRIVATE PARKS AND PUBLIC LAND DEDICATION THROUGHOUT UPLANDS, AS WELL AS THE ADJACENT PUBLIC PARKS NORTH OF WEST 88TH AVENUE.

COMPLIANCE WITH CITY COUNCIL CONDITIONS OF APPROVAL

PDP CONDITION OF APPROVAL NOTE #6

OWNER, AND ITS SUCCESSOR OR ASSIGN, PROPOSES TO MEET THE REQUIREMENTS SPECIFIED IN THE CONDITIONS OF APPROVAL NOTE #6 FROM THE APPROVED UPLANDS PRELIMINARY DEVELOPMENT PLAN AT RECEPTION #2022000055313 OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE THROUGH A LAND USE RESTRICTION AGREEMENT ADMINISTERED BY THE COLORADO HOUSING AND FINANCE AUTHORITY AND RECORDED NO LATER THAN 90 DAYS FOLLOWING THE FIRST BUILDING PLACED IN SERVICE DATE.

ZONING & LAND USE

	ZONING	LAND USE	COMP. PLAN DESIGNATION
PA-C(2)	PUD	VACANT LAND	SUBURBAN MULTIFAMILY
NORTH:	W 88TH	VACANT LAND	CITY OF FEDERAL HEIGHTS
SOUTH:	PUD	VACANT LAND	EMPLOYMENT-OFFICE/INSTITUTIONAL CAMPUS
EAST:	R-5	MOBILE HOMES	RESIDENTIAL LOW DENSITY
WEST:	PUD	MULTIFAMILY	SUBURBAN MULTIFAMILY

LOTS AND COVERAGE

TOTAL SITE AREA SF:	419,424 SF
BUILDING COVERAGE (SF & %):	98,324 SF (23%)
PARKING, DRIVES, AND WALKS (SF & %):	151,207 SF (36%)
LANDSCAPE AREA (SF & %):	169,893 SF (41%)

PROJECT/SITE DATA

ODP BOUNDARY AREA (SF/ACRES):	419,424 SF/9.63 ACRES
TOTAL UNIT COUNT	247 UNITS & 1 CLUBHOUSE
GFA (SF):	261,483
FFA (SF):	218,538
FAR/DU PER ACRE (#):	25 DU / ACRE
MAXIMUM BUILDING HEIGHT(S) (FT):	30 FT (TO BUILDING EAVE)

MINIMUM SETBACKS

	BUILDING	PARKING
FROM RIGHT-OF-WAY (FT):	50', 40' & 35'	35'
FROM INTERNAL PROPERTY LINES (FT):	N/A	15'
FROM INTERNAL ALLEYS & DRIVE AISLES (FT):	15'	15'
BETWEEN BUILDINGS (FT):	40' PARALLEL / 35' PERPENDICULAR	N/A

UPLANDS

DATE: 05.10.2023

**UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.10.2023

REVISIONS

5TH SUBMITTAL: 01.19.2024

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NOTES

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 4 OF 72

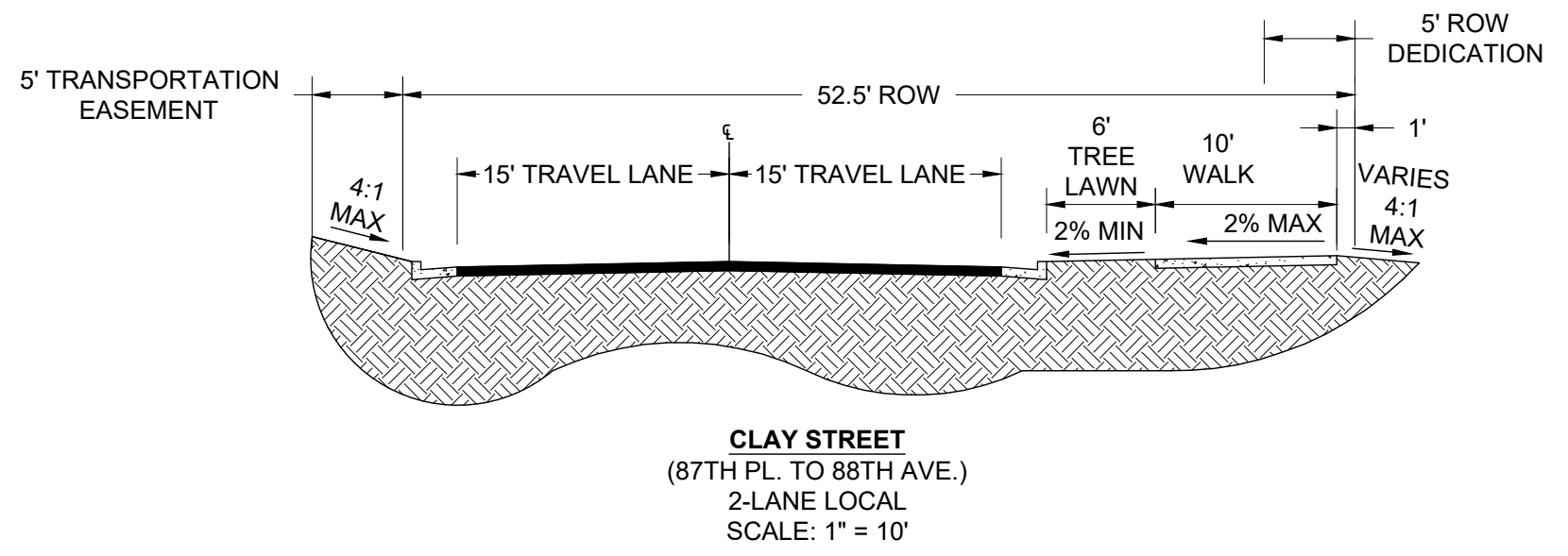
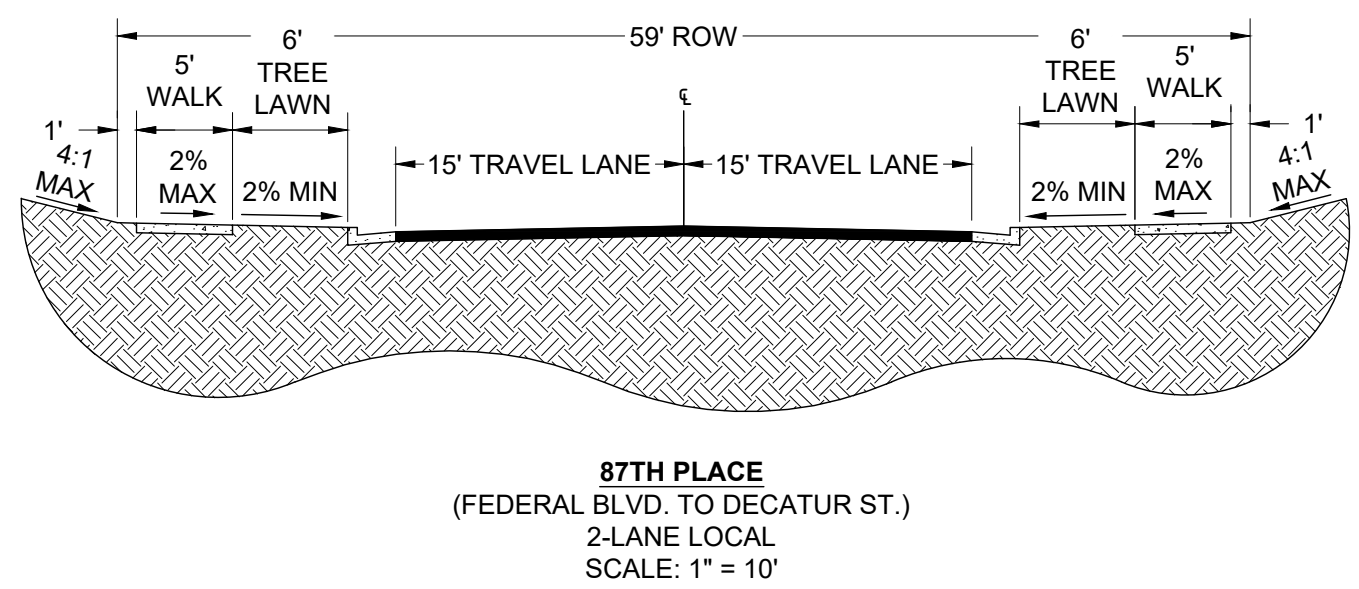
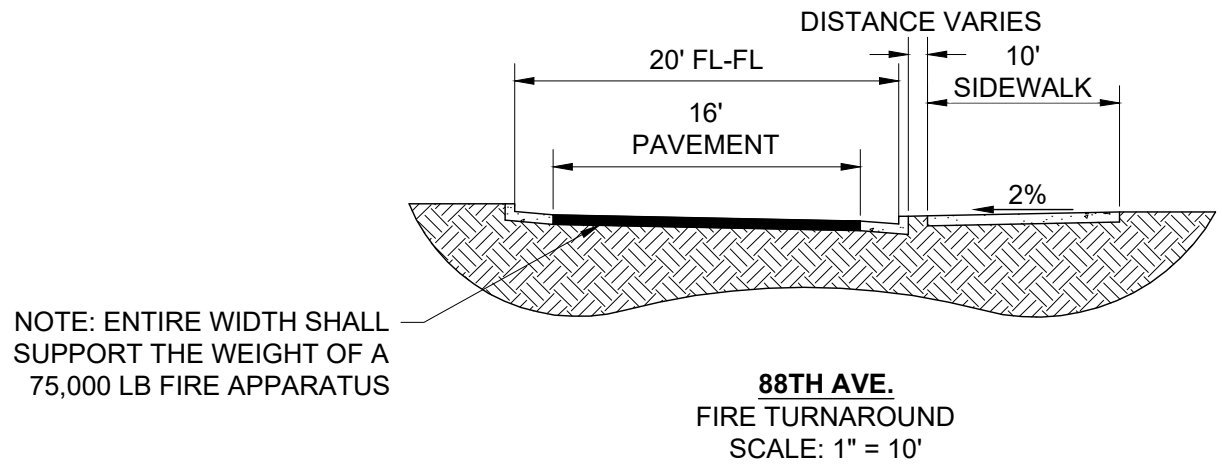
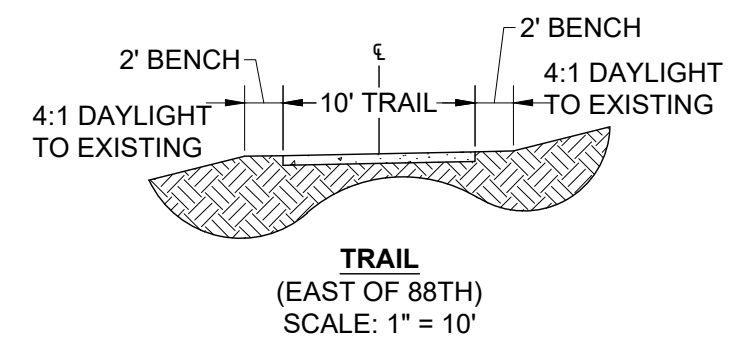
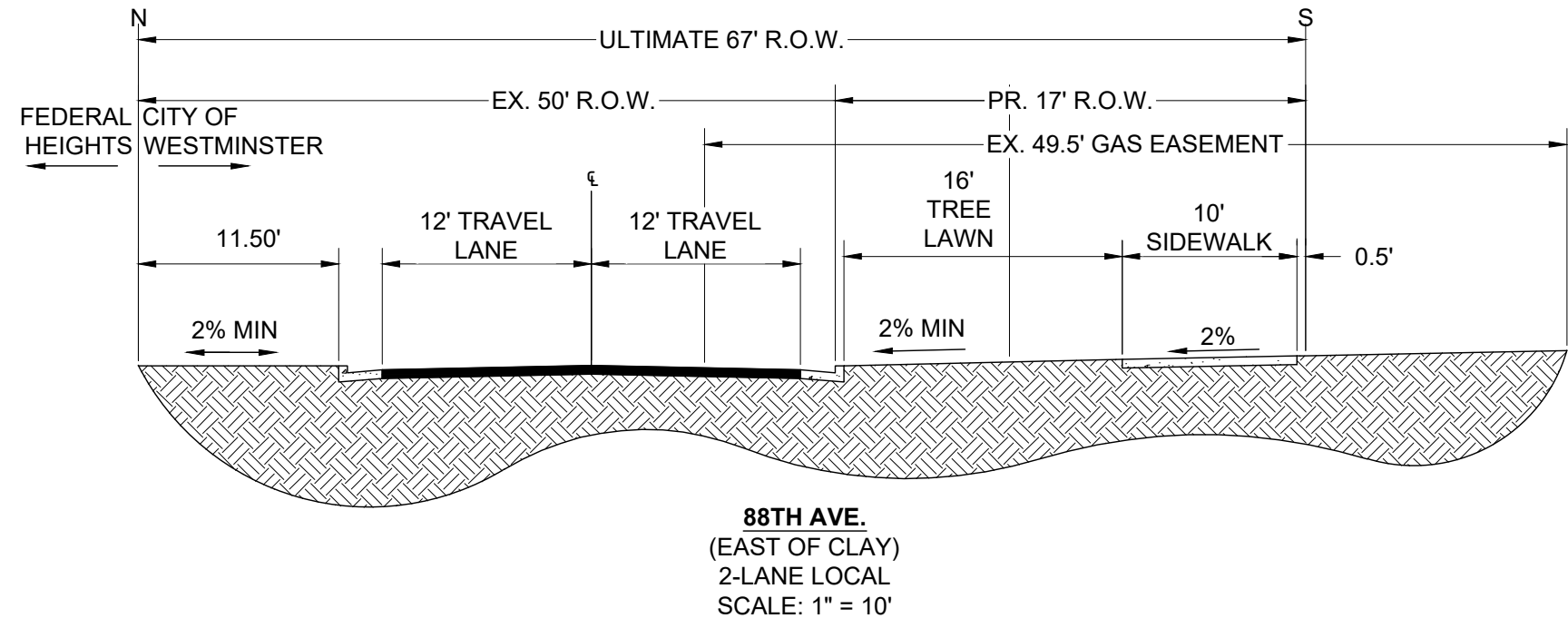
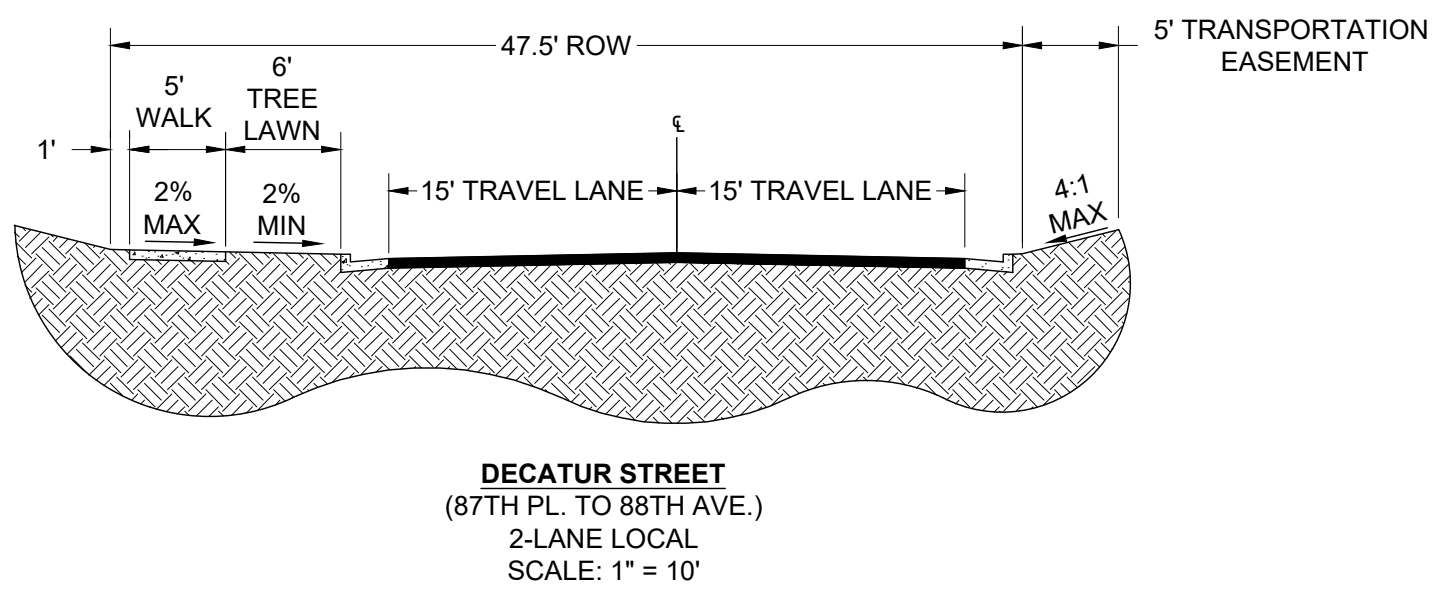
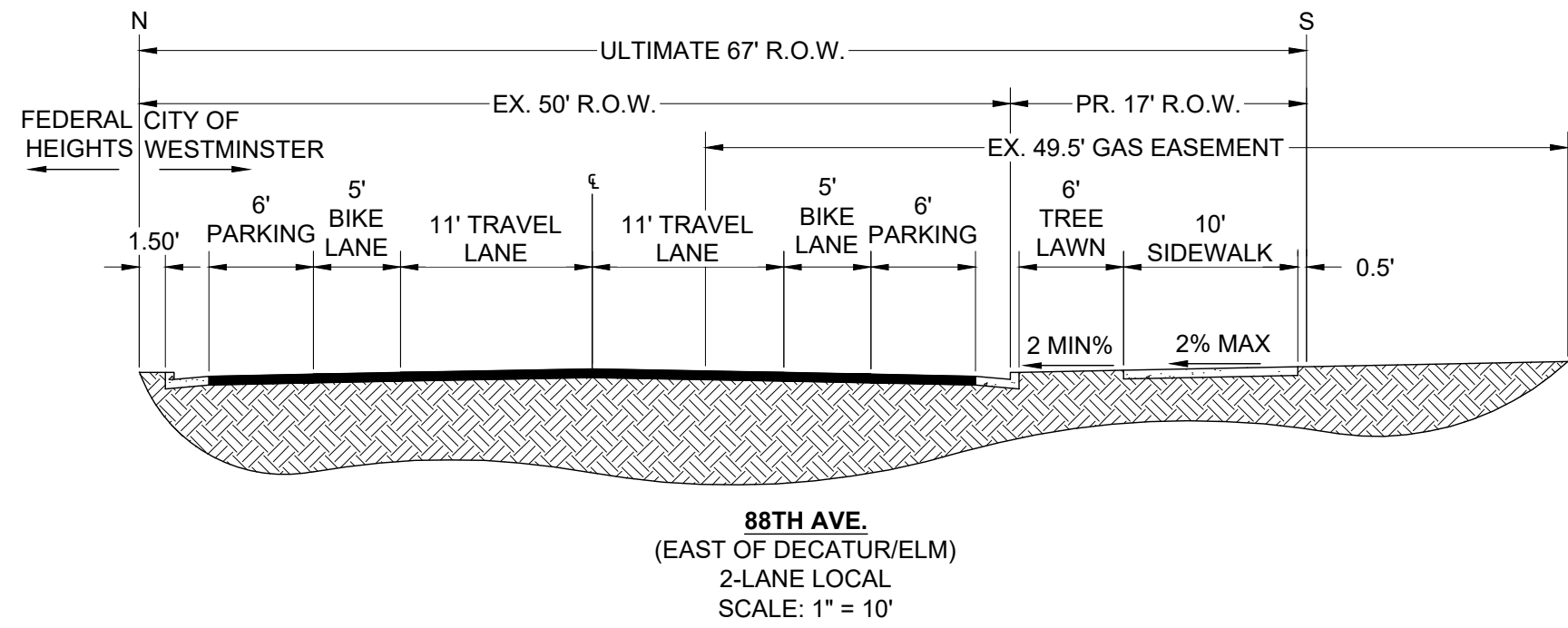


ST. CHARLES
TOWN COMPANY

UPLANDS

DATE: 05.10.2023

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OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



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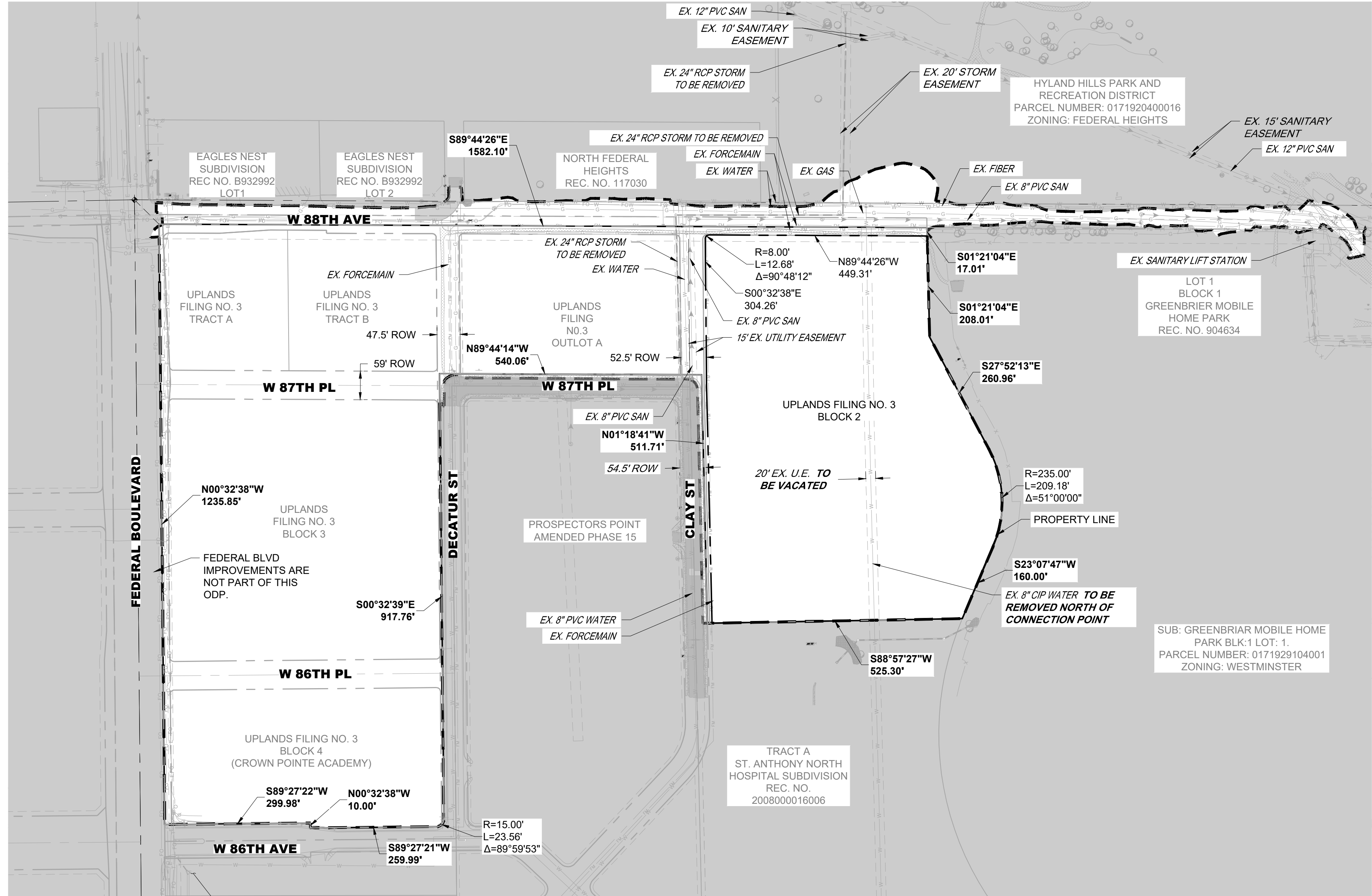
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
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 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 5 OF 72



ST. CHARLES
TOWN COMPANY

UPLANDS

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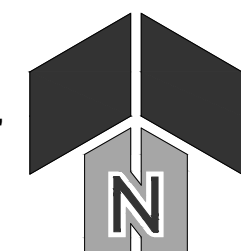
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OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ODP PHASE LINE
- OUTSIDE OF ODP LIMITS

EXISTING CONDITIONS NOTES:

1. TOPOGRAPHIC SURVEY PERFORMED BY AZTEC CONSULTANTS INC ON JUNE 30 THROUGH JULY 7, 2021 AND FEBRUARY 25 THROUGH MARCH 1, 2023.



OFFICIAL DEVELOPMENT PLAN
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 EXISTING CONDITIONS PLAN

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UPLANDS - FILING NO. 3 - BLOCK 2
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 COUNTY OF ADAMS, STATE OF COLORADO
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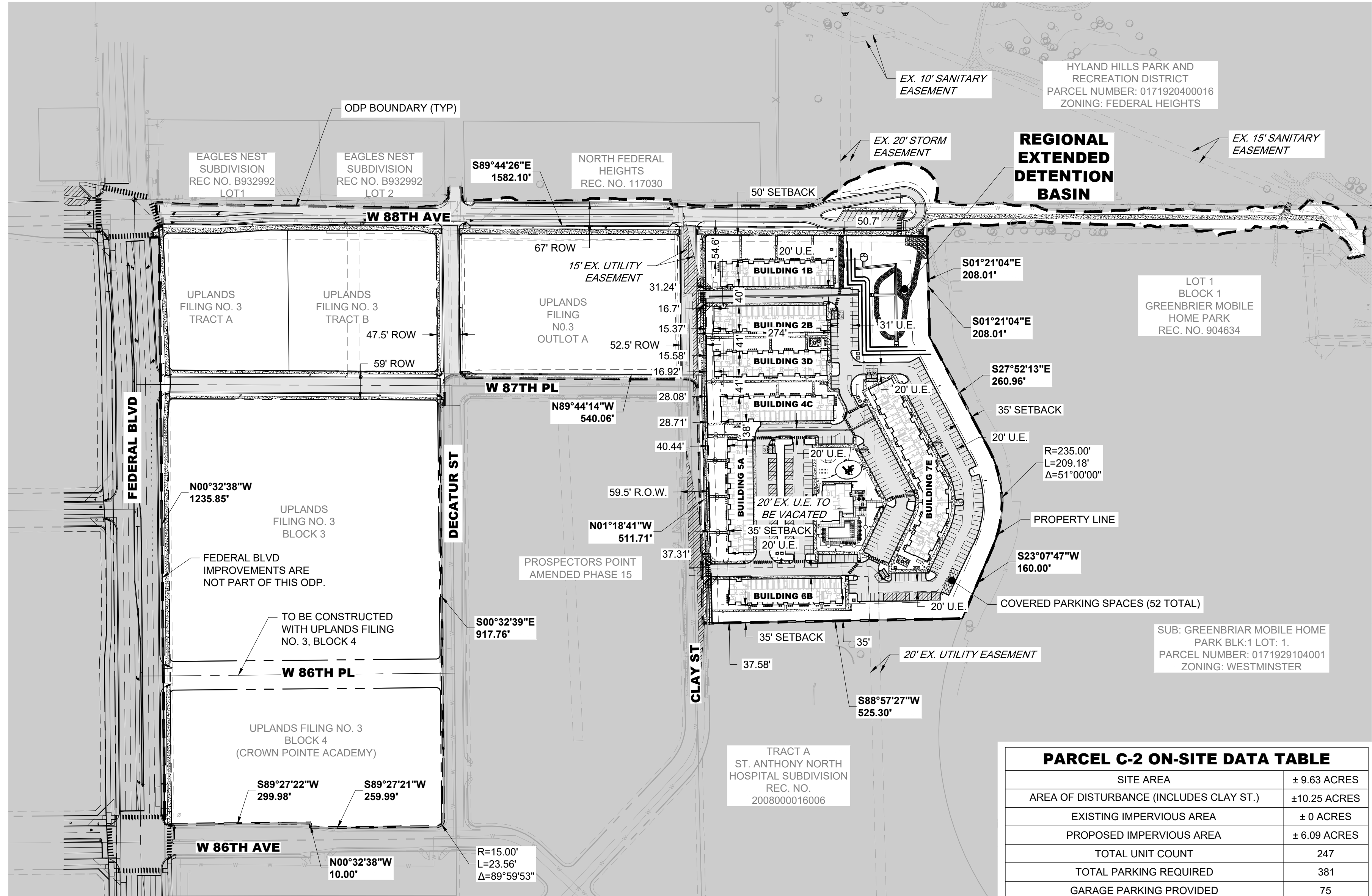
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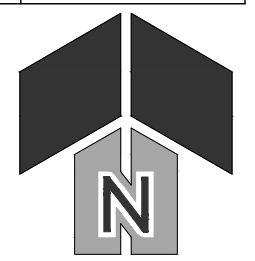
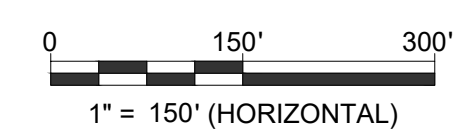
UPLANDS FILING NO. 3

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**



LEGEND
 - - - - - ODP PHASE LINE
 [Grey Area] OUTSIDE OF ODP LIMITS

PARCEL C-2 ON-SITE DATA TABLE	
SITE AREA	± 9.63 ACRES
AREA OF DISTURBANCE (INCLUDES CLAY ST.)	±10.25 ACRES
EXISTING IMPERVIOUS AREA	± 0 ACRES
PROPOSED IMPERVIOUS AREA	± 6.09 ACRES
TOTAL UNIT COUNT	247
TOTAL PARKING REQUIRED	381
GARAGE PARKING PROVIDED	75
COVERED PARKING PROVIDED	52
SURFACE PARKING PROVIDED	254
TOTAL PARKING PROVIDED	381
TOTAL ACCESSIBLE PARKING PROVIDED (INCLUDED IN TOTAL SURFACE PARKING)	8
TOTAL BIKE PARKING PROVIDED	74

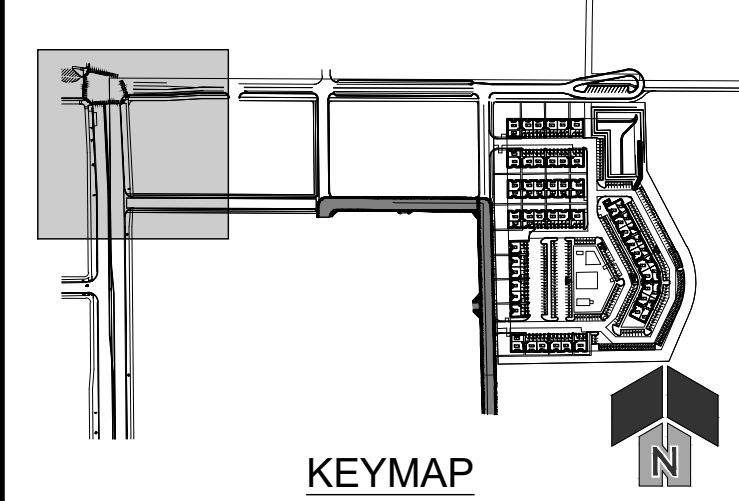


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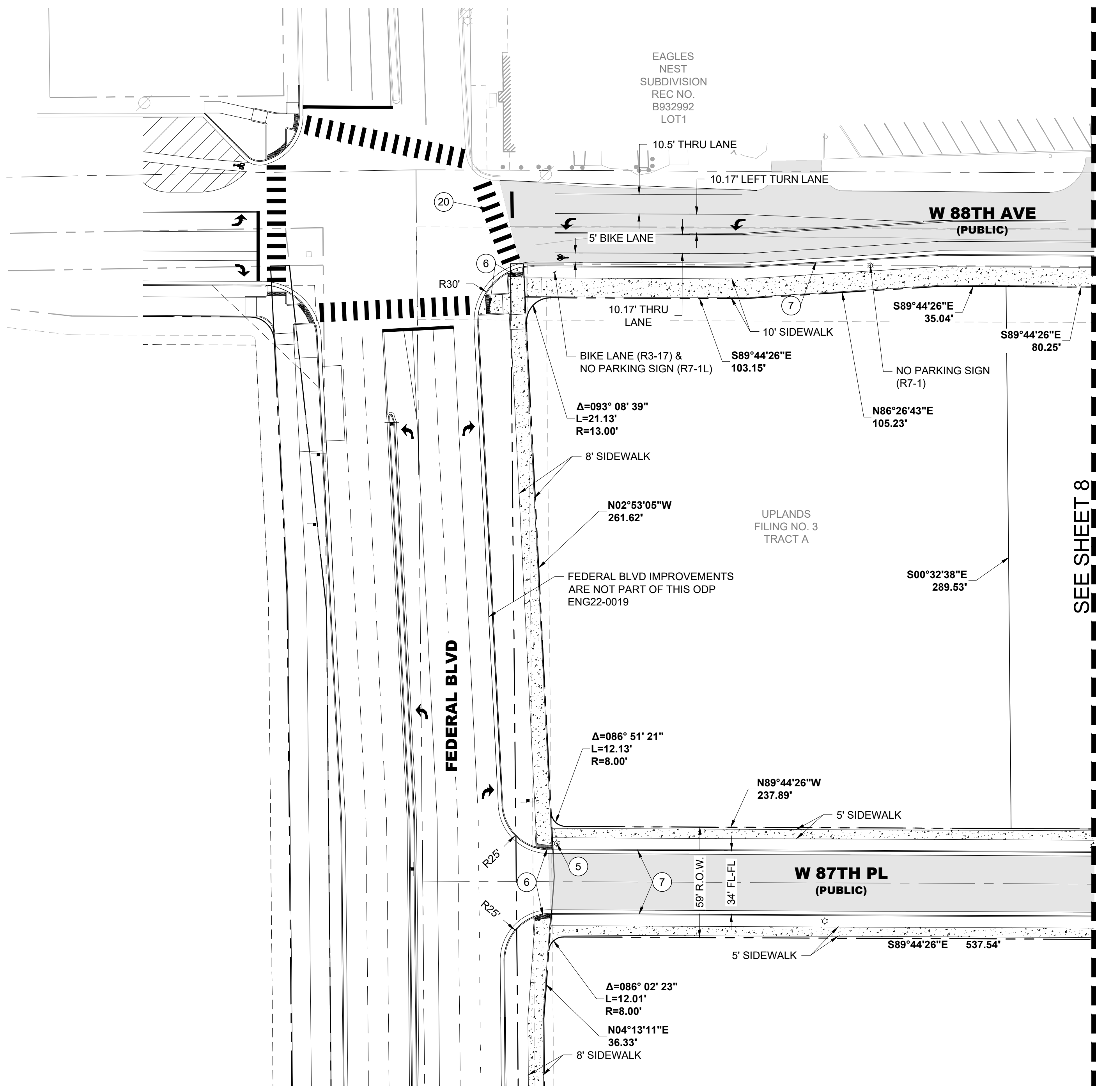


KEYMAP

UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



SITE PLAN KEYNOTES:

- 1 4' SIDEWALK
- 2 6.5' ATTACHED WALK
- 3 6" VERTICAL CURB AND GUTTER (1' PAN)
- 4 RETAINING WALL
- 4* RETAINING WALL W/ HANDRAIL
- 5 STOP SIGN (R1-1)
- 6 ADA RAMP
- 7 6" VERTICAL CURB AND GUTTER (2' PAN)
- 8 1' VALLEY GUTTER
- 9 TRASH ENCLOSURE (SEE NOTE 3)
- 10 MAINTENANCE PATH
- 11 OUTLET STRUCTURE
- 12 FOREBAY
- 13 TRICKLE CHANNEL
- 14 SIDEWALK CHASE (PRIVATE)
- 15 ACCESSIBLE PARKING SIGN (R7-8) WITH "VAN ACCESSIBLE" PLAQUE (R7-8P) ON SIGN. SIGN POST IS 12 GAUGE GALVANIZED SQUARE TUBE INSIDE A 4" DIAMETER CONCRETE BOLLARD ENCASED IN PAINTED STEEL.
- 16 ACCESSIBLE PARKING STRIPING 45° (4" YELLOW STRIPING AT 2' O.C.)
- 17 ACCESSIBLE PARKING SYMBOL PER MUTCD FIGURE 3B.22
- 18 NO PARKING SIGN (R7-1)
- 19 CONDENSER UNIT (TYP)
- 20 CROSSWALK

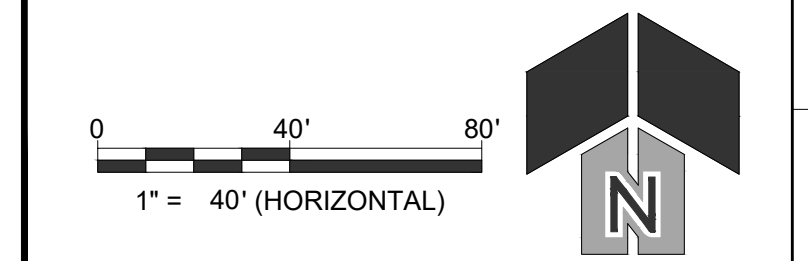
- NOTES**
1. ALL DIMENSIONS ARE TO FLOWLINE, PROPERTY LINE, OR BUILDING TO BUILDING, UNLESS NOTED OTHERWISE.
 2. ALL FLOWLINE RADII ARE 4.5' UNLESS NOTED OTHERWISE.
 3. ALL TRASH ENCLOSURES MUST BE ENCLOSED BY A MASONRY WALL 6'-8" IN HEIGHT.

SITE PLAN LEGEND:

- SIGHT DISTANCE TRIANGLE
- CONCRETE SIDEWALK
- STANDARD DUTY CONCRETE PAVING
- ASPHALT PAVEMENT
- CRUSHER FINES
- COVERED PARKING
- LIGHT POLES (RE: PHOTOMETRIC PLANS)
- # PARKING COUNT
- SNOW STORAGE AREA
- ELECTRICAL TRANSFORMER

C.O.W.U.E. = CITY OF WESTMINSTER UTILITY EASEMENT

LOT COVERAGE		
BUILDING COVERAGE	AREA (SF)	%
BUILDING AREA	98,324	23%
PARKING, DRIVES, AND WALKS	151,207	36%
LANDSCAPE AREA	169,893	41%
TOTAL AREA	419,424	100%

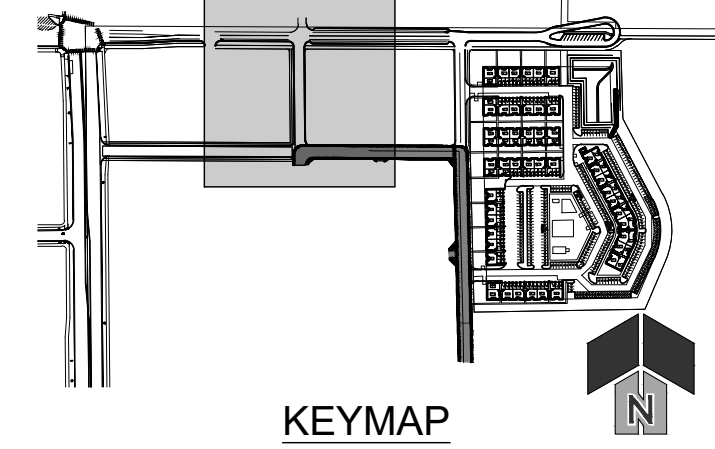


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 SHEET 8 OF 72



KEYMAP

UPLANDS

DATE: 05.10.2023

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- 2 6.5' ATTACHED WALK
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- 15 ACCESSIBLE PARKING SIGN (R7-8) WITH "VAN ACCESSIBLE" PLAQUE (R7-8P) ON SIGN. SIGN POST IS 12 GAUGE GALVANIZED SQUARE TUBE INSIDE A 4" DIAMETER CONCRETE BOLLARD ENCASED IN PAINTED STEEL.
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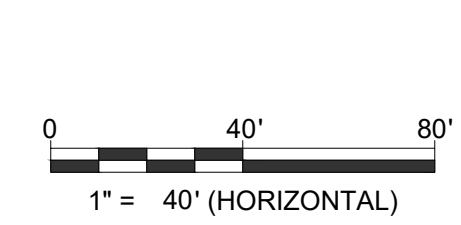
- NOTES**
1. ALL DIMENSIONS ARE TO FLOWLINE, PROPERTY LINE, OR BUILDING TO BUILDING, UNLESS NOTED OTHERWISE.
 2. ALL FLOWLINE RADII ARE 4.5' UNLESS NOTED OTHERWISE.
 3. ALL TRASH ENCLOSURES MUST BE ENCLOSED BY A MASONRY WALL 6'-8" IN HEIGHT.

SITE PLAN LEGEND:

- SIGHT DISTANCE TRIANGLE
- CONCRETE SIDEWALK
- STANDARD DUTY CONCRETE PAVING
- ASPHALT PAVEMENT
- CRUSHER FINES
- COVERED PARKING
- LIGHT POLES (RE: PHOTOMETRIC PLANS)
- # PARKING COUNT
- SNOW STORAGE AREA
- ELECTRICAL TRANSFORMER

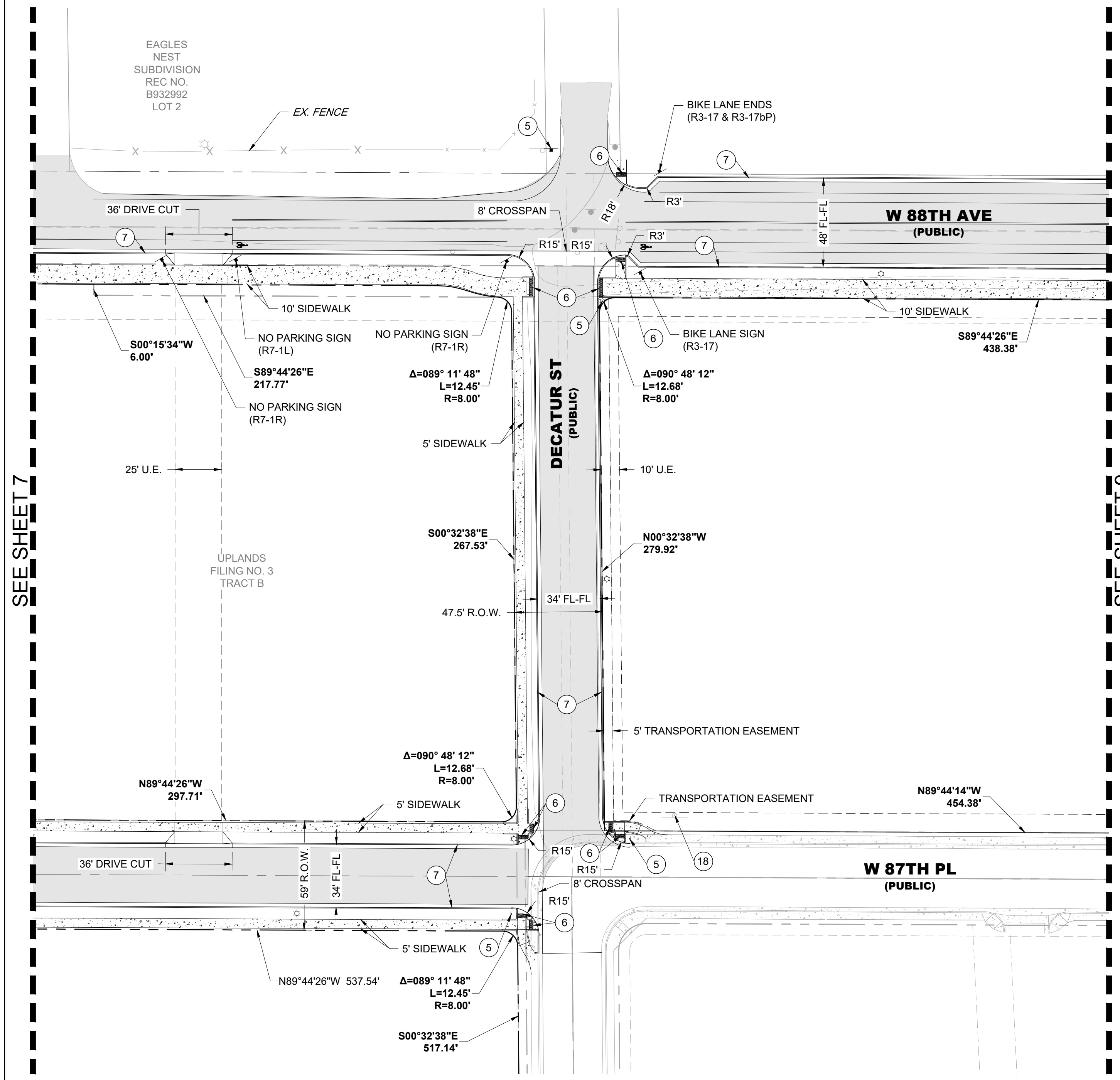
C.O.W.U.E. = CITY OF WESTMINSTER UTILITY EASEMENT

LOT COVERAGE		
BUILDING COVERAGE	AREA (SF)	%
BUILDING AREA	98,324	23%
PARKING, DRIVES, AND WALKS	151,207	36%
LANDSCAPE AREA	169,893	41%
TOTAL AREA	419,424	100%



UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

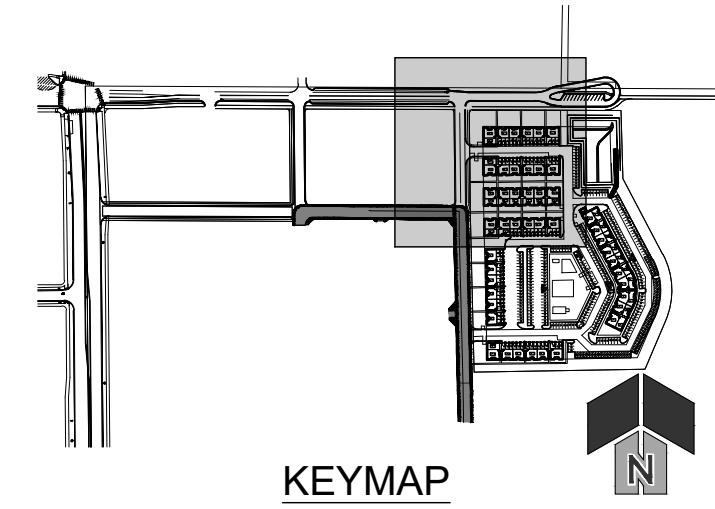
OFFICIAL DEVELOPMENT PLAN	REVISIONS
PREPARED: 05.10.2023	
	5TH SUBMITTAL: 01.19.2024
	4TH SUBMITTAL: 11.29.2023
	3RD SUBMITTAL: 10.06.2023
	2ND SUBMITTAL: 08.10.2023



SEE SHEET 7

SEE SHEET 9

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 9 OF 72



UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023

REVISIONS
5TH SUBMITTAL: 01.19.2024
4TH SUBMITTAL: 11.29.2023
3RD SUBMITTAL: 10.06.2023
2ND SUBMITTAL: 08.10.2023

9 OF 72
 SITE PLAN

SITE PLAN KEYNOTES:

- 1 4' SIDEWALK
- 2 6.5' ATTACHED WALK
- 3 6" VERTICAL CURB AND GUTTER (1' PAN)
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- 5 STOP SIGN (R1-1)
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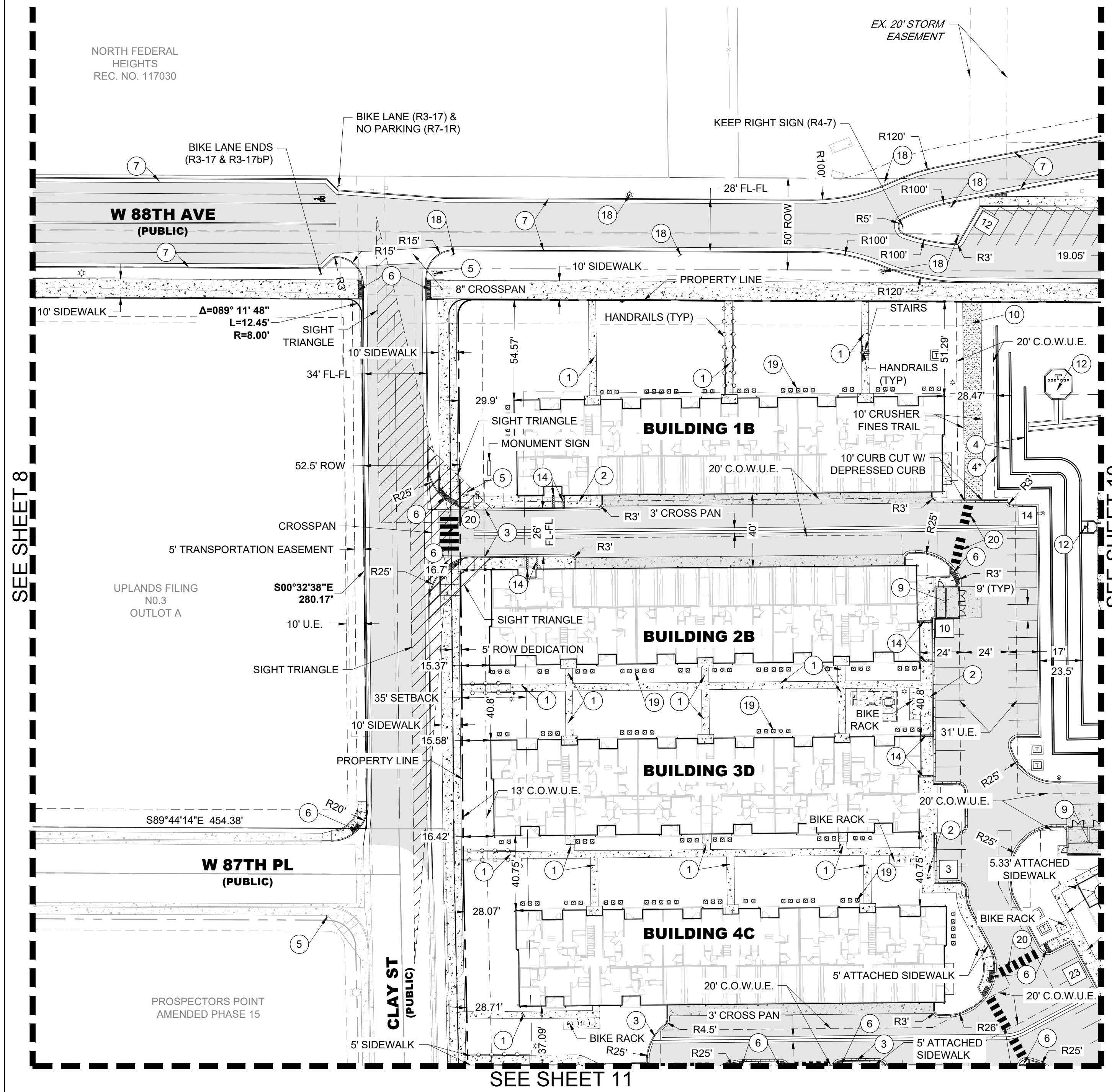
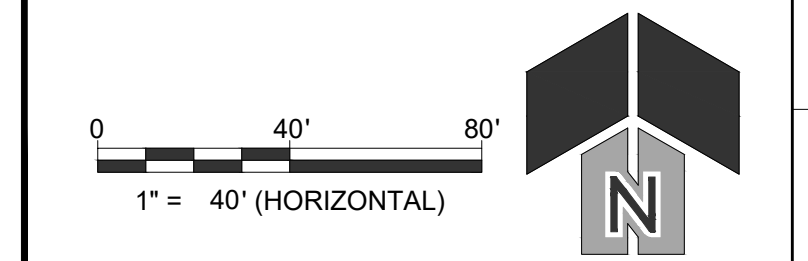
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- SIGHT DISTANCE TRIANGLE
 - CONCRETE SIDEWALK
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 - ASPHALT PAVEMENT
 - CRUSHER FINES
 - COVERED PARKING
 - LIGHT POLES (RE: PHOTOMETRIC PLANS)
 - # PARKING COUNT
 - SNOW STORAGE AREA
 - ELECTRICAL TRANSFORMER
- C.O.W.U.E. = CITY OF WESTMINSTER UTILITY EASEMENT

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SEE SHEET 8

SEE SHEET 10

SEE SHEET 11

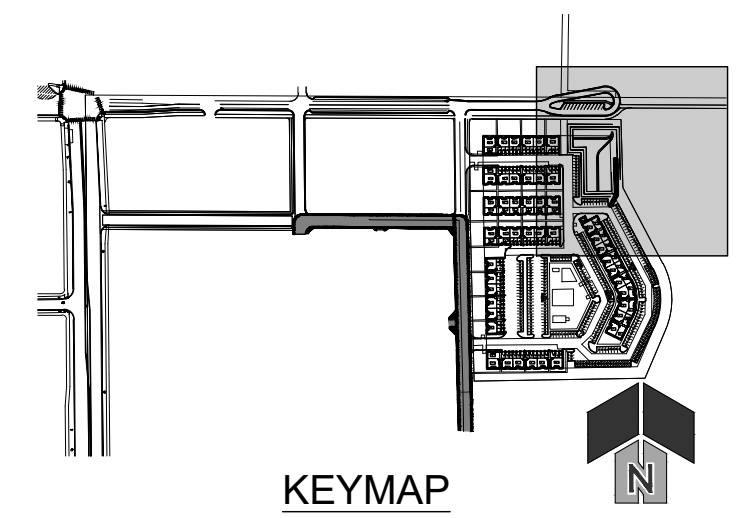
NORTH FEDERAL HEIGHTS
 REC. NO. 117030

UPLANDS FILING NO.3
 OUTLOT A

PROSPECTORS POINT
 AMENDED PHASE 15

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 10 OF 72

HYLAND HILLS PARK AND RECREATION DISTRICT
 PARCEL NUMBER: 0171920400016
 ZONING: FEDERAL HEIGHTS



UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023

REVISIONS

5TH SUBMITTAL:	01.19.2024
4TH SUBMITTAL:	11.29.2023
3RD SUBMITTAL:	10.06.2023
2ND SUBMITTAL:	08.10.2023

10 OF 72
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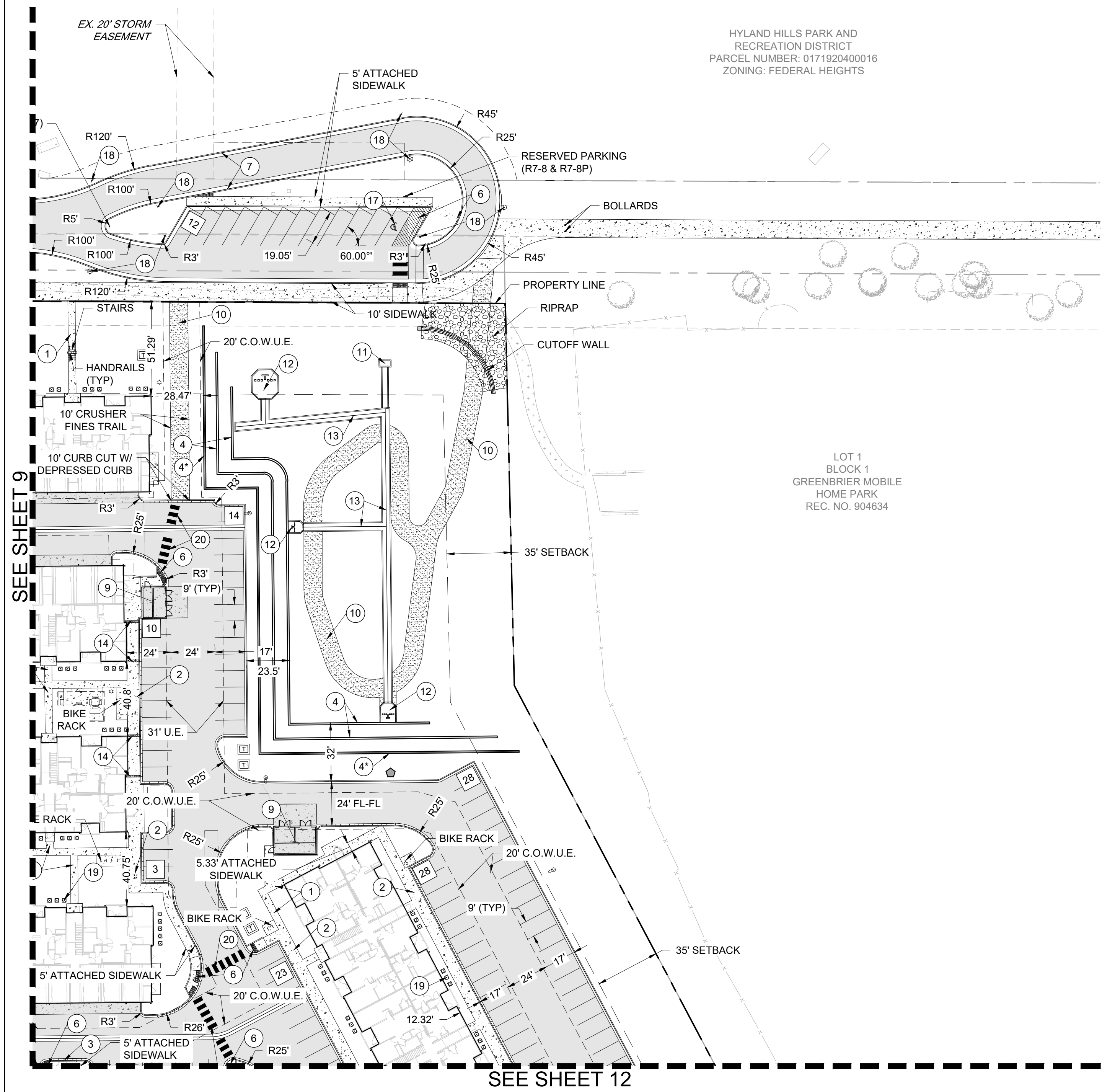
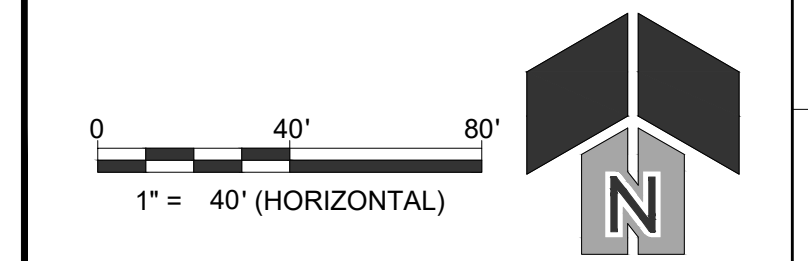
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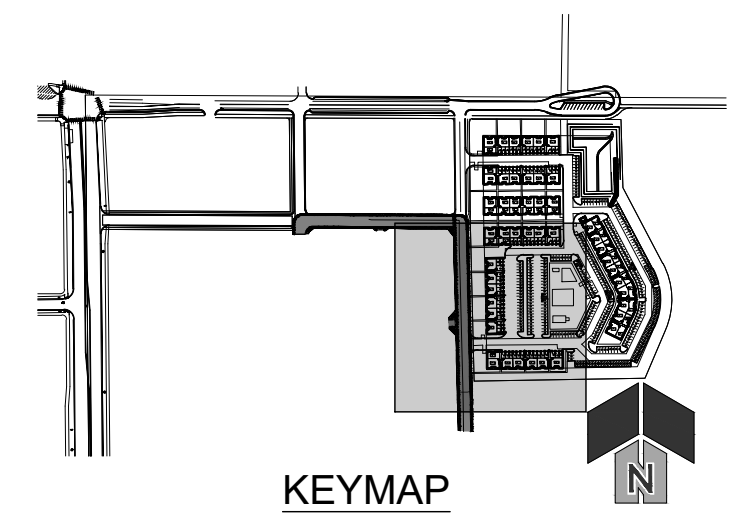
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 - ASPHALT PAVEMENT
 - CRUSHER FINES
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 - ELECTRICAL TRANSFORMER
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 11 OF 72



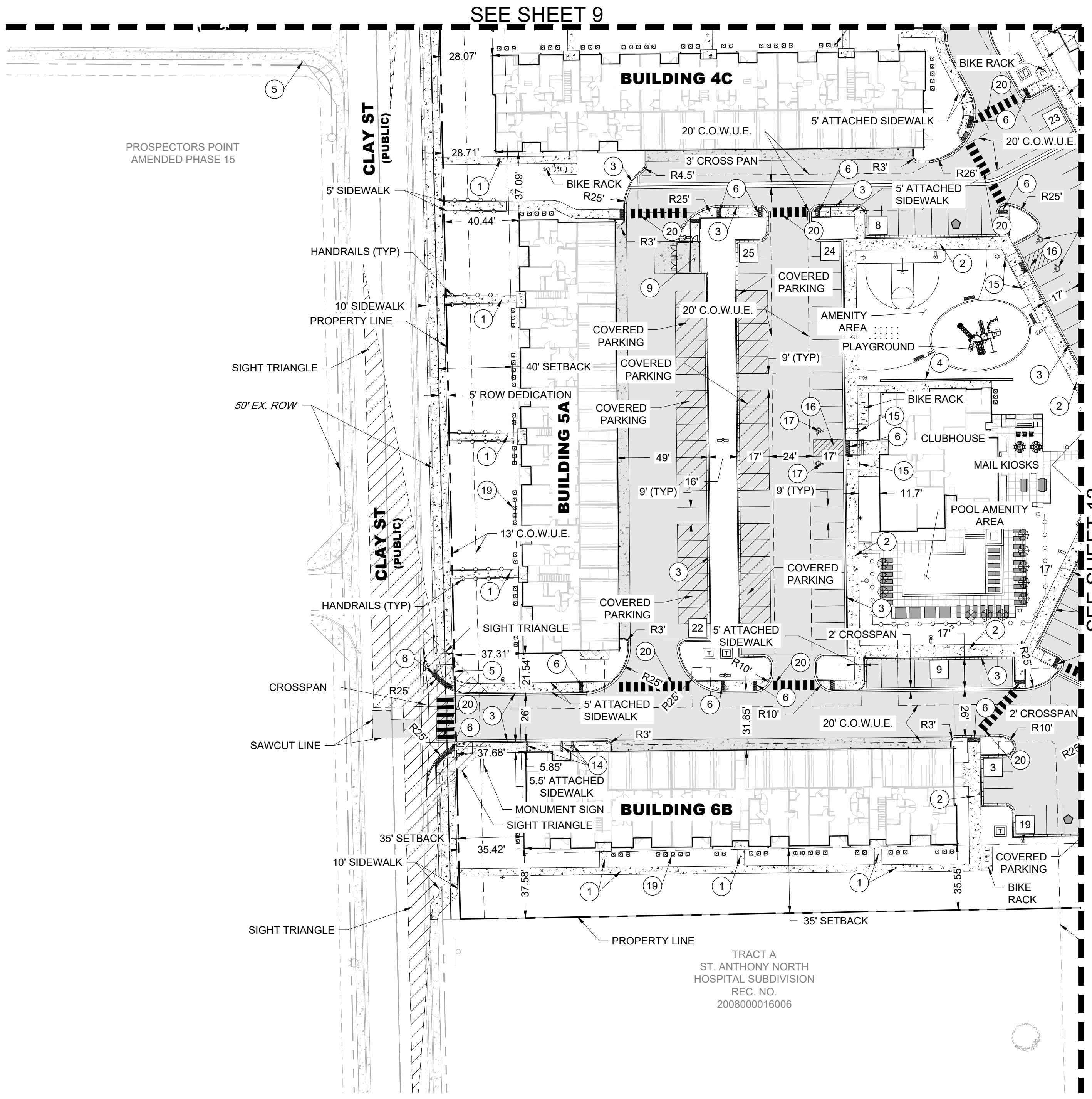
KEYMAP

UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



SITE PLAN KEYNOTES:

- 1 4' SIDEWALK
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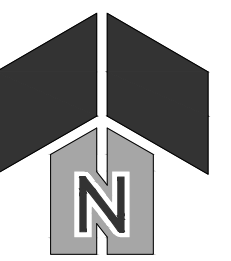
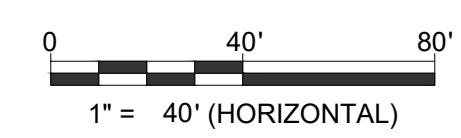
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C.O.W.U.E. = CITY OF WESTMINSTER UTILITY EASEMENT

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OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023

REVISIONS

5TH SUBMITTAL: 01.19.2024

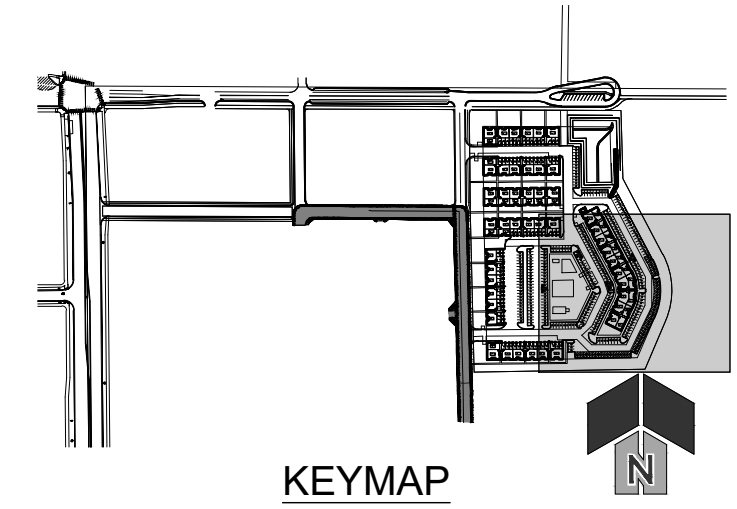
4TH SUBMITTAL: 11.29.2023

3RD SUBMITTAL: 10.06.2023

2ND SUBMITTAL: 08.10.2023

TRACT A
 ST. ANTHONY NORTH
 HOSPITAL SUBDIVISION
 REC. NO.
 2008000016006

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 12 OF 72



UPLANDS

DATE: 05.10.2023

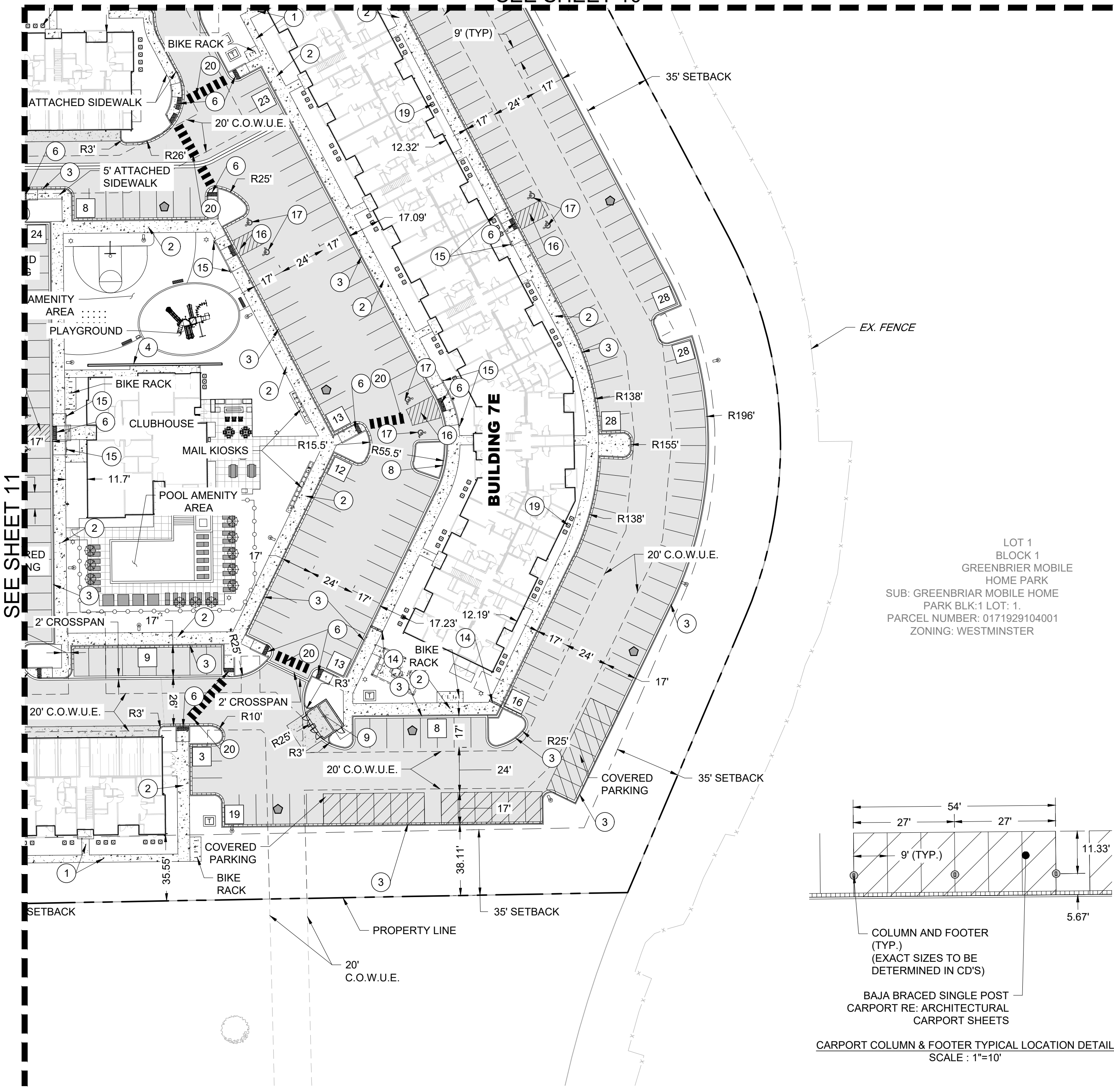
UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023

REVISIONS

5TH SUBMITTAL: 01.19.2024
4TH SUBMITTAL: 11.29.2023
3RD SUBMITTAL: 10.06.2023
2ND SUBMITTAL: 08.10.2023

SEE SHEET 10



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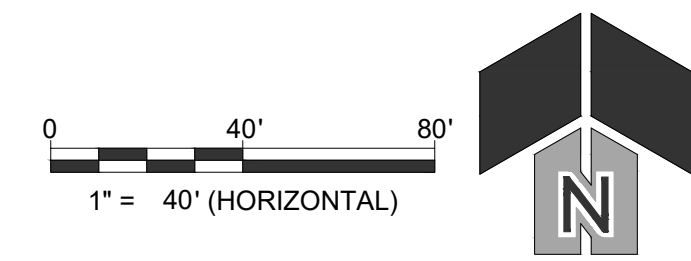
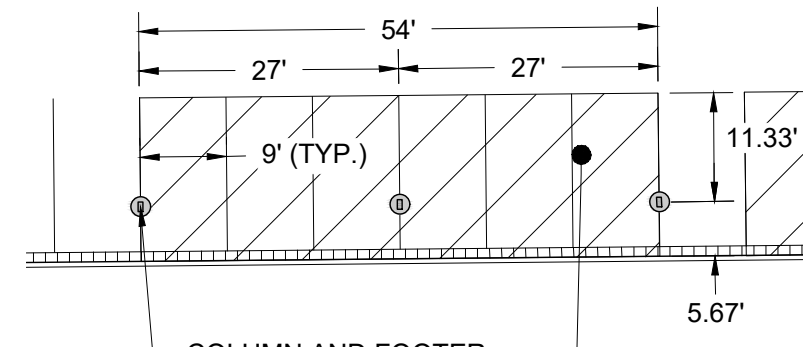
SITE PLAN LEGEND:

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- # PARKING COUNT
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UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 13 OF 72



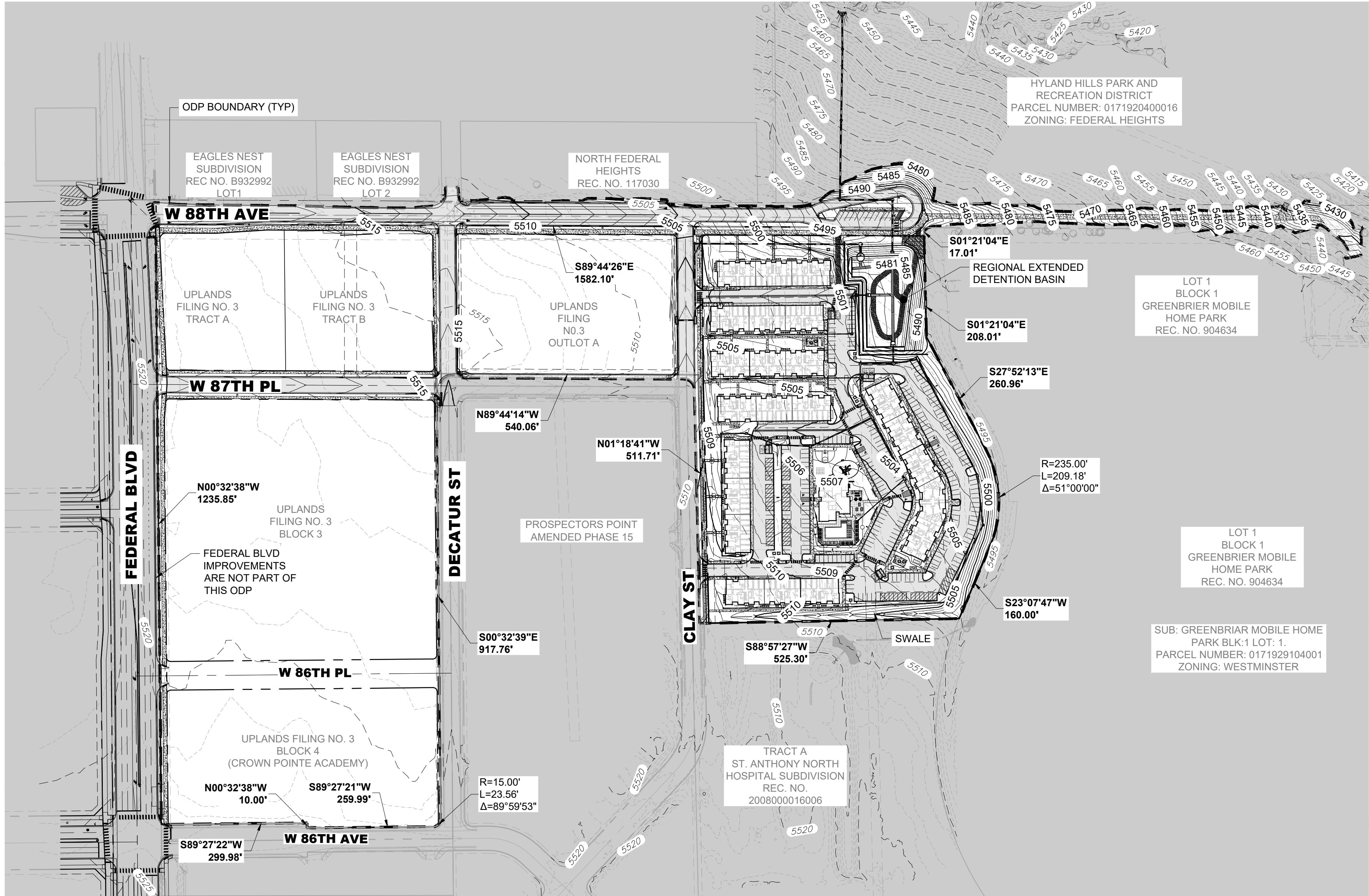
ST. CHARLES
TOWN COMPANY

UPLANDS

DATE: 05.10.2023

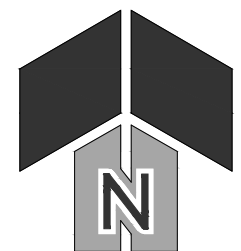
UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ODP PHASE LINE
- OUTSIDE OF ODP LIMITS



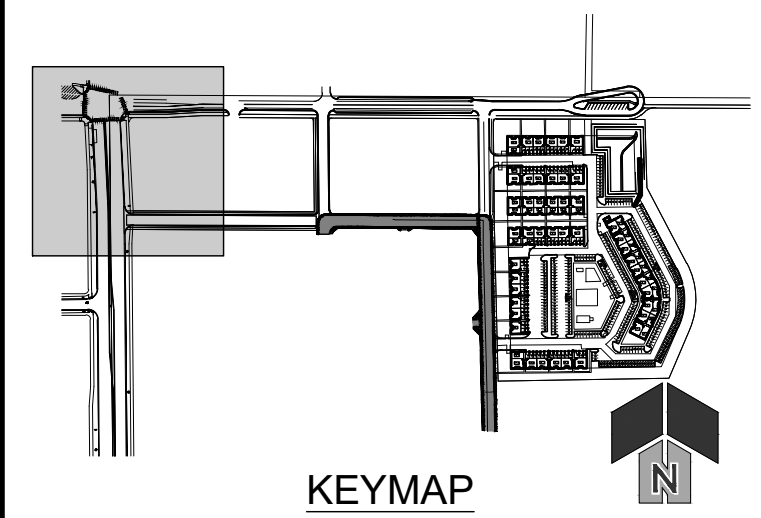
OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023

REVISIONS

- 5TH SUBMITTAL: 01.19.2024
- 4TH SUBMITTAL: 11.29.2023
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13 OF 72
 OVERALL GRADING
 PLAN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 14 OF 72



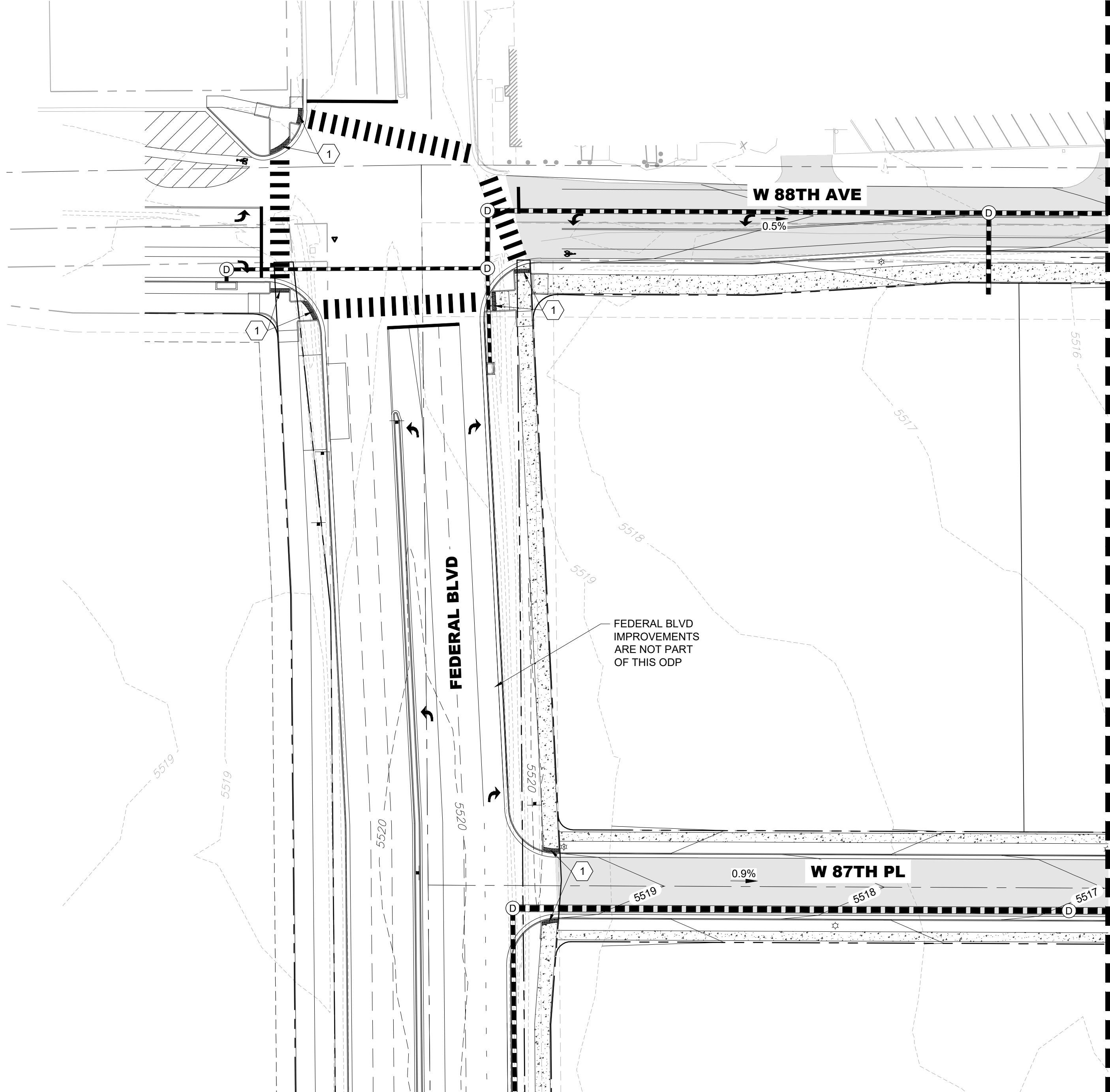
KEYMAP

GRADING PLAN NOTES:

1. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5% (EXCLUDING RAMPS).
2. THE MAXIMUM LONGITUDINAL SLOPE OF ANY ADA RAMP SHALL BE 8.33%.
3. CONTRACTOR TO REFER TO THE GEOTECHNICAL REPORT TO ENSURE ALL SUBGRADE PREPARATION REQUIREMENTS, PAVEMENT RECOMMENDATIONS, MINIMUM SLOPE REQUIREMENTS, AND ALL OTHER APPLICABLE REQUIREMENTS ARE MET.

LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED SWALE
- DRAINAGE FLOW ARROW
- TOP OF FOUNDATION
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- EXISTING STORM PIPE
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- RAMPS
- ROOF DRAIN

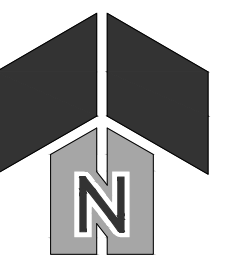


SEE SHEET 15

UPLANDS

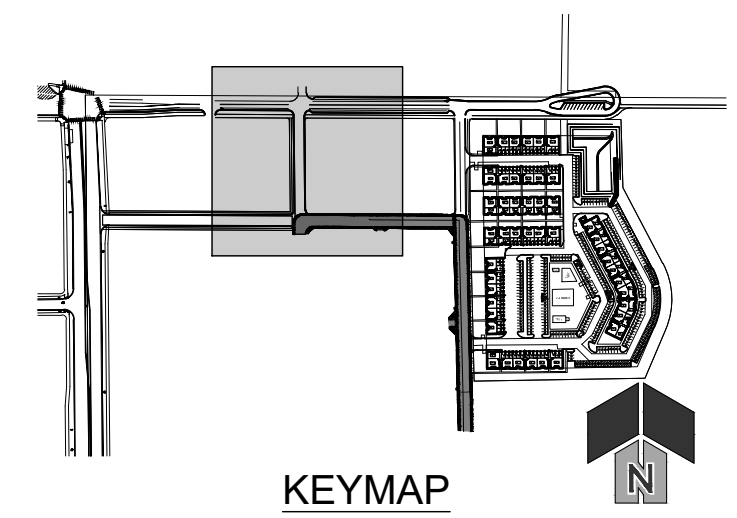
DATE: 05.10.2023

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 15 OF 72



KEYMAP

UPLANDS

DATE: 05.10.2023

GRADING PLAN NOTES:

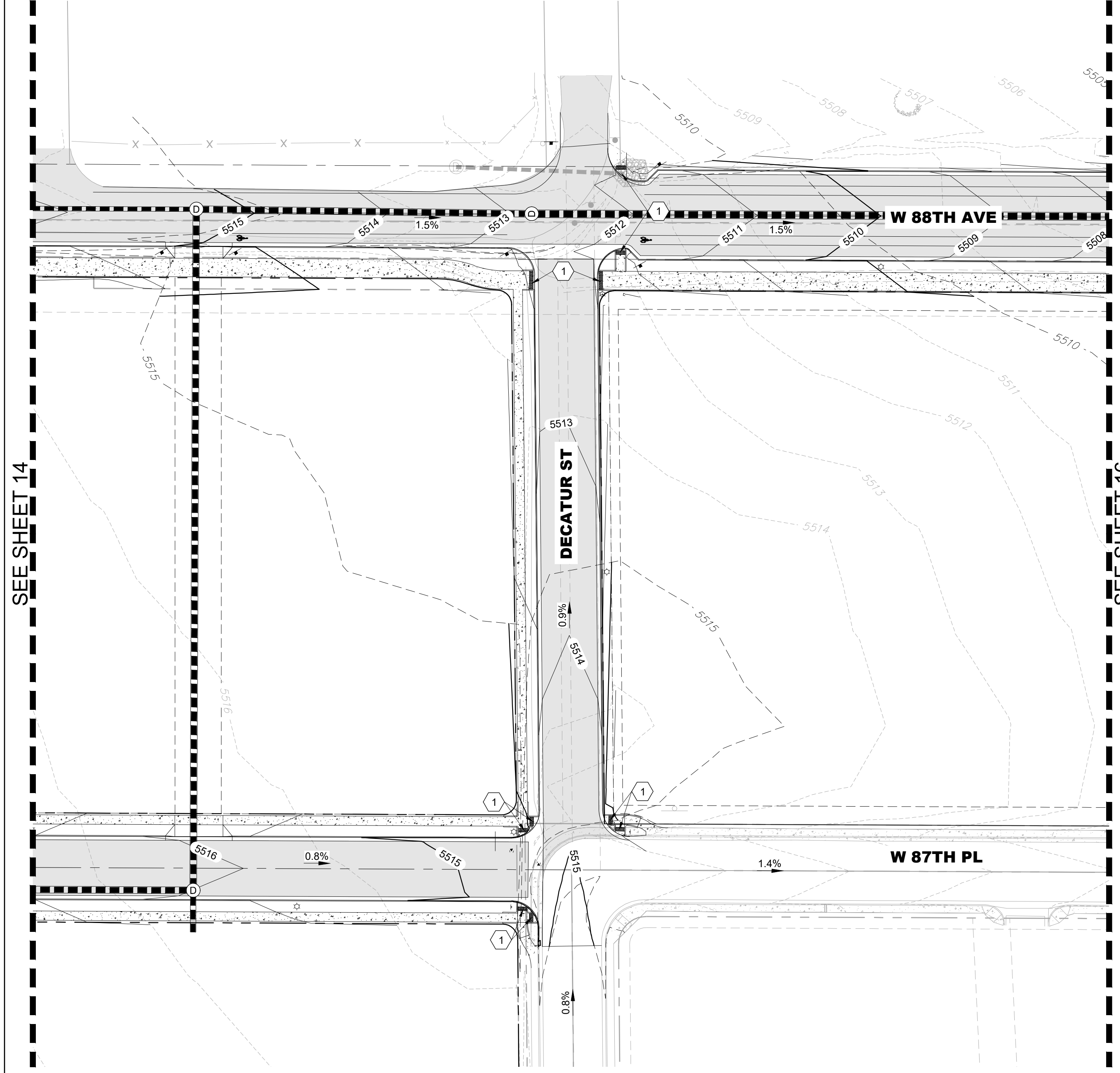
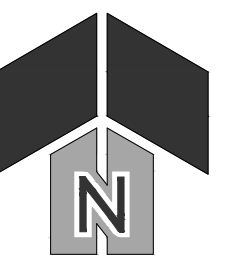
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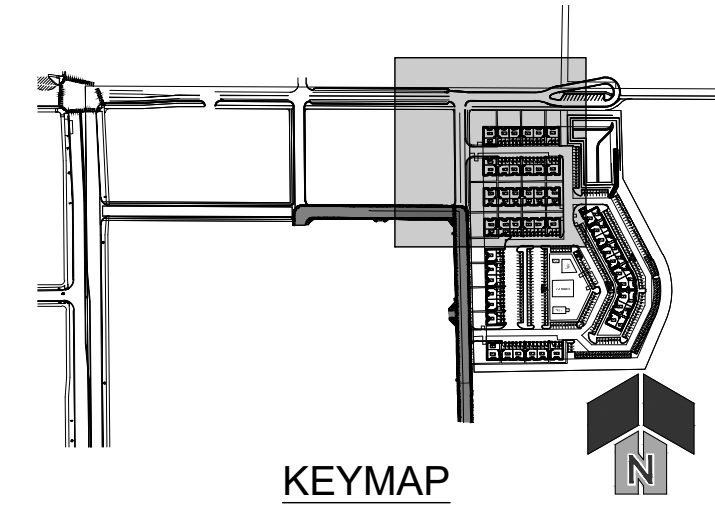
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UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 16 OF 72



UPLANDS

DATE: 05.10.2023

GRADING PLAN NOTES:

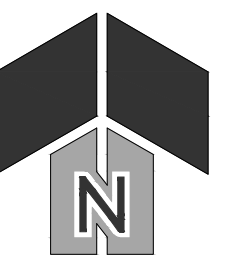
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LEGEND

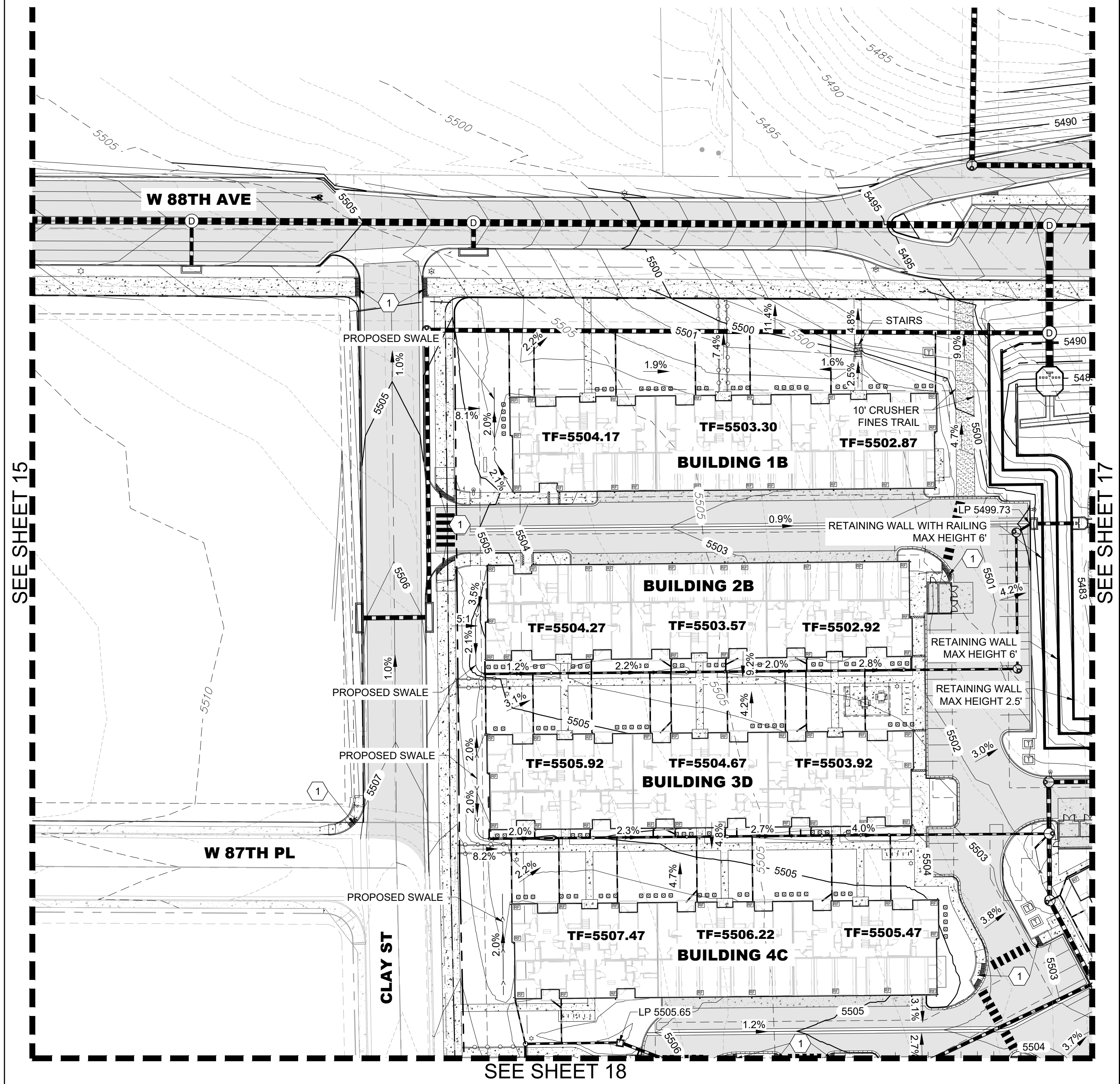
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED SWALE
- DRAINAGE FLOW ARROW
- TOP OF FOUNDATION
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- EXISTING STORM PIPE
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- RAMPS
- ROOF DRAIN

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

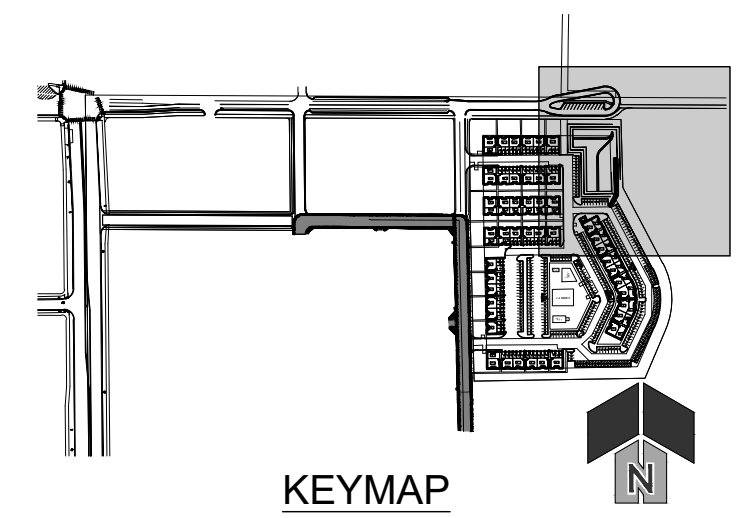
OFFICIAL DEVELOPMENT PLAN	REVISIONS
PREPARED: 05.10.2023	
	5TH SUBMITTAL: 01.19.2024
	4TH SUBMITTAL: 11.29.2023
	3RD SUBMITTAL: 10.06.2023
	2ND SUBMITTAL: 08.10.2023



16 OF 72
 GRADING PLAN



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 17 OF 72



KEYMAP

GRADING PLAN NOTES:

1. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5% (EXCLUDING RAMPS).
2. THE MAXIMUM LONGITUDINAL SLOPE OF ANY ADA RAMP SHALL BE 8.33%.
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LEGEND

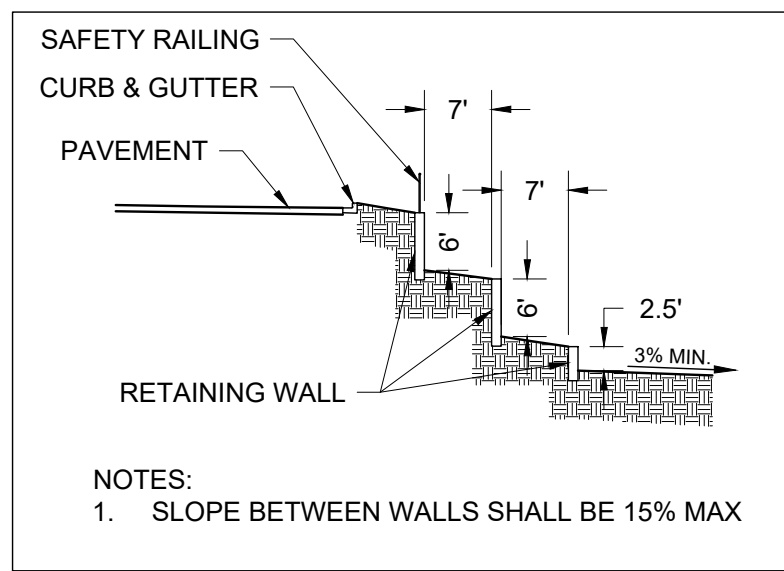
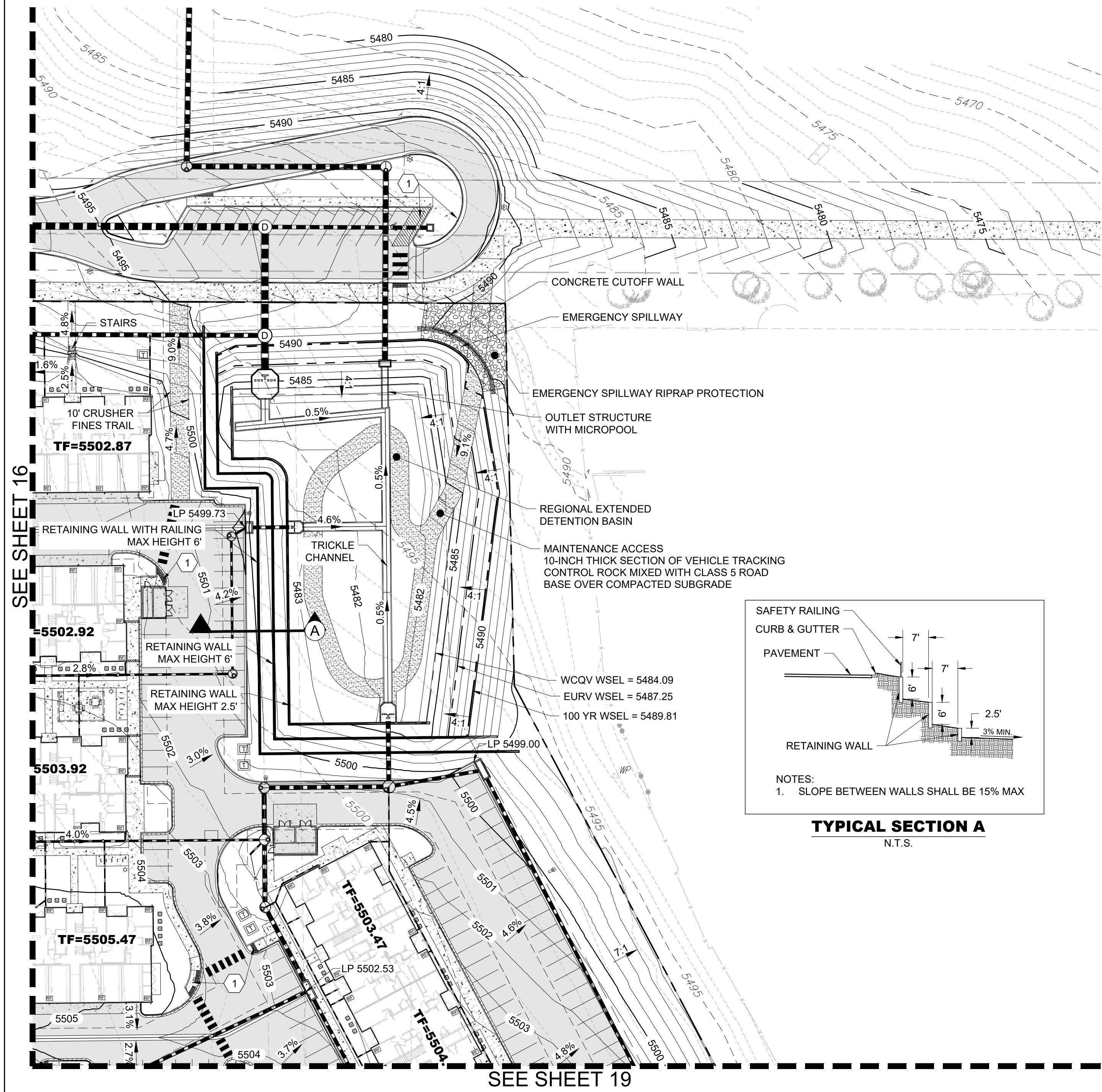
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED SWALE
- DRAINAGE FLOW ARROW
- TOP OF FOUNDATION
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- EXISTING STORM PIPE
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- RAMPS
- ROOF DRAIN

UPLANDS

DATE: 05.10.2023

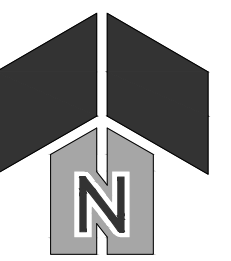
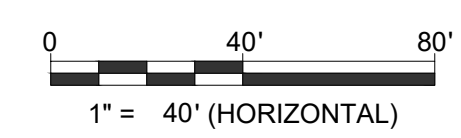
UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023
REVISIONS
5TH SUBMITTAL: 01.19.2024
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TYPICAL SECTION A
 N.T.S.

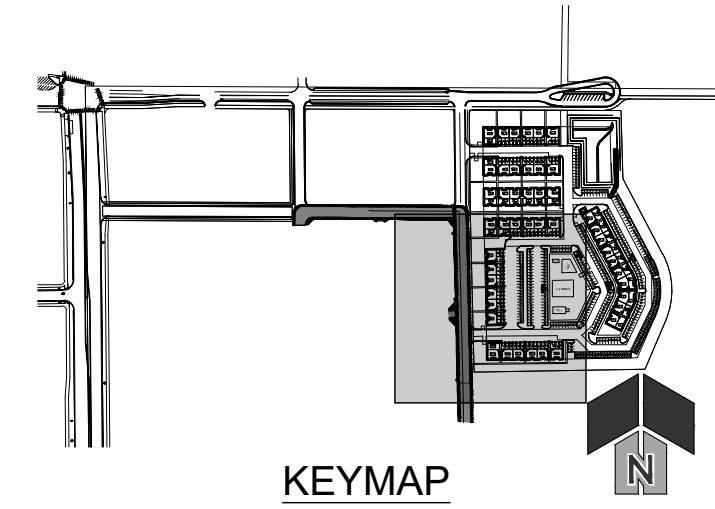
- NOTES:
 1. SLOPE BETWEEN WALLS SHALL BE 15% MAX



SEE SHEET 16

SEE SHEET 19

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 18 OF 72



UPLANDS

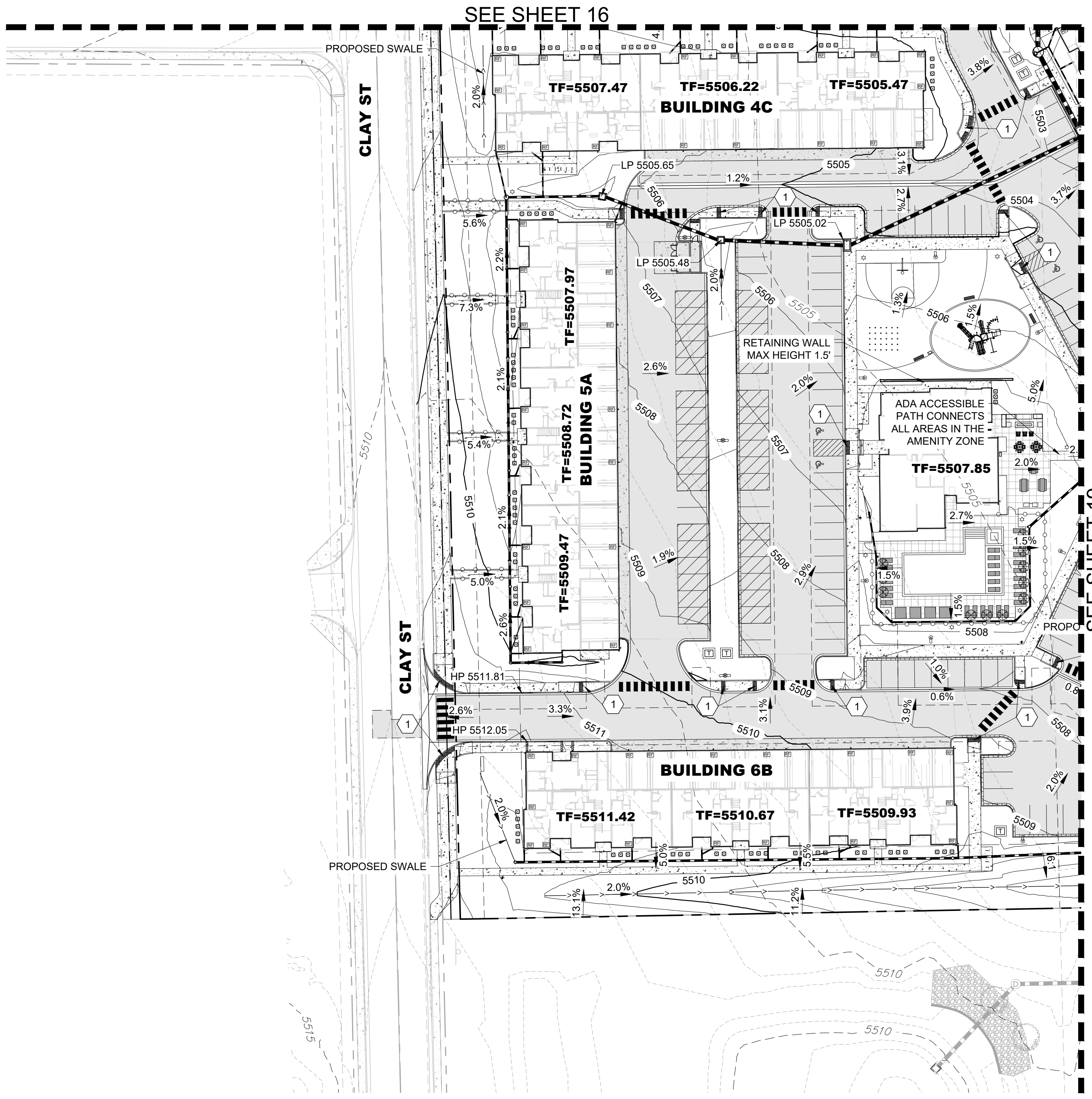
DATE: 05.10.2023

GRADING PLAN NOTES:

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LEGEND

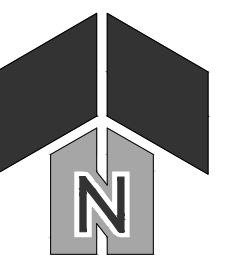
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED SWALE
- DRAINAGE FLOW ARROW
- TOP OF FOUNDATION
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- EXISTING STORM PIPE
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- RAMPS
- ROOF DRAIN



SEE SHEET 19

SEE SHEET 16

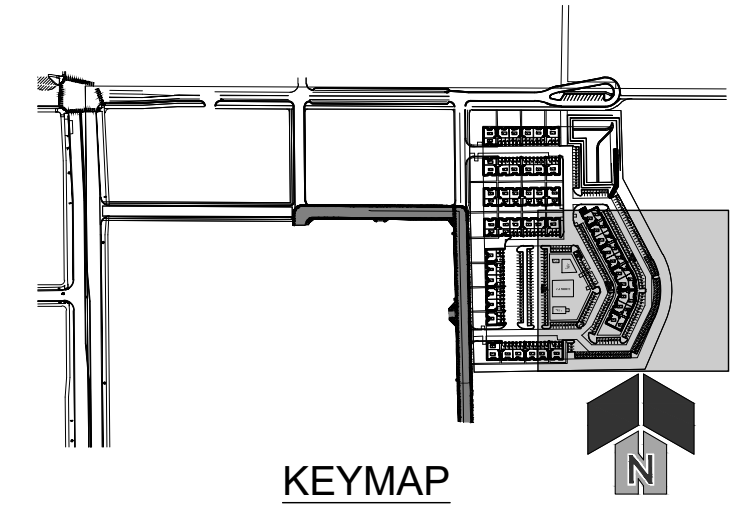
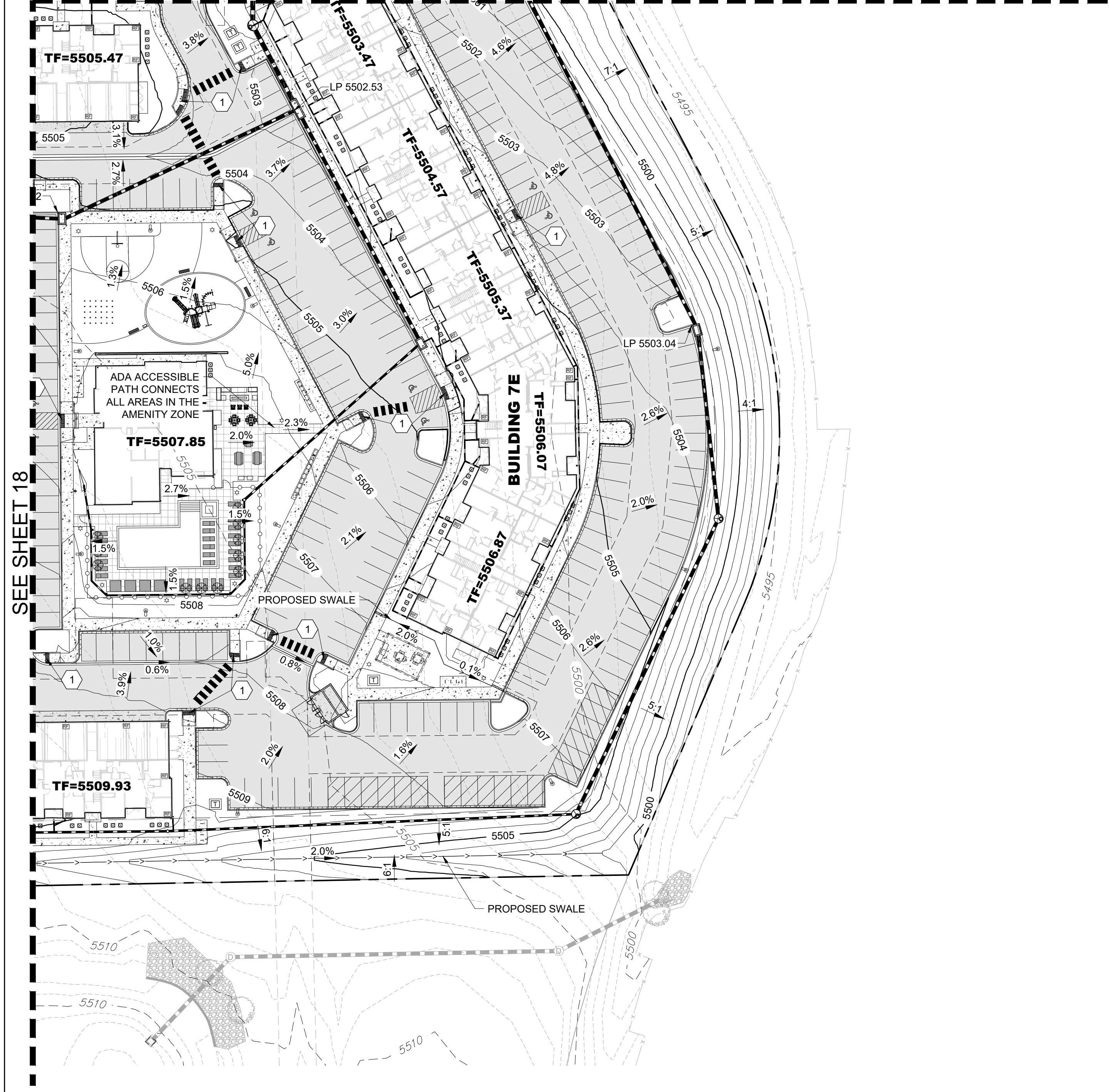
UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023
REVISIONS
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 19 OF 72

SEE SHEET 17



- GRADING PLAN NOTES:**
1. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5% (EXCLUDING RAMPS).
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LEGEND

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED SWALE
	DRAINAGE FLOW ARROW
	TOP OF FOUNDATION
	PROPOSED STORM PIPE
	PROPOSED STORM INLET
	PROPOSED STORM MANHOLE
	EXISTING STORM PIPE
	EXISTING STORM INLET
	EXISTING STORM MANHOLE
	RAMPS
	ROOF DRAIN

UPLANDS

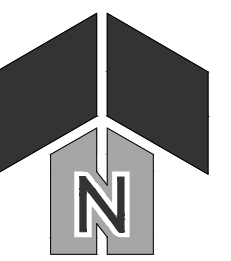
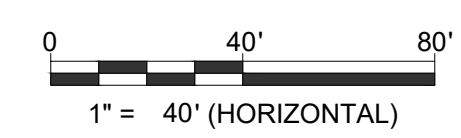
DATE: 05.10.2023

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023

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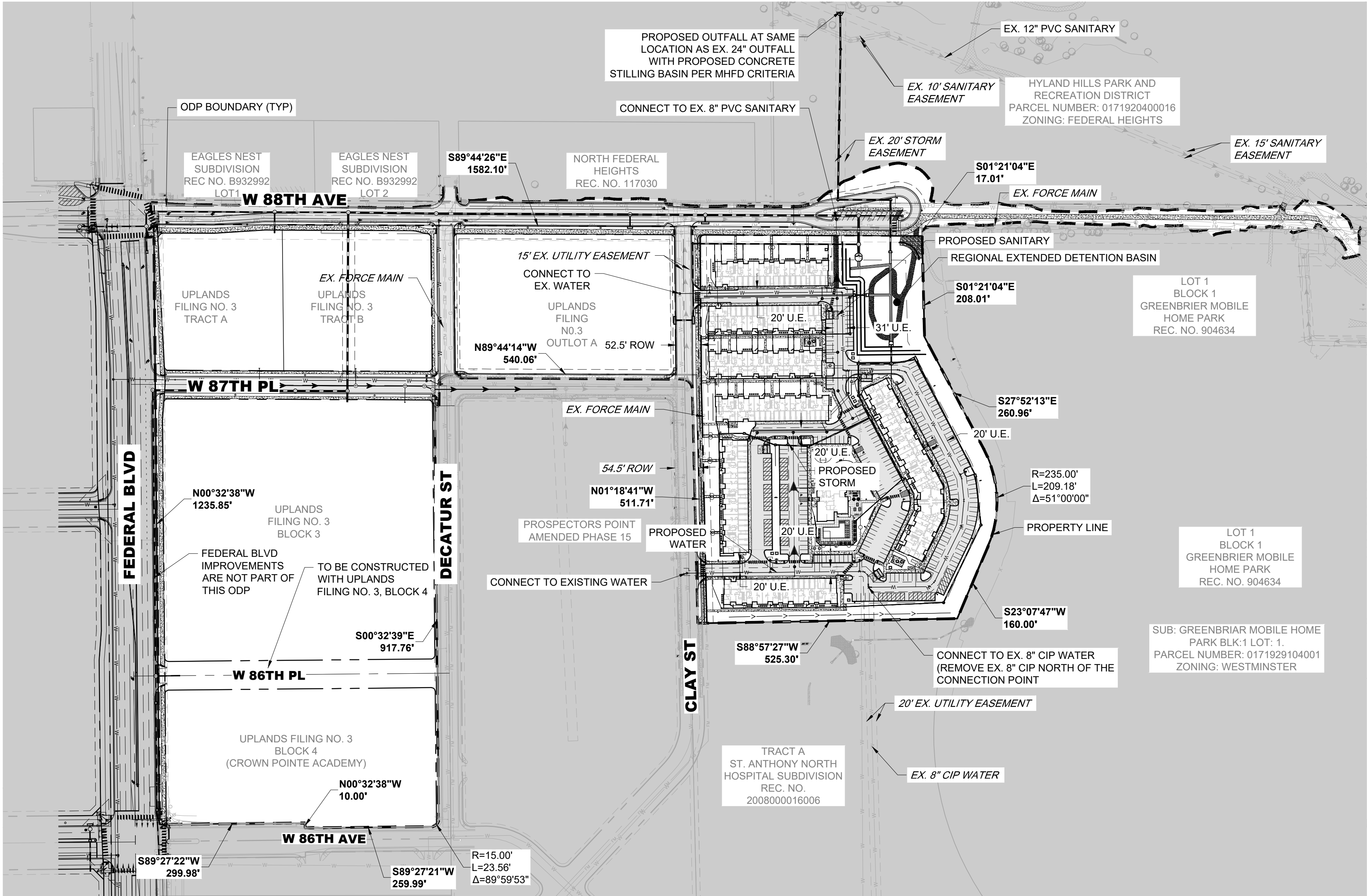
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 20 OF 72



ST. CHARLES
TOWN COMPANY

UPLANDS

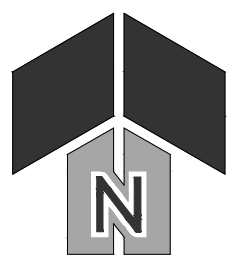
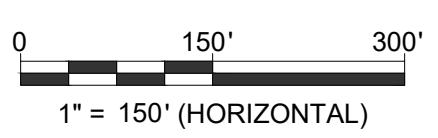
DATE: 05.10.2023



UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

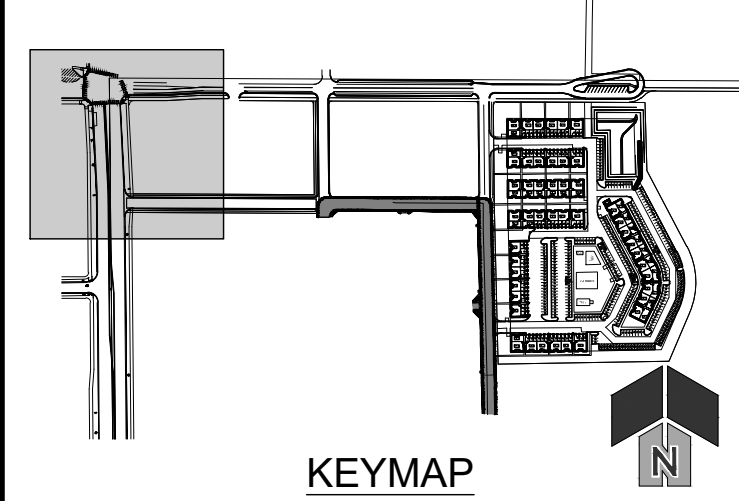
LEGEND

	PROPOSED SANITARY SEWER LINE		PROPOSED STORM PIPE		EXISTING WATER VALVE		EXISTING ELECTRIC
	PROPOSED SANITARY MANHOLE		PROPOSED STORM MANHOLE		EXISTING STORM PIPE		EXISTING FIBER
	PROPOSED SANITARY SERVICE		PROPOSED STORM INLET		EXISTING STORM INLET		ODP PHASE LINE
	PROPOSED WATER LINE		EXISTING SANITARY SEWER LINE		EXISTING STORM MANHOLE		OUTSIDE OF ODP LIMITS
	PROPOSED WATER METER		EXISTING WATER LINE		EXISTING GAS		
	PROPOSED FIRE HYDRANT		EXISTING FIRE HYDRANT		FORCE MAIN		



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 21 OF 72

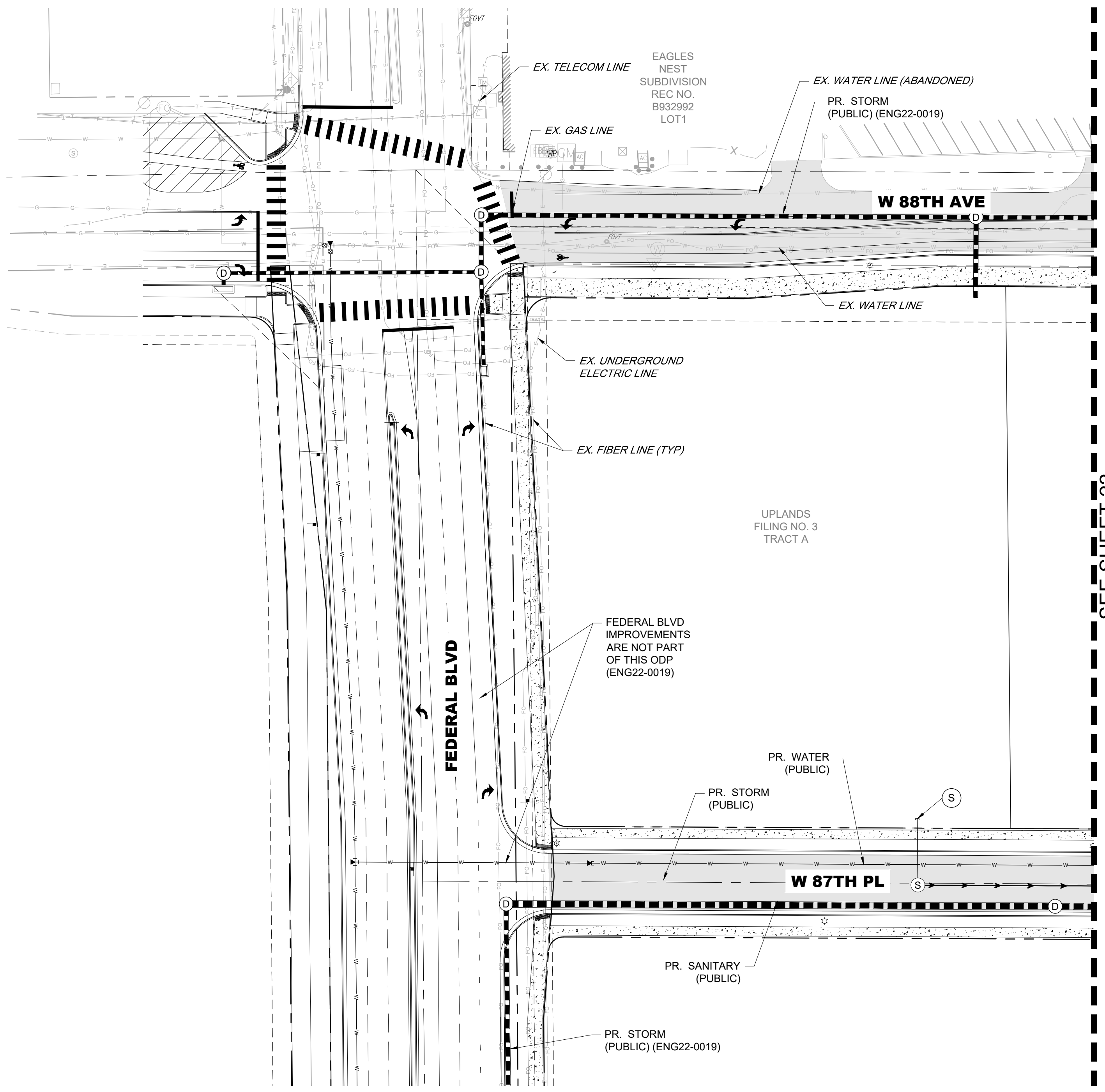
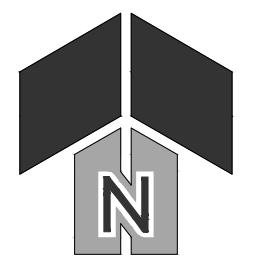
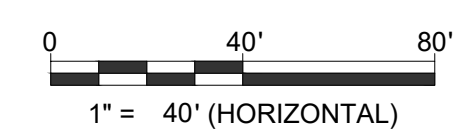


LEGEND

- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SERVICE
- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED WATER SERVICE, METER AND CURB STOP
- PROPOSED FIRE LINE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STORM PIPE
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING FIBER
- PROPOSED ROOF DRAIN

C.O.W.U.E. = CITY OF WESTMINSTER UTILITY EASEMENT

NOTE:
 1. ALL STORMWATER INFRASTRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED.



UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3

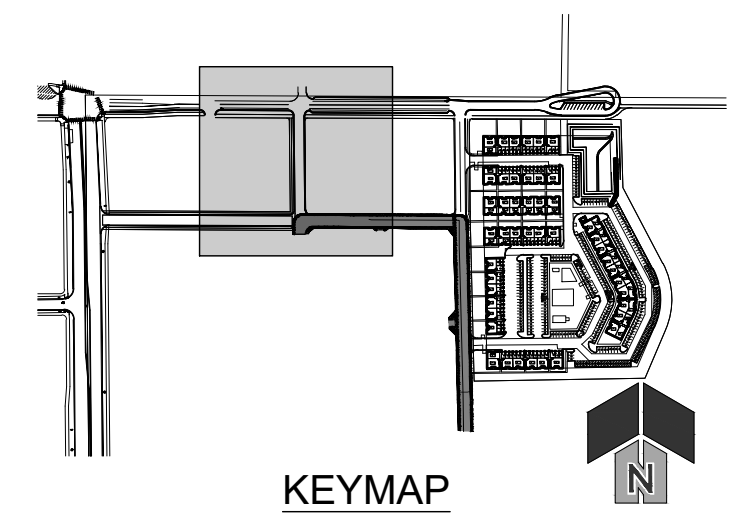
**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023

REVISIONS

- 5TH SUBMITTAL: 01.19.2024
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 22 OF 72



KEYMAP

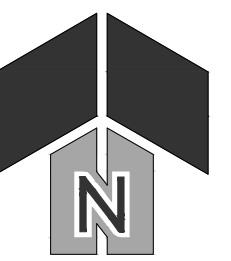
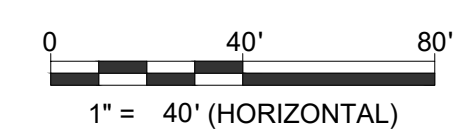
LEGEND

- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SERVICE
- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED WATER SERVICE, METER AND CURB STOP
- PROPOSED FIRE LINE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STORM PIPE
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING FIBER
- PROPOSED ROOF DRAIN

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UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3

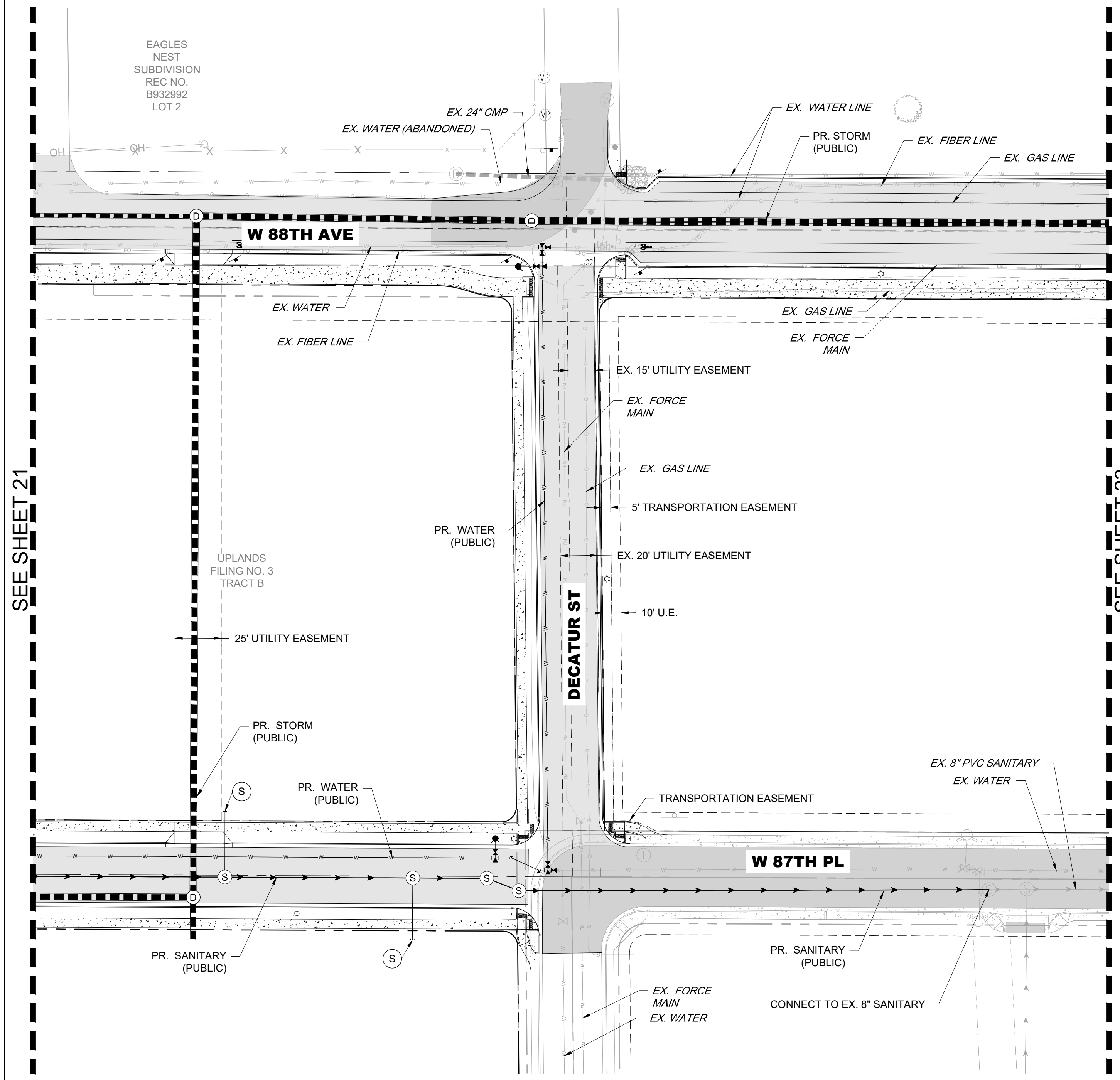
**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023

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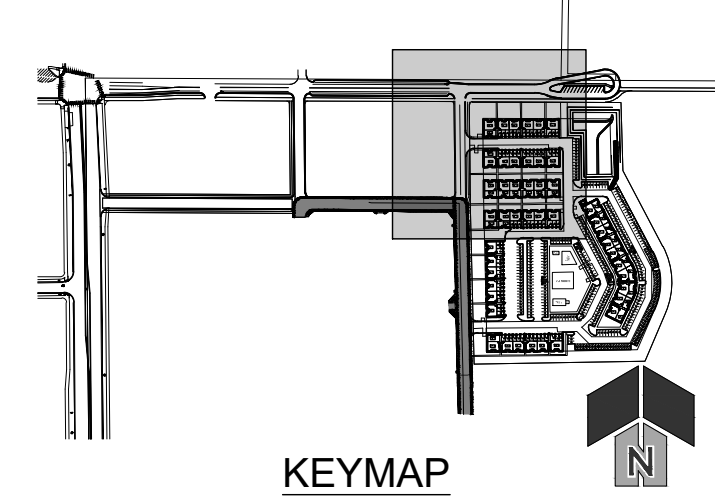
22 OF 72
 UTILITY PLAN



SEE SHEET 21

SEE SHEET 23

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 23 OF 72



KEYMAP

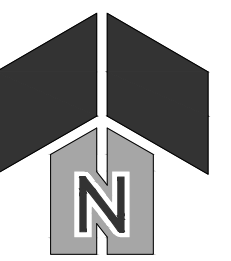
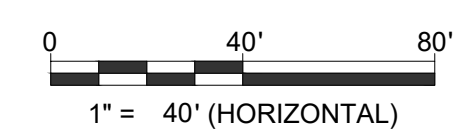
LEGEND

- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SERVICE
- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED WATER SERVICE, METER AND CURB STOP
- PROPOSED FIRE LINE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STORM PIPE
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING FIBER
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UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3

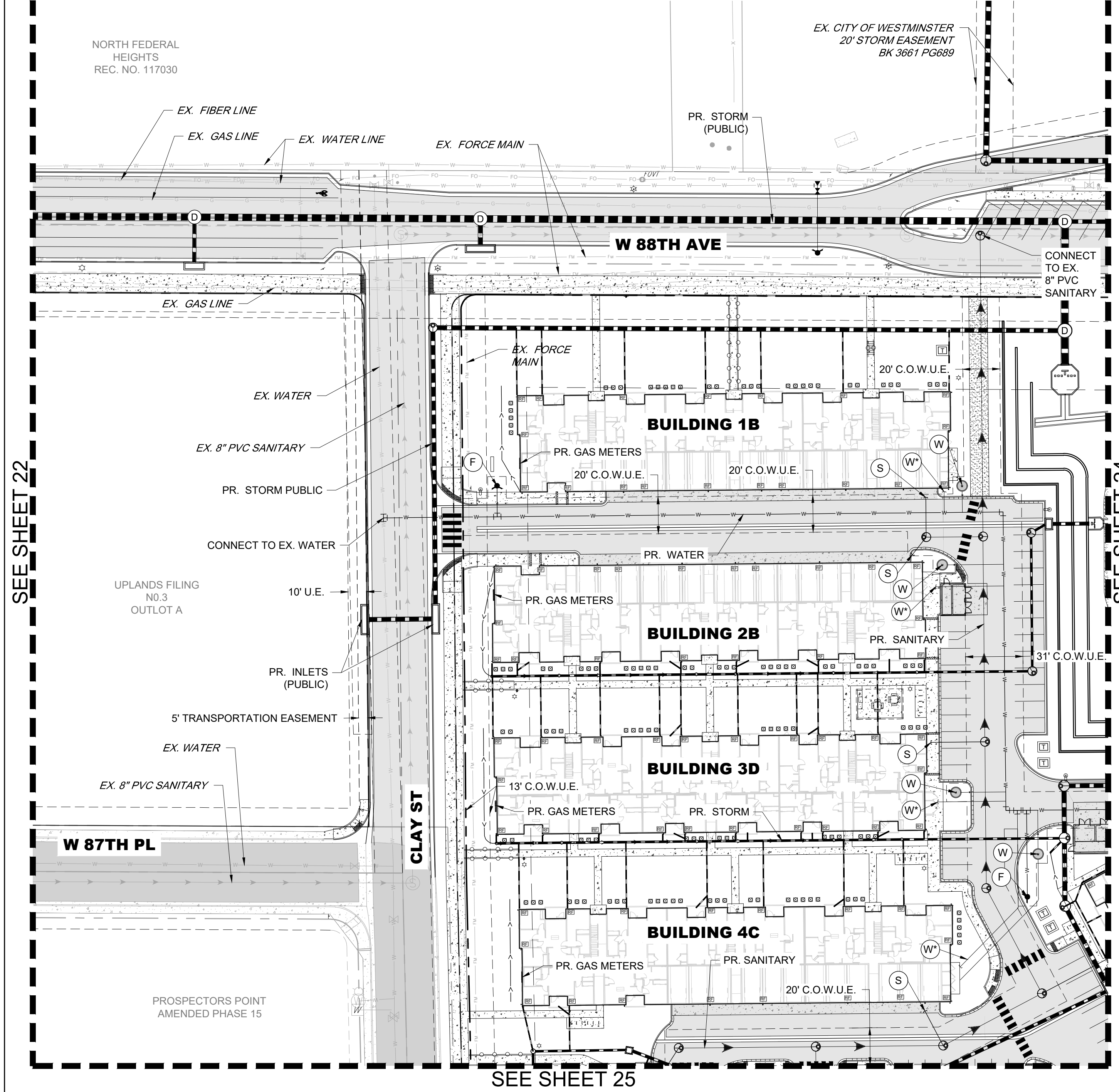
**OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.10.2023

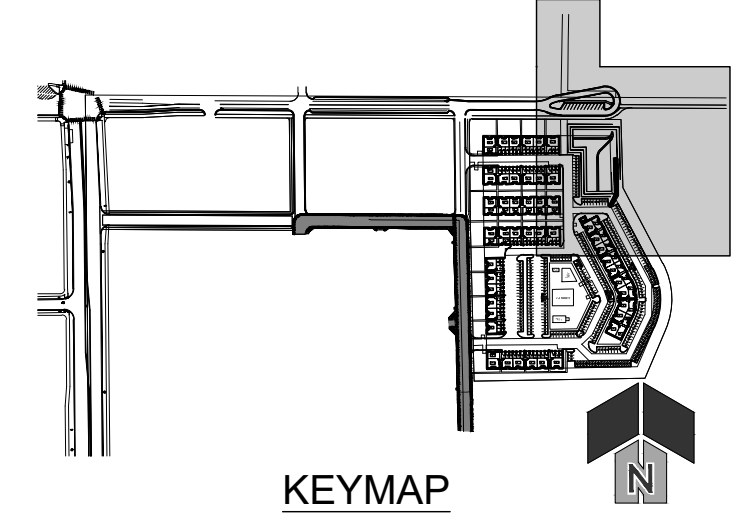
REVISIONS

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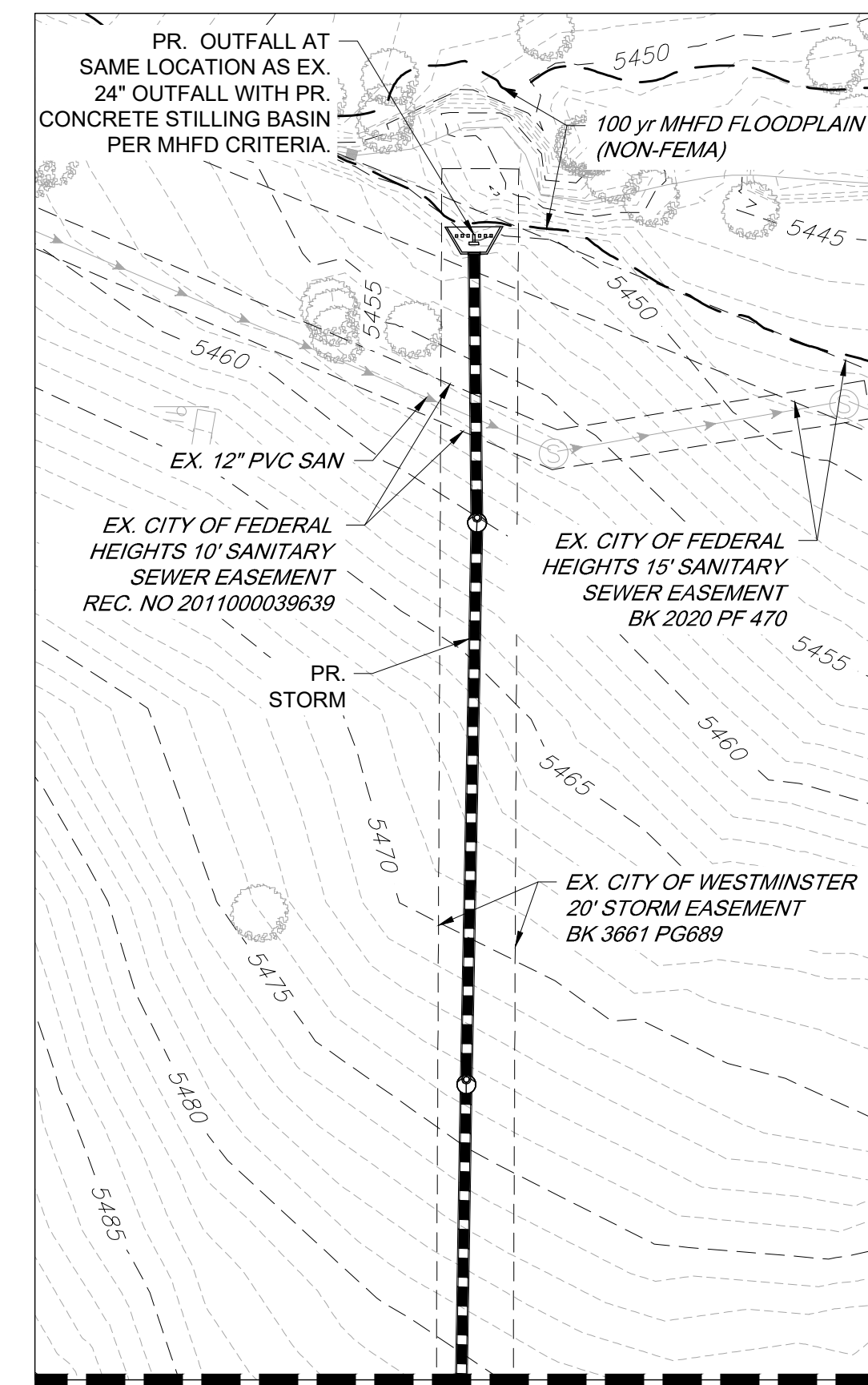
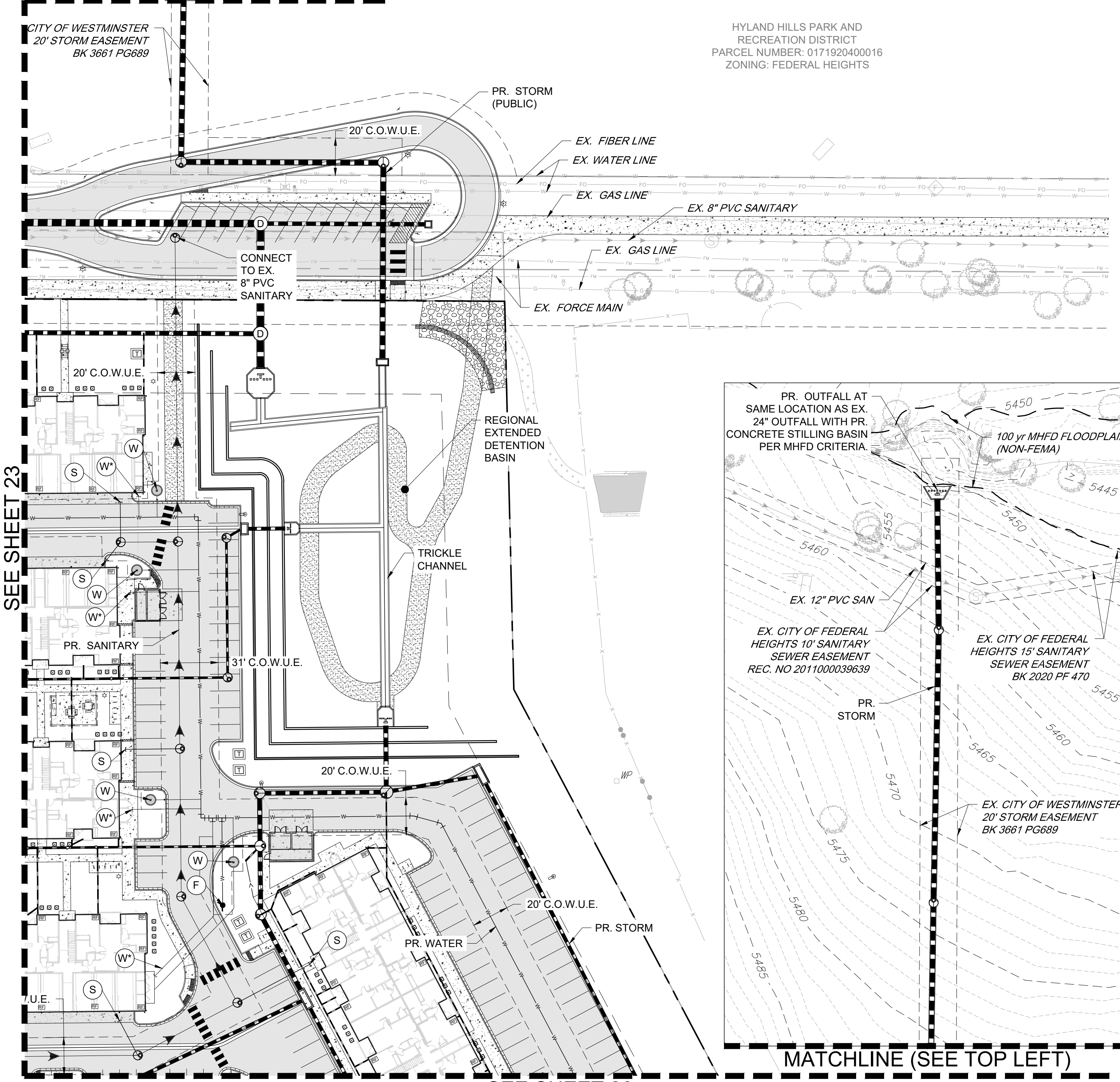
23 OF 72
UTILITY PLAN



OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 24 OF 72



MATCHLINE (SEE BOTTOM RIGHT)



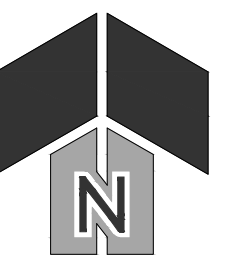
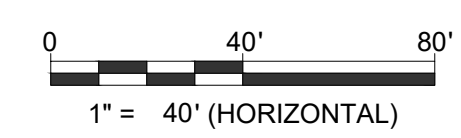
LEGEND

- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SERVICE
- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED WATER SERVICE, METER AND CURB STOP
- PROPOSED FIRE LINE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STORM PIPE
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- EXISTING GAS
- EXISTING ELECTRIC
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UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3

**OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.10.2023

REVISIONS

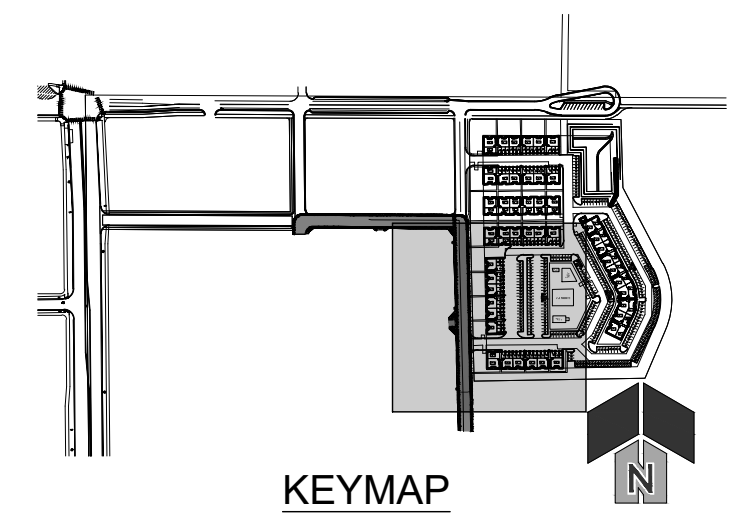
5TH SUBMITTAL: 01.19.2024
4TH SUBMITTAL: 11.29.2023
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2ND SUBMITTAL: 08.10.2023

SEE SHEET 23

SEE SHEET 26

MATCHLINE (SEE TOP LEFT)

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 25 OF 72

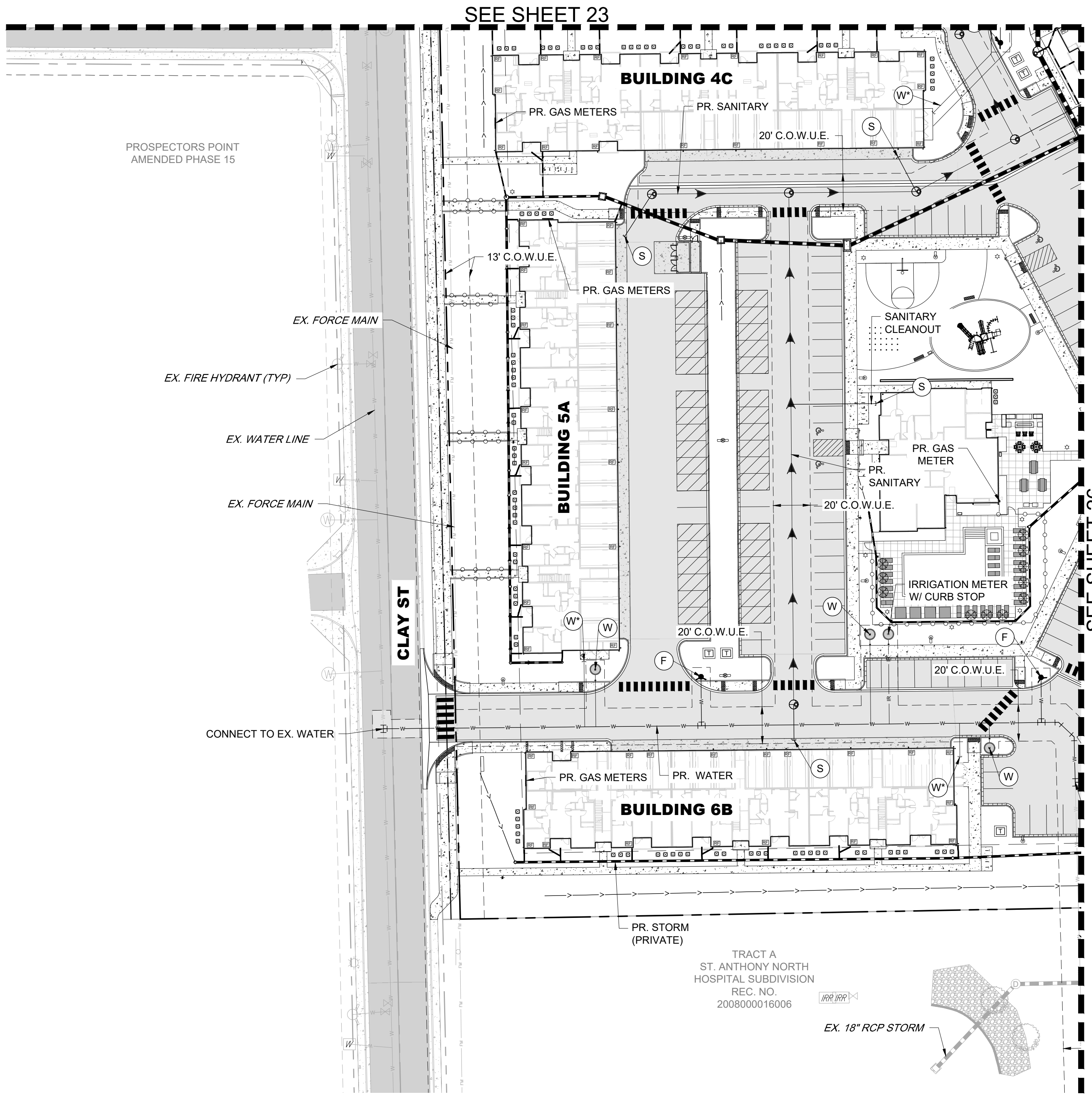
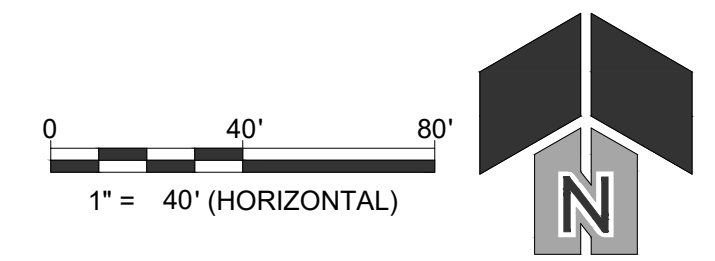


LEGEND

- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SERVICE
- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED WATER SERVICE, METER AND CURB STOP
- PROPOSED FIRE LINE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM PIPE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STORM PIPE
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- EXISTING GAS
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- EXISTING FIBER
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SEE SHEET 23

SEE SHEET 26

TRACT A
 ST. ANTHONY NORTH
 HOSPITAL SUBDIVISION
 REC. NO.
 2008000016006



EX. 18" RCP STORM

UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3

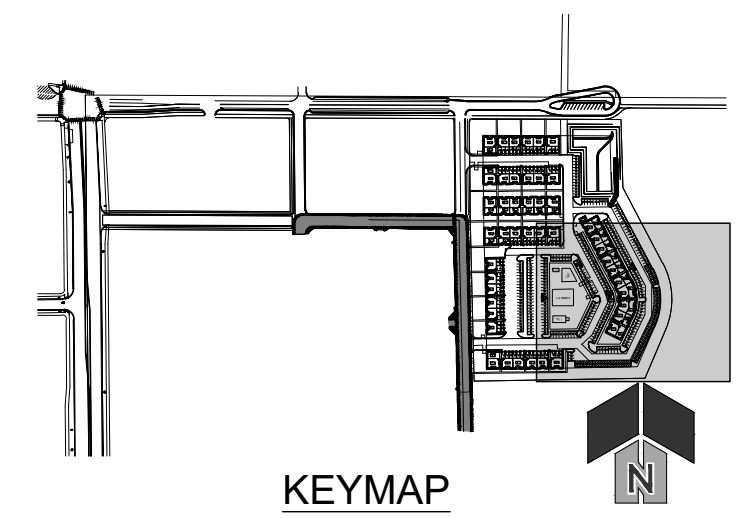
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 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 26 OF 72



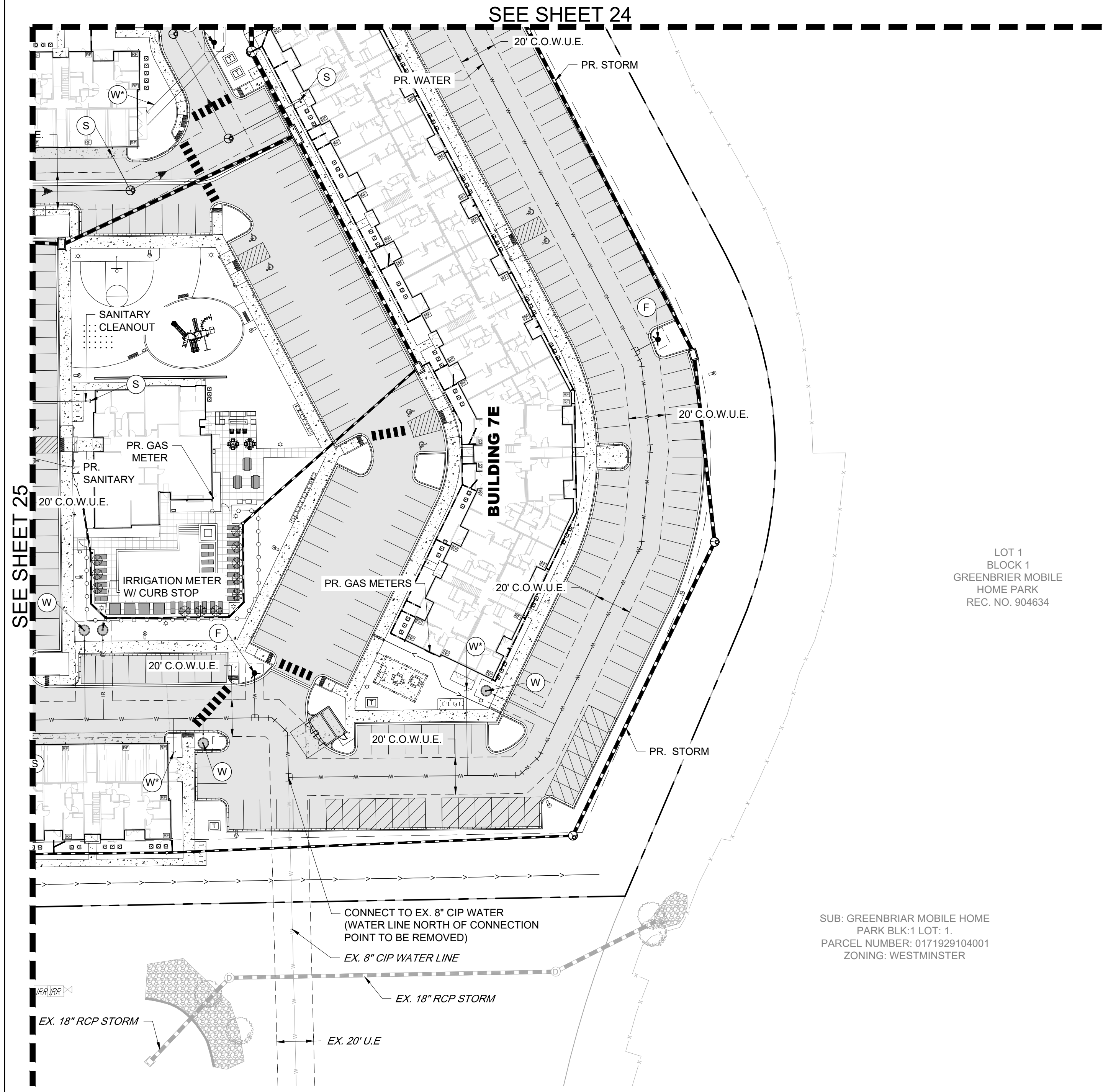
KEYMAP

UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**



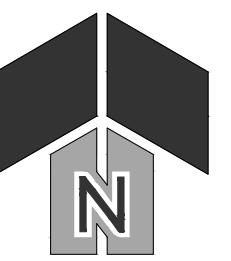
LEGEND

- PROPOSED SANITARY SEWER LINE
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- (S) PROPOSED SANITARY SERVICE
- W — PROPOSED WATER LINE
- ⋈ PROPOSED WATER VALVE
- (W) ⊙ PROPOSED WATER SERVICE, METER AND CURB STOP
- (W*) — PROPOSED FIRE LINE
- (F) ⊙ PROPOSED FIRE HYDRANT
- ▬ PROPOSED STORM PIPE
- ⊙ PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING SANITARY SEWER LINE
- W — EXISTING WATER LINE
- ⊙ EXISTING FIRE HYDRANT
- ⋈ EXISTING WATER VALVE
- ▬ EXISTING STORM PIPE
- EXISTING STORM INLET
- ⊙ EXISTING STORM MANHOLE
- G — EXISTING GAS
- E — EXISTING ELECTRIC
- F — EXISTING FIBER
- RF PROPOSED ROOF DRAIN

C.O.W.U.E. = CITY OF WESTMINSTER UTILITY EASEMENT

NOTE:

1. ALL STORMWATER INFRASTRUCTURE IS PRIVATE UNLESS OTHERWISE NOTED.



OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023

REVISIONS

5TH SUBMITTAL: 01.19.2024
4TH SUBMITTAL: 11.29.2023
3RD SUBMITTAL: 10.06.2023
2ND SUBMITTAL: 08.10.2023

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 27 OF 72



S.T. CHARLES
TOWN COMPANY

PLANTING SCHEDULE:

DECIDUOUS SHADE TREES								
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	HEIGHT	WIDTH	HYDRO-ZONE
6	SSM	<i>Acer miyabei 'Morton'</i>	State Street Maple	2" cal.	as shown	40'	30'	M
18	CHB	<i>Celtis occidentalis</i>	Common Hackberry	2" cal.	as shown	40-60'	40-60'	L
10	KCT	<i>Gymnocladus dioicis</i> <i>Expresso</i>	Kentucky Coffeetree (seedless)	3" cal.	as shown	50-60'	40-50'	M
18	CKO	<i>Quercus muhlenbergii</i>	Chinkapin Oak	2" cal.	as shown	40 - 50'	40-50'	L
10	WCA	<i>Catalpa speciosa</i>	Western Catalpa	3" cal.	as shown	40-60'	30-50'	M
13	SWO	<i>Quercus bicolor</i>	Swamp White Oak	3" cal.	as shown	40-60'	40-60'	M
5	TFB	<i>Corylus colurna</i>	Turkish Filbert	2" cal.	as shown	40'	25'	M
12	PRE	<i>Ulmus wilsoniana 'Prospector'</i>	Prospector Elm	2" cal.	as shown	40 - 50'	25-30'	M
16	ACL	<i>Ulmus x 'Accolade'</i>	Accolade Elm	2" cal.	as shown	60 - 75'	35-45'	M
5	ASL	<i>Tilia americana 'American Sentry'</i>	American Sentry Linden	2" cal.	as shown	40 - 50'	25-30'	M
EVERGREEN TREES								
28	PPN	<i>Pinus ponderosa</i>	Ponderosa Pine	6'	as shown	40'	25'	L
14	WHF	<i>Abies concolor</i>	White Fir	6'	as shown	50-75'	15-25'	M
26	ERC	<i>Juniperus virginiana</i>	Eastern Red Cedar	6'	as shown	50'	20'	L
28	VWP	<i>Pinus flexilis 'Vanderwolf's Pyramid'</i>	Vanderwolf's Pyramid Limber Pine	8'	as shown	35'	15'	L
27	PIN	<i>Pinus edulis</i>	Pinon Pine	6'	as shown	20-30'	10-20'	L
16	CNS	<i>Picea abies 'Cupressina'</i>	Columnar Norway Spruce	8'	as shown	15-20'	4-6'	M
ORNAMENTAL TREES								
7	ABS	<i>Amelanchier x grandiflora</i>	Autumn Brilliance Serviceberry	1.5" cal.	as shown	15 - 20'	10'	M
6	HWM	<i>Acer tataricum 'Garann'</i>	Hot Wings Tatarian Maple	2" cal.	as shown	15-20'	15-20'	M
7	AMA	<i>Maackia amurensis</i>	Amur maackia	2" cal.	as shown	25'	18'	L
10	JTL	<i>Syringa reticulata 'Ivory Silk'</i>	Japanese Tree Lilac Ivory Silk	1.5" cal.	as shown	15-25'	15-20'	L
EVERGREEN SHRUBS								
81	MZT	<i>Arctostaphylos 'Panchito'</i>	Panchito Manzanita	#5	4' o.c.	2'	4'	L
56	BFJ	<i>Juniperus sabina 'Buffalo'</i>	Buffalo Juniper	#5	4' o.c.	12"	6'	L
61	DMP	<i>Pinus mugo 'Pumilo'</i>	Dwarf Mugo Pine	#5	4' o.c.	3-4'	3-4'	L
DECIDUOUS SHRUBS								
19	DGM	<i>Acer ginnala 'Compacta'</i>	Dwarf Ginnala Maple	#5	6' o.c.	8'	6-8'	M
29	CMD	<i>D. x burkwoodi 'Carol Mackie'</i>	Carol Mackie Daphnie	#5	4' o.c.	3'	4'	M
33	GLS	<i>Rhus aromatica 'Grow Low'</i>	Gro-Low Sumac	#5	8' o.c.	3'	8'	L
41	REG	<i>Amelanchier alnifolia 'Regent'</i>	Regent Serviceberry	#5	6' o.c.	4-6'	4-6'	M
89	MKO	<i>Philadelphus lewisii 'Cheyenne'</i>	Cheyenne Mockorange	#5	6' o.c.	5-7'	4-6'	L
106	MHV	<i>Viburnum lantana 'Mohican'</i>	Mohican Viburnum	#5	6' o.c.	6-8'	6-8'	L
28	DKS	<i>Caryopteris x clandonensis 'Dark Knight'</i>	Dark Knight Blue Mist Spirea	#5	3' o.c.	3-4'	3-4'	L
142	TLS	<i>Rhus trilobata</i>	Three-Leaf Sumac	#5	4' o.c.	3-4'	3-4'	L
74	YFC	<i>Ribes aureum</i>	Yellow Flowering Currant	#5	4' o.c.	4-6'	4-6'	L
35	RTD	<i>Cornus sericea</i>	Redtwig Dogwood	#5	6' o.c.	6-8'	6-10'	M
93	IDG	<i>Cornus sericea 'Isanti'</i>	Isanti Dogwood	#5	4' o.c.	4-6'	4'	M
129	DBB	<i>Euonymus alata 'Compacta'</i>	Dwarf Burning Bush	#5	4' o.c.	4-6'	4-6'	M
44	PLS	<i>Prunus x cistena</i>	Purple Leaf Sand Cherry	#5	6' o.c.	6-8'	4-6'	M
29	PBS	<i>Prunus besseyi 'Pawnee Buttes'</i>	Pawnee Buttes Sand Cherry	#5	5.5' o.c.	1-2'	4-6'	M
25	GMC	<i>Ribes alpinum</i>	Green Mound Currant	#5	3' o.c.	3-4'	2-3'	L
13	APC	<i>Ribes alpinum</i>	Alpine Currant	#5	3' o.c.	3-6'	3-6'	L
59	MSM	<i>Philadelphus x virginialis 'Minnesota Snowflake'</i>	Minnesota Snowflake Mockorange	#5	4' o.c.	4-5'	4-5'	M
33	NFS	<i>Spirea japonica 'Neon Flash'</i>	Neon Flash Spirea	#5	3' o.c.	3'	3'	L
133	DKL	<i>Syringa meyeri</i>	Dwarf Korean Lilac	#5	4' o.c.	4-6'	4-6'	L
ORNAMENTAL GRASSES								
153	BGG	<i>Bouteloua gracilis 'Blonde Ambition'</i>	Blonde Ambition Blue Grama Grass	#1	24" o.c.	2-3'	2-3'	L
25	BAG	<i>Helictotrichon sempervirens</i>	Blue Avena Grass	#1	24" o.c.	2-3'	2'	M
52	FRG	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Feather Reed Grass	#1	2-3' o.c.	3-4'	2-3'	M
PERENNIALS								
19	YAR	<i>Achillea millefolium</i>	Common Yarrow	#1	24" o.c.	18-24"	2-3'	L
9	PCF	<i>Echinacea purpurea</i>	Purple Coneflower	#1	24" o.c.	24-36"	18-24"	L
10	BES	<i>Rudbeckia fulgida 'Goldsturm'</i>	Black Eyed Susan	#1	24" o.c.	24-36"	18-24"	M

SITE DATA TABLE:

USE	SURFACE TYPE	AREA (SF)	% OF SITE
MULTI-FAMILY RESIDENTIAL	BUILDING COVERAGE	98,324 SF	23%
	PAVING AND DRIVES	151,207 SF	36%
	LANDSCAPE OPEN AREA	169,893 SF	41%
TOTAL:		419,424 SF	100%

LANDSCAPE REQUIREMENTS:

PRIVATE LANDSCAPE AREA (148,136 SQ. FT.)			
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
TREES	1/550 SF	270	277
SHRUBS	3/550 SF	803	1,352

RIGHT-OF-WAY LANDSCAPE AREA (7,606 SQ. FT.)			
	LANDSCAPE RATIO	# REQUIRED	# PROVIDED
TREES	1/550 SF	14	14
SHRUBS	3/550 SF	42	44

PRIVATE PARK AREA (.04 X 419,424 SQ FT)		
	REQUIRED SQ FT	PROVIDED SQ FT
	16,777 SQ FT	29,783 SQ FT

NATIVE GRASS - UPLAND MIX:

COMMON NAME	BOTANICAL NAME	VARIETY	PLS* LB/ ACRE	% OF MIX
Sideoats Grama	<i>Bouteloua curtipendula</i>		13.6	14
Blue Grama	<i>Bouteloua gracilis</i>	Alma	24.8	25
Buffalograss	<i>Buchloe dactyloides</i>	Native	36	37
Prairie Sandreed	<i>Calamovita longifolia</i>		12.4	12
Little Bluestem	<i>Schizachyrium scoparium</i>		9.6	10
Alkali Sacaton	<i>Sporobolus airoides</i>	Native	1.6	2
*PLS = Pure Live Seed			Total lbs per acre:	100

NATIVE GRASS - MHFD WETLAND MIX:

BOTANICAL NAME	COMMON NAME	GROWTH FORM	% MIX	Lb/ac (PLS ¹)
<i>Sporobolus airoides</i>	Alkali sacaton	Bunch	10	0.4
<i>Distichlis spicata</i>	Inland saltgrass	Sod	10	1.2
<i>Puccinellia nuttalliana</i>	Nuttall's alkaligrass	Bunch	10	0.2
<i>Spartina pectinata</i>	Prairie cordgrass	Sod	10	3.0
<i>Elymus trachycaulus spp.</i>	Slender wheatgrass	Bunch	10	3.8
<i>Pascopyrum smithii</i>	Western wheatgrass	Sod	10	5.5
<i>Glyceria striata</i>	Fowl mannagrass	Sod	10	3.3
<i>Scirpus acutus</i>	Hardstem bulrush		10	1.6
<i>Juncus balticus</i>	Baltic rush		10	0.1
<i>Eleocharis palustris</i>	Creeping spikerush		10	1.0
Total lbs per acre:				20.1

¹ PLS = Pure Live Seed.

UPLANDS

UPLANDS FILING NO. 3

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WESTMINSTER, COLORADO

DATE: 05.10.2023

OFFICIAL DEVELOPMENT PLAN
PREPARED: 05.10.2023

REVISIONS

5TH SUBMITTAL: 01.19.2024
 4TH SUBMITTAL: 11.29.2023
 3RD SUBMITTAL: 10.06.2023
 2ND SUBMITTAL: 08.10.2023

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 28 OF 72



ST. CHARLES
TOWN COMPANY

UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
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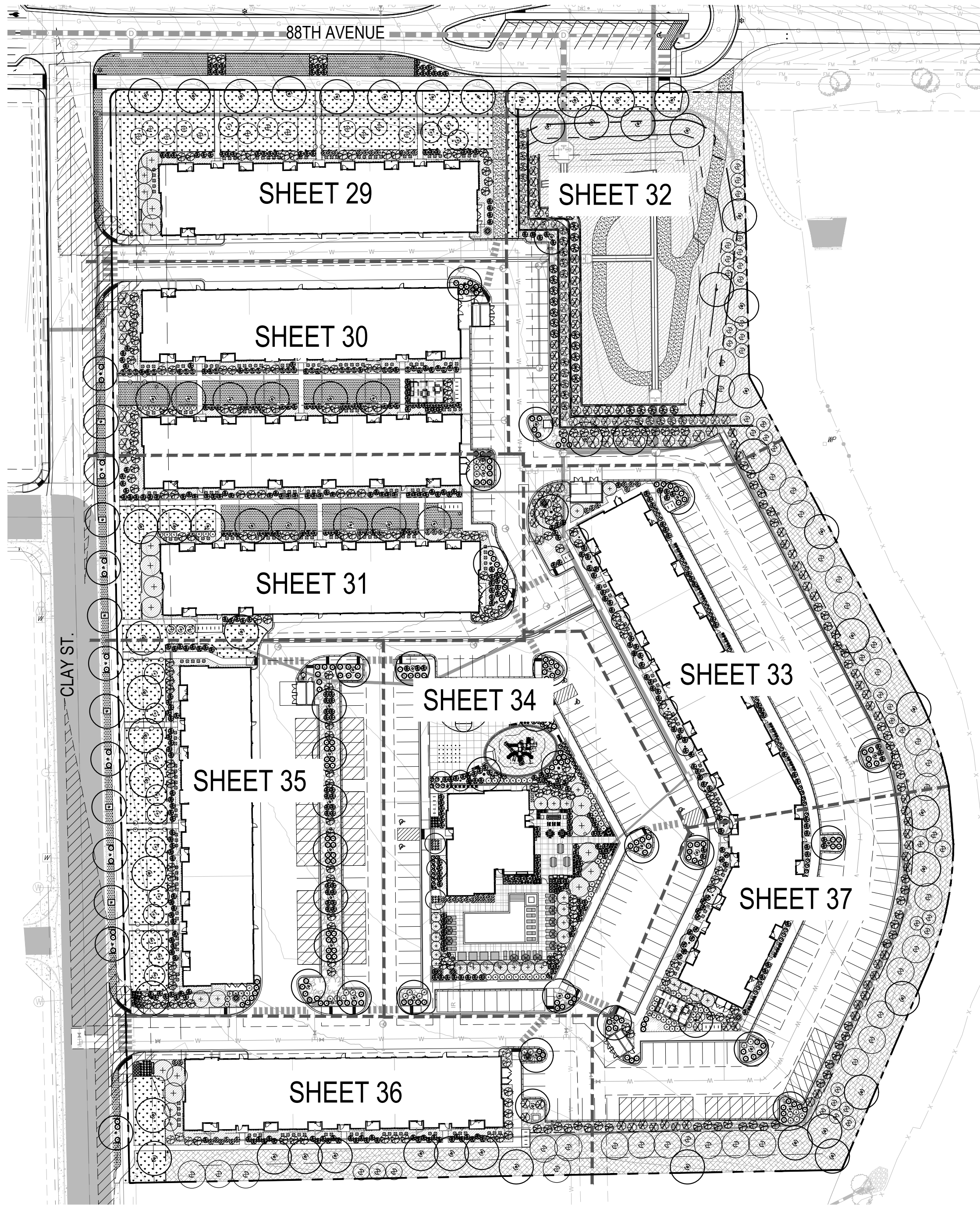
2ND SUBMITTAL: 08.10.2023

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OVERALL LANDSCAPE PLAN

CITY OF WESTMINSTER STANDARD NOTES:

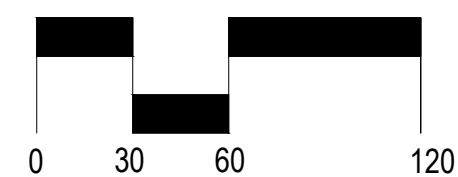
- A. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- B. THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- C. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- D. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- E. ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
- F. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- G. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- H. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- I. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- J. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAT.
- K. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.



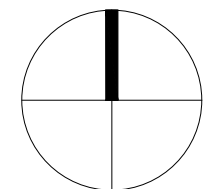
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OVERALL LANDSCAPE PLAN

SCALE: 1" = 60'



SCALE: 1" = 60'-0"



NORTH

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 29 OF 72



ST. CHARLES
TOWN COMPANY

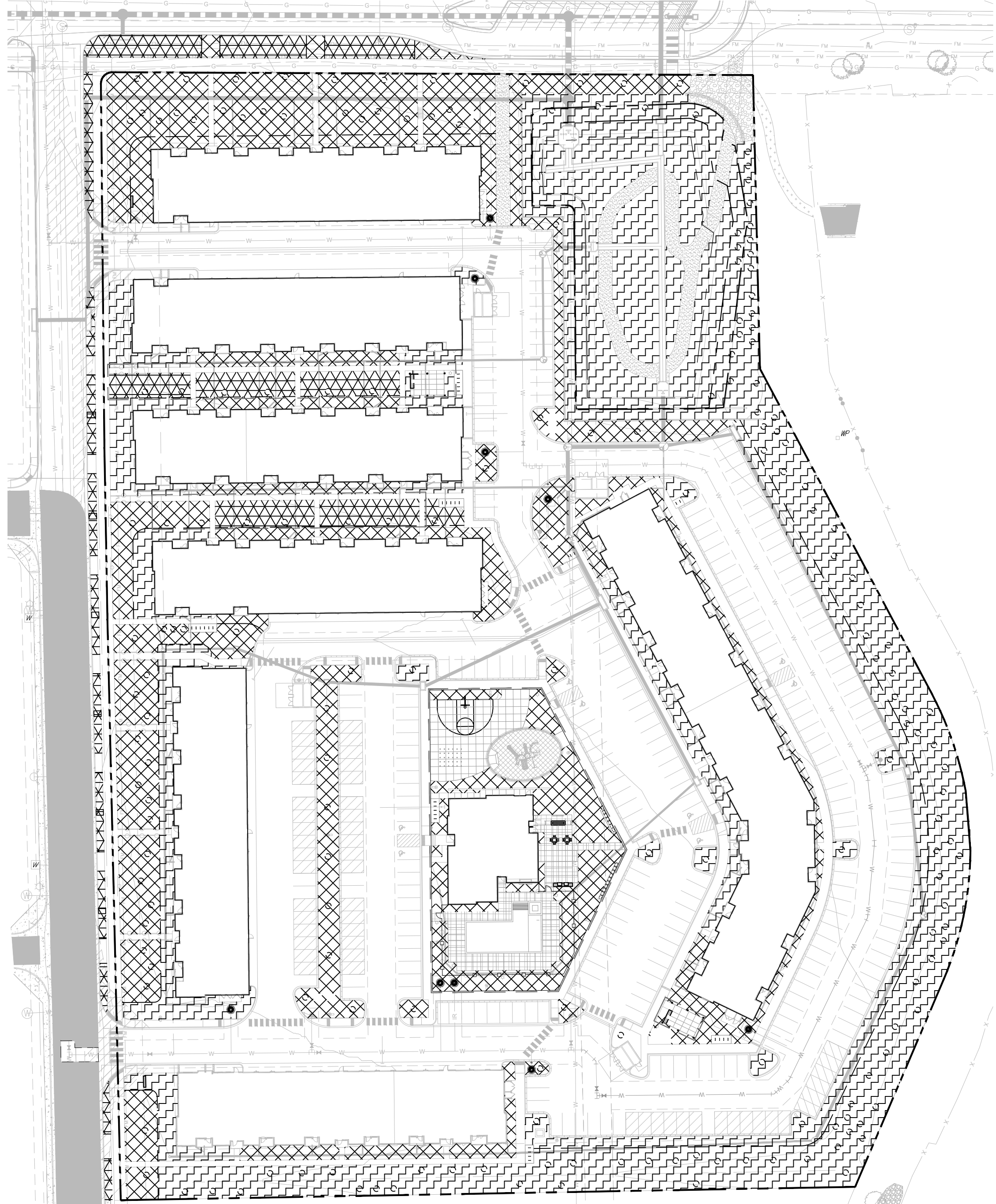
UPLANDS

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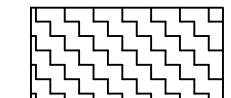

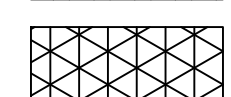
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 HYDROZONE PLAN



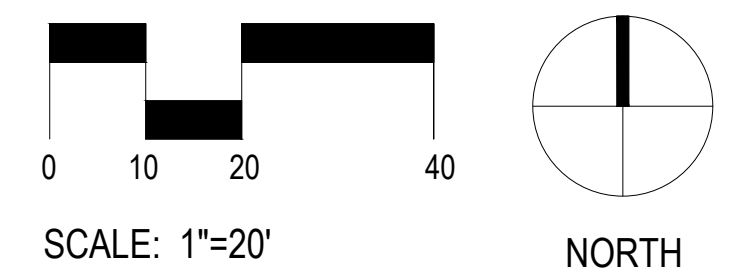
HYDROZONE LEGEND:

-  LOW HYDROZONE
-  MODERATE HYDROZONE
-  HIGH HYDROZONE

HYDROZONE CHART:

HYDROZONE	AREA (SF)	GALLONS / SEASON
LOW (3 GAL/SF/SEASON)	87,478	262,434
MEDIUM (10 GAL/SF/SEASON)	73,855	738,550
HIGH (18 GAL/SF/SEASON)	14,680	264,240
	176,013	1,265,224
TOTAL GALLONS / SF / SEASON (1,265,224 / 176,013) = 7.19		

1
29
HYDROZONE PLAN
 SCALE: 1" = 60'



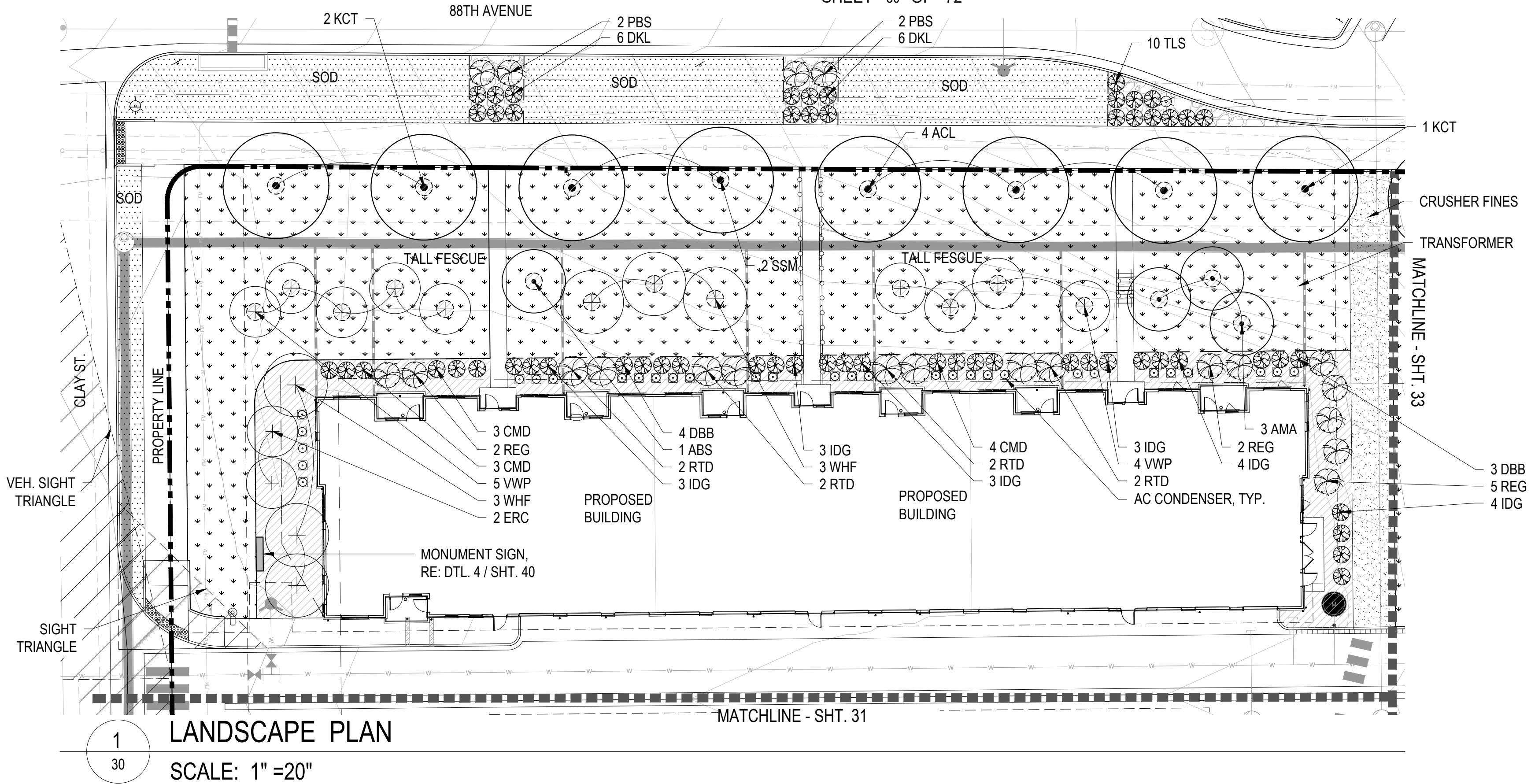
OFFICIAL DEVELOPMENT PLAN
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 COUNTY OF ADAMS, STATE OF COLORADO
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UPLANDS

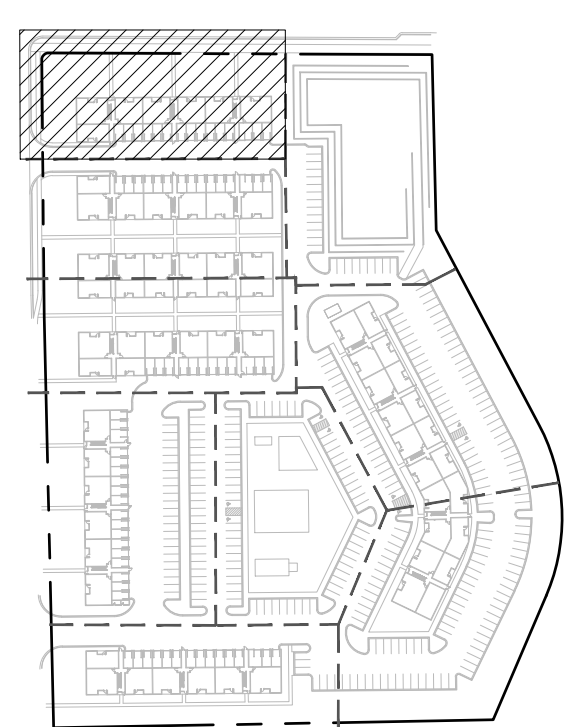
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 WESTMINSTER, COLORADO

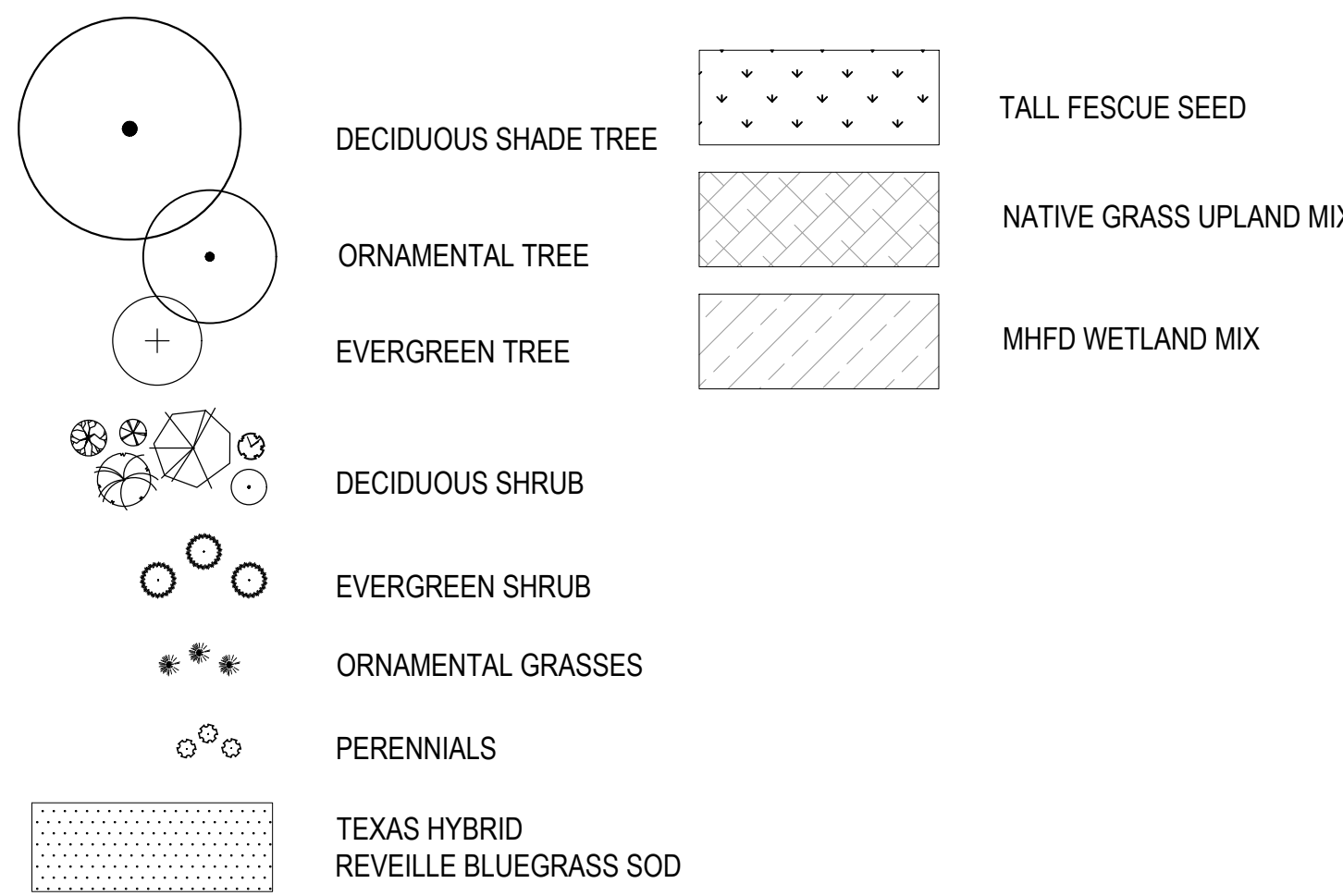


LANDSCAPE PLAN
 SCALE: 1" = 20"

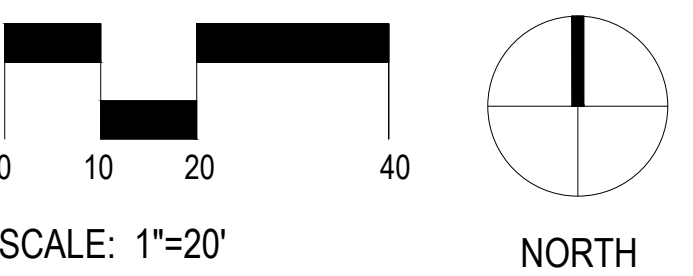
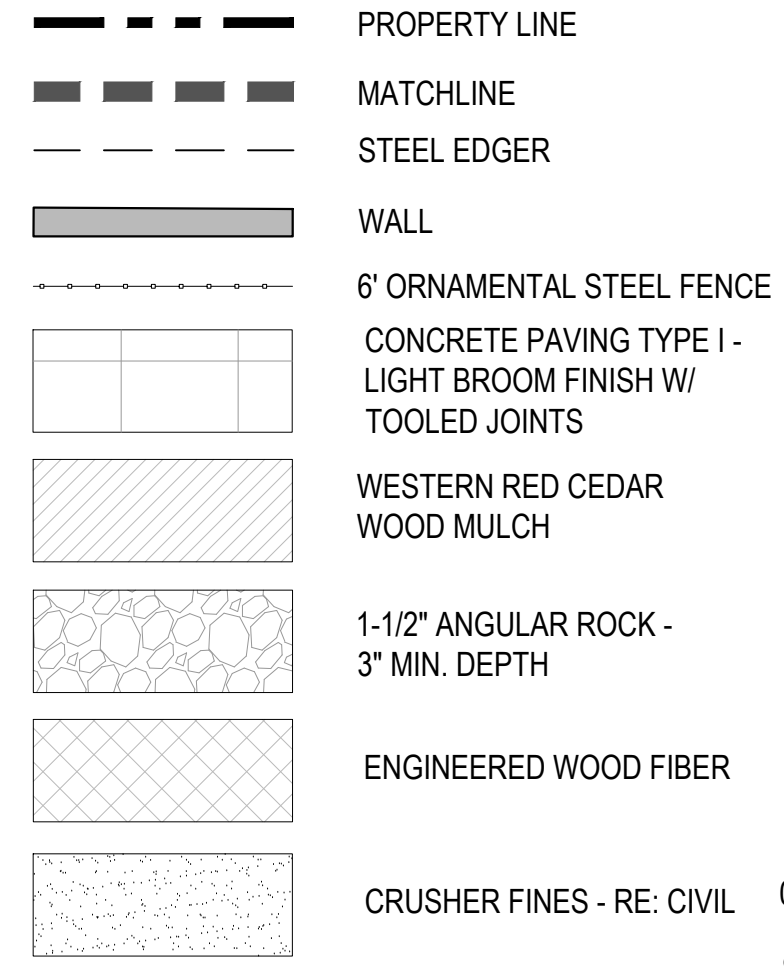
KEY MAP:



PLANTING LEGEND:



MATERIAL LEGEND:



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023
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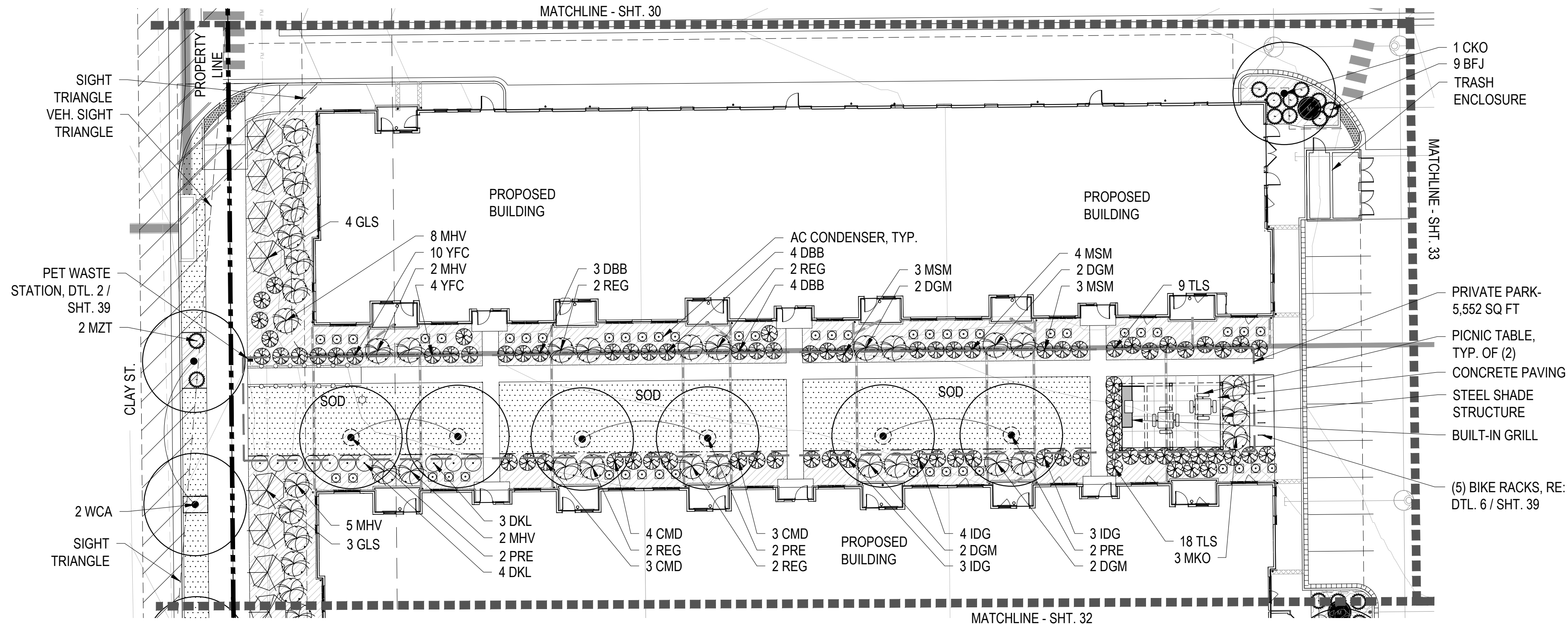


ST. CHARLES
TOWN COMPANY

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OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



1
31 **LANDSCAPE PLAN**
SCALE: 1" = 20"

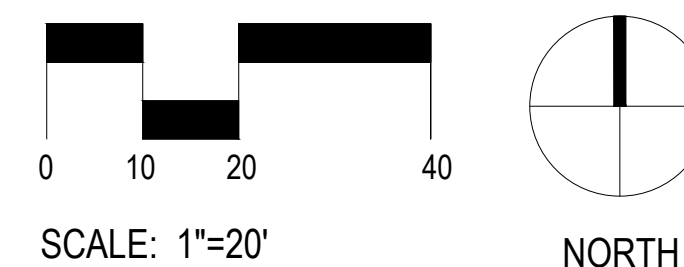
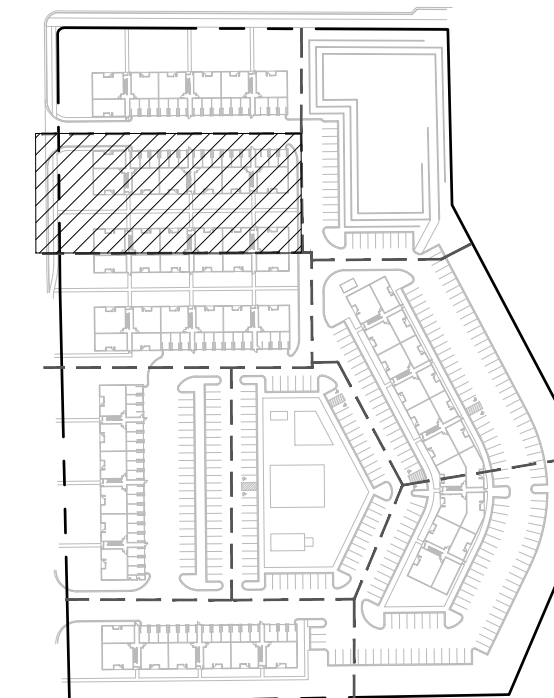
PLANTING LEGEND:

	DECIDUOUS SHADE TREE		TEXAS HYBRID REVEILLE BLUEGRASS SOD
	ORNAMENTAL TREE		TALL FESCUE SEED
	EVERGREEN TREE		NATIVE GRASS UPLAND MIX
	DECIDUOUS SHRUB		MHFD WETLAND MIX
	EVERGREEN SHRUB		
	ORNAMENTAL GRASSES		
	PERENNIALS		

MATERIAL LEGEND:

	PROPERTY LINE
	MATCHLINE
	STEEL EDGER
	WALL
	6' ORNAMENTAL STEEL FENCE
	CONCRETE PAVING TYPE I - LIGHT BROOM FINISH W/ TOOLED JOINTS
	WESTERN RED CEDAR WOOD MULCH
	1-1/2" ANGULAR ROCK - 3" MIN. DEPTH
	ENGINEERED WOOD FIBER
	CRUSHER FINES - RE: CIVIL

KEY MAP:



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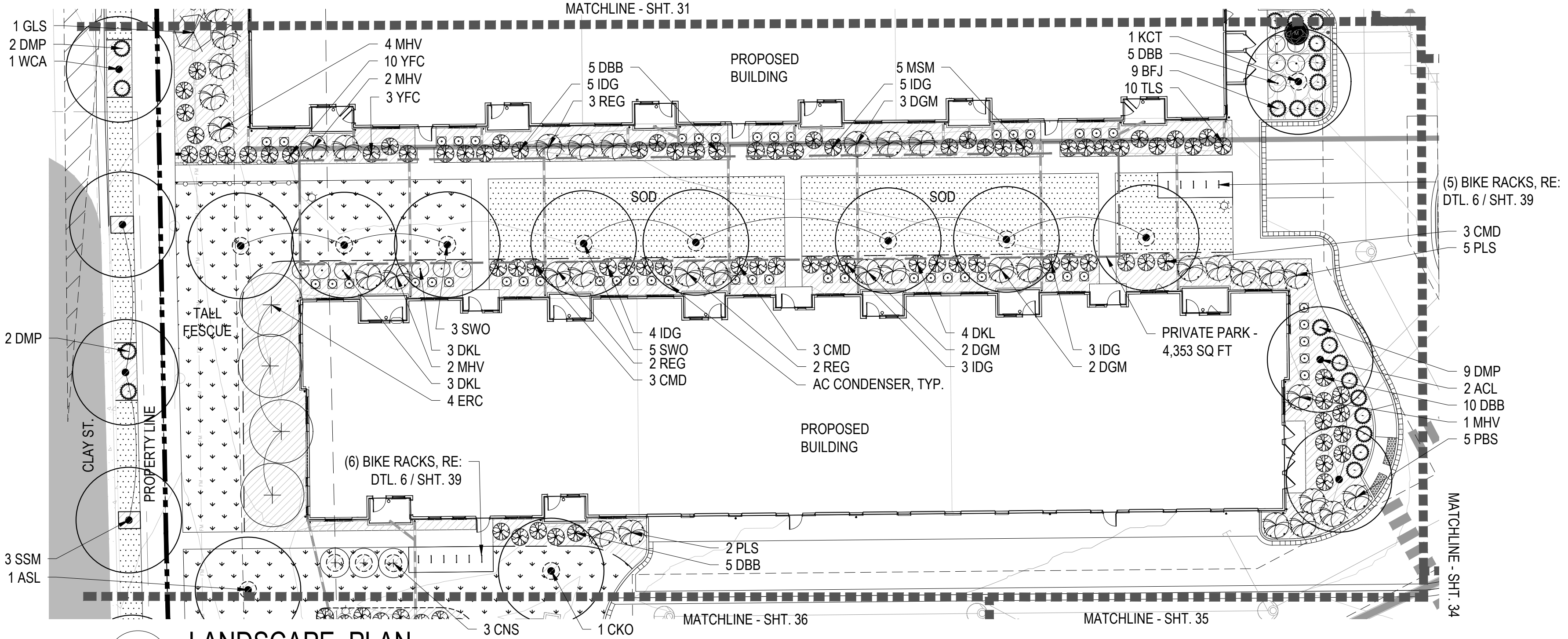


ST. CHARLES
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 WESTMINSTER, COLORADO



1
32
LANDSCAPE PLAN
SCALE: 1" = 20"

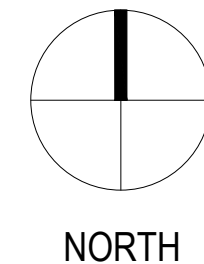
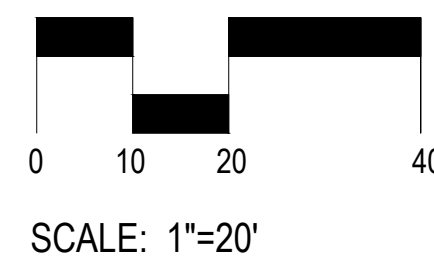
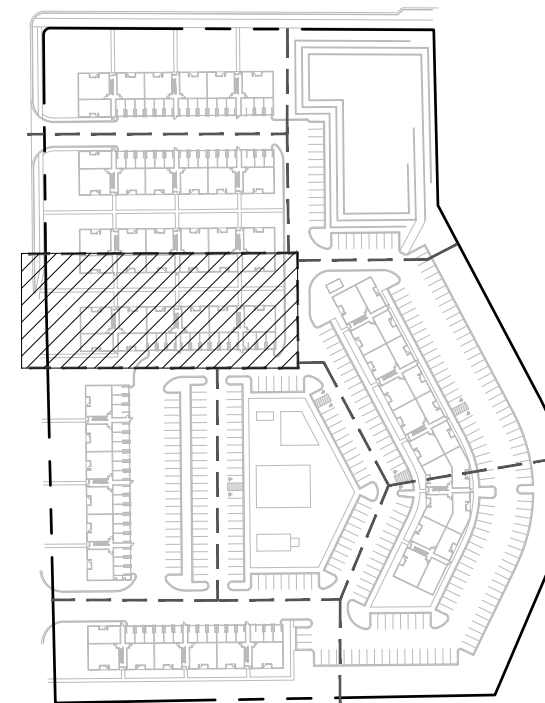
MATERIAL LEGEND:

	PROPERTY LINE
	MATCHLINE
	STEEL EDGER
	WALL
	6' ORNAMENTAL STEEL FENCE
	CONCRETE PAVING TYPE I - LIGHT BROOM FINISH W/ TOOLED JOINTS
	WESTERN RED CEDAR WOOD MULCH
	1-1/2" ANGULAR ROCK - 3" MIN. DEPTH
	ENGINEERED WOOD FIBER
	CRUSHER FINES - RE: CIVIL

PLANTING LEGEND:

	DECIDUOUS SHADE TREE		TEXAS HYBRID REVEILLE BLUEGRASS SOD
	ORNAMENTAL TREE		TALL FESCUE SEED
	EVERGREEN TREE		NATIVE GRASS UPLAND MIX
	DECIDUOUS SHRUB		MHFD WETLAND MIX
	EVERGREEN SHRUB		
	ORNAMENTAL GRASSES		
	PERENNIALS		

KEY MAP:



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023
REVISIONS
5TH SUBMITTAL: 01.19.2024
4TH SUBMITTAL: 11.29.2023
3RD SUBMITTAL: 10.06.2023
2ND SUBMITTAL: 08.10.2023

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
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 IN THE CITY OF WESTMINSTER
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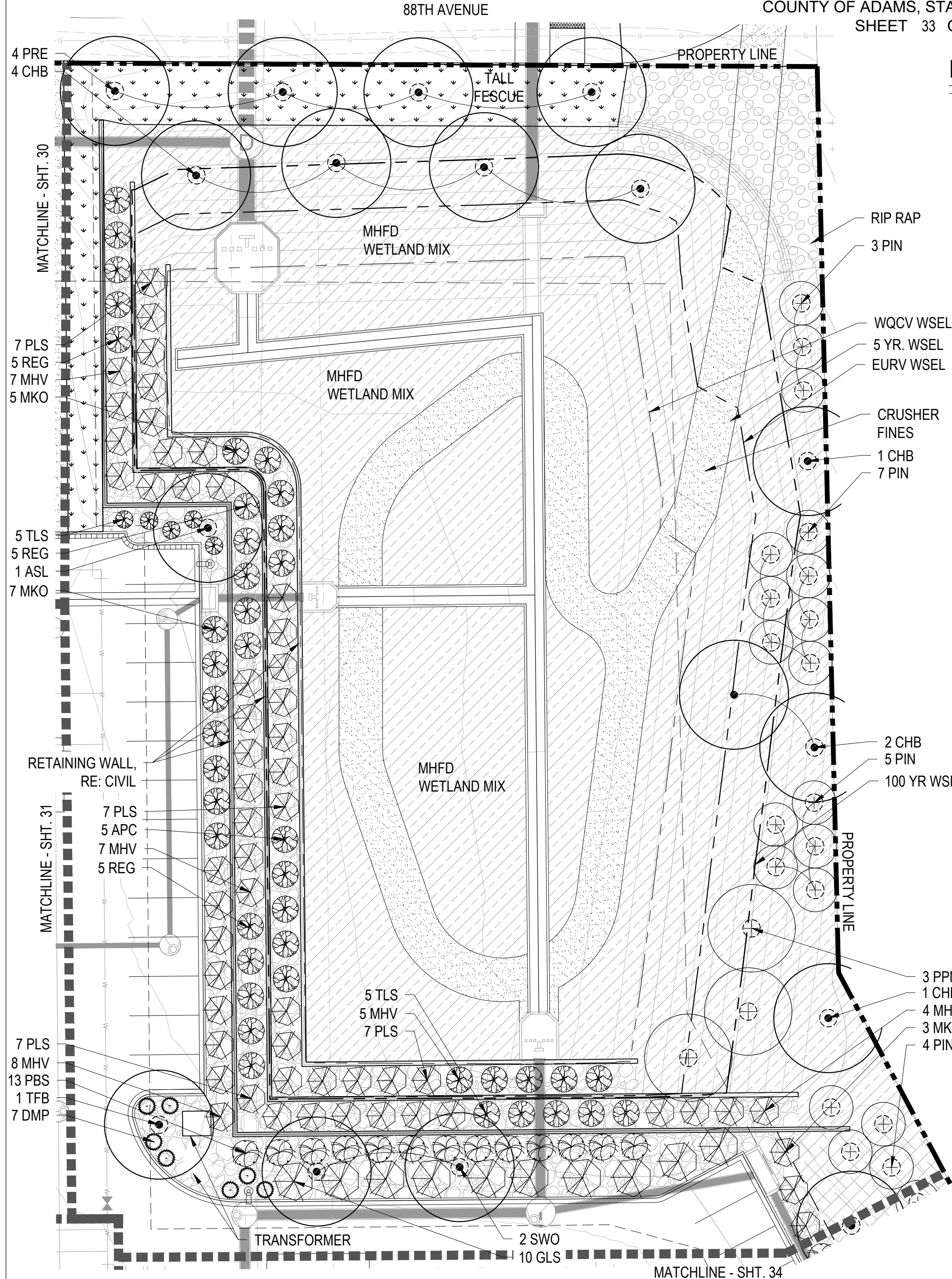
S. CHARLES
TOWN COMPANY

UPLANDS

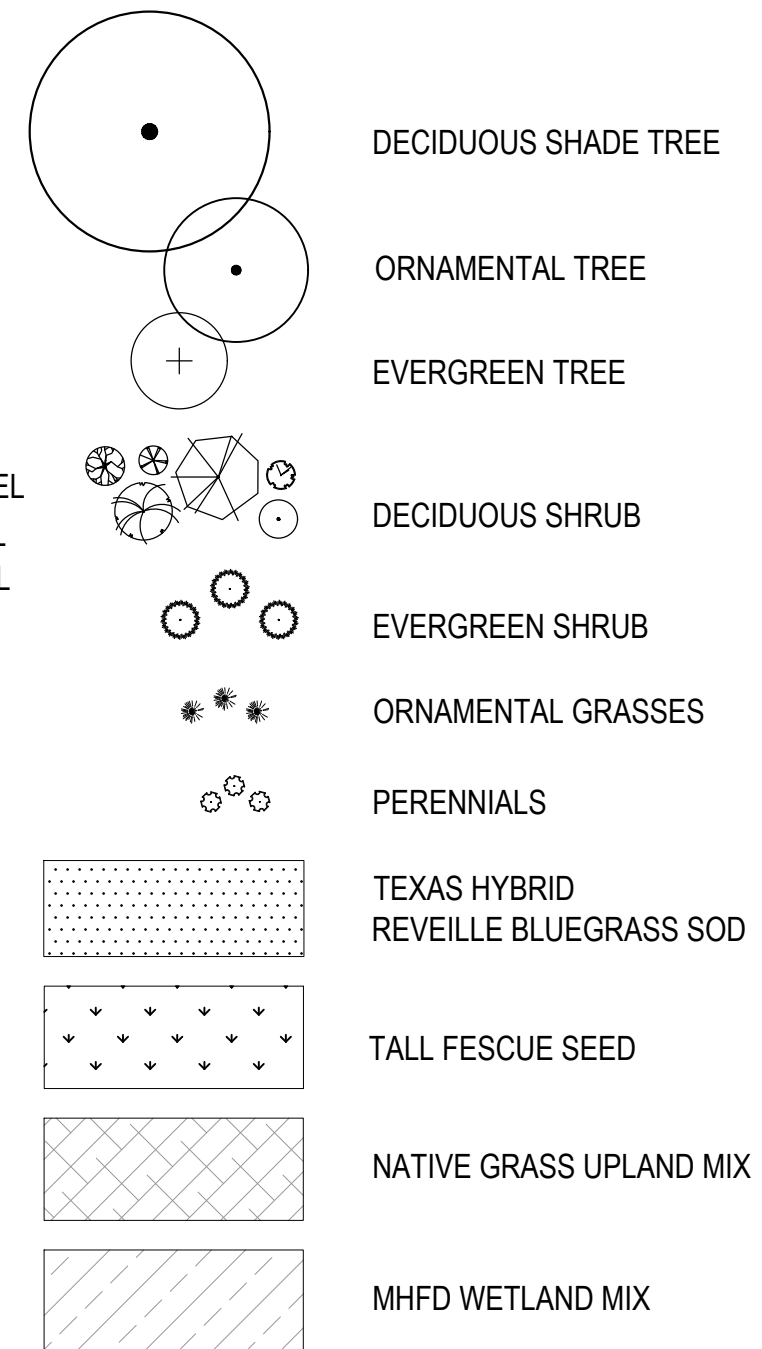
DATE: 05.10.2023

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

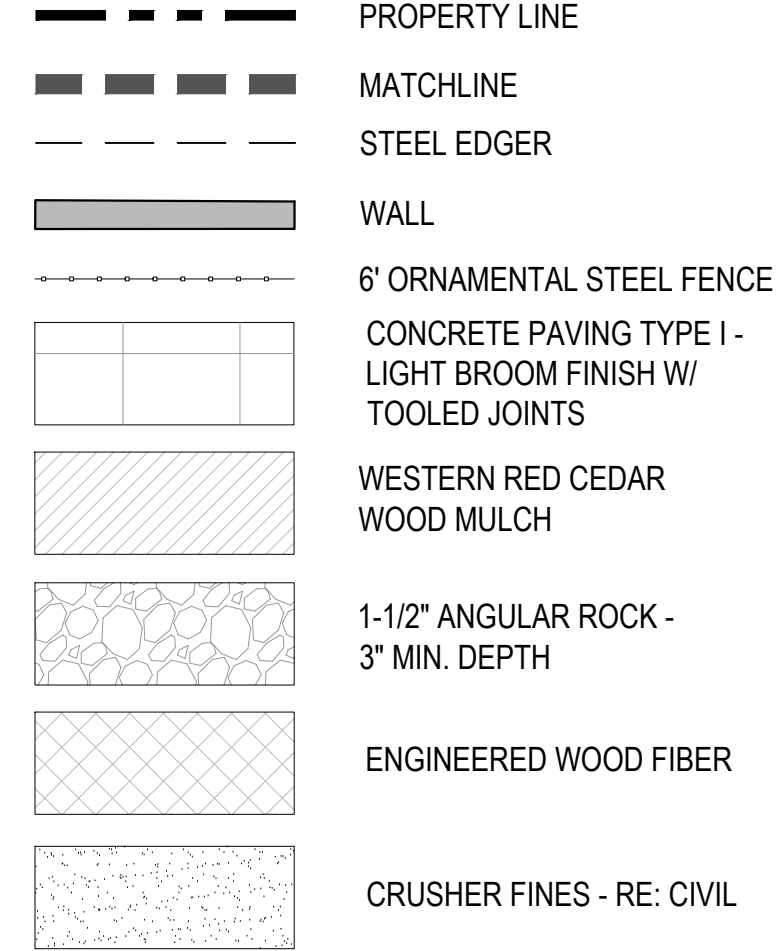
OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023
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3RD SUBMITTAL: 10.06.2023
2ND SUBMITTAL: 08.10.2023



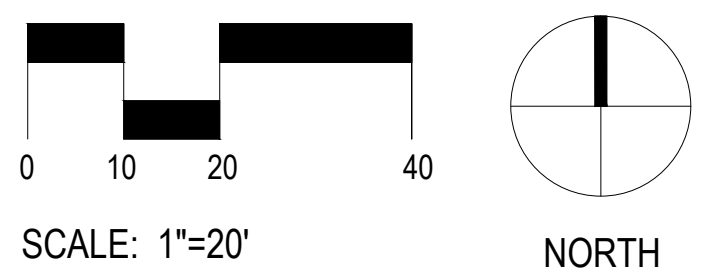
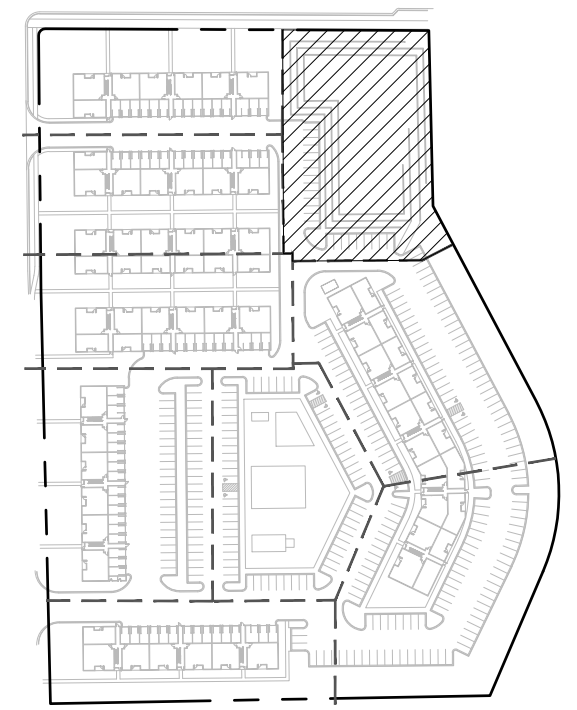
PLANTING LEGEND:



MATERIAL LEGEND:



KEY MAP:



1
33
LANDSCAPE PLAN
 SCALE: 1"=20"

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
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UPLANDS

DATE: 05.10.2023

UPLANDS FILING NO. 3
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

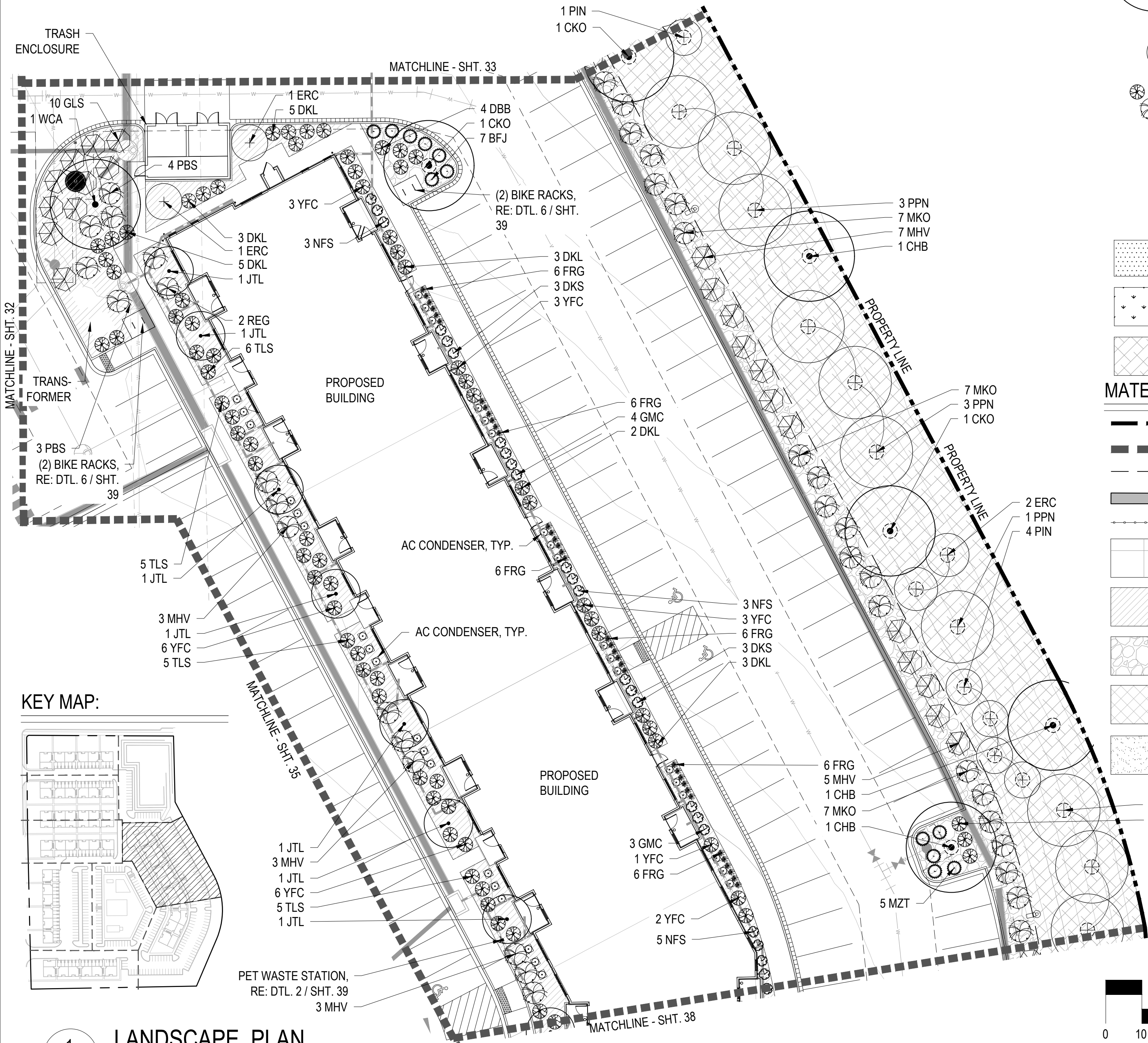
OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023
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3RD SUBMITTAL: 10.06.2023
2ND SUBMITTAL: 08.10.2023

PLANTING LEGEND:

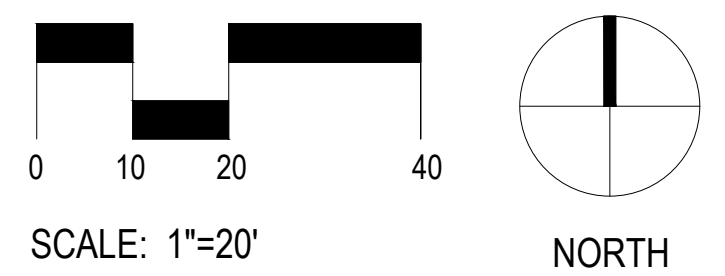
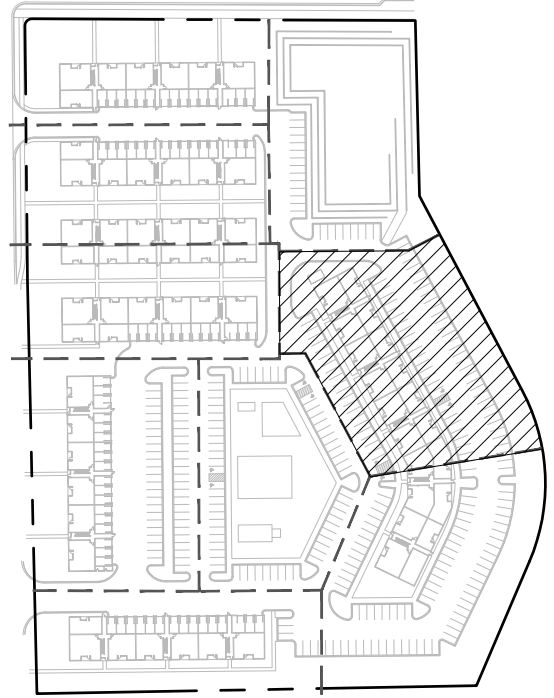
- DECIDUOUS SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASSES
- PERENNIALS
- TEXAS HYBRID REVEILLE BLUEGRASS SOD
- TALL FESCUE SEED
- NATIVE GRASS UPLAND MIX

MATERIAL LEGEND:

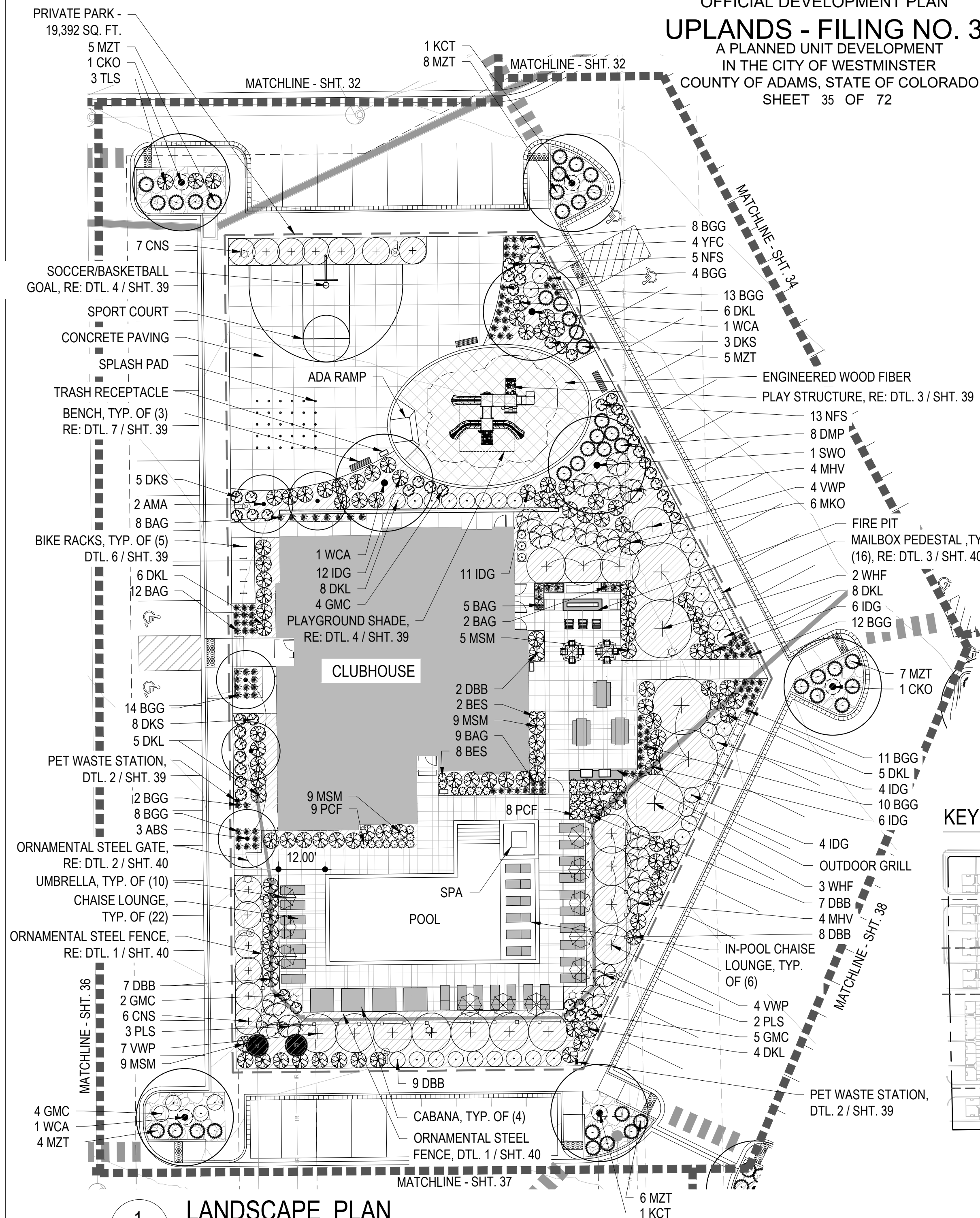
- PROPERTY LINE
- MATCHLINE
- STEEL EDGER
- WALL
- 6' ORNAMENTAL STEEL FENCE
- CONCRETE PAVING TYPE I - LIGHT BROOM FINISH W/ TOOLED JOINTS
- WESTERN RED CEDAR WOOD MULCH
- 1-1/2" ANGULAR ROCK - 3" MIN. DEPTH
- ENGINEERED WOOD FIBER
- CRUSHER FINES - RE: CIVIL



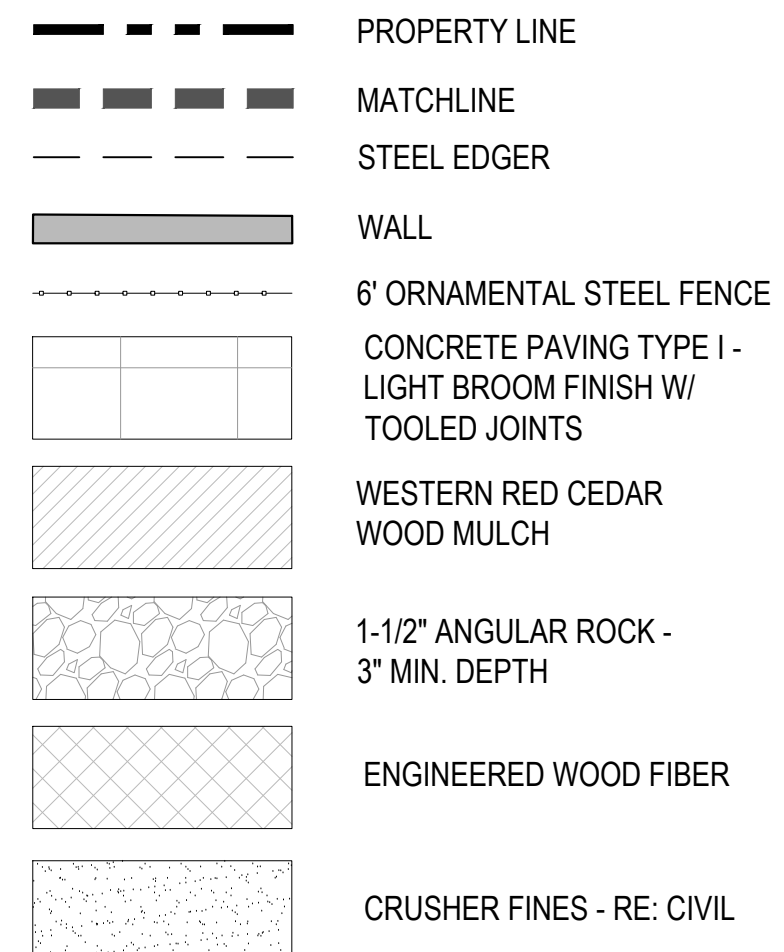
KEY MAP:



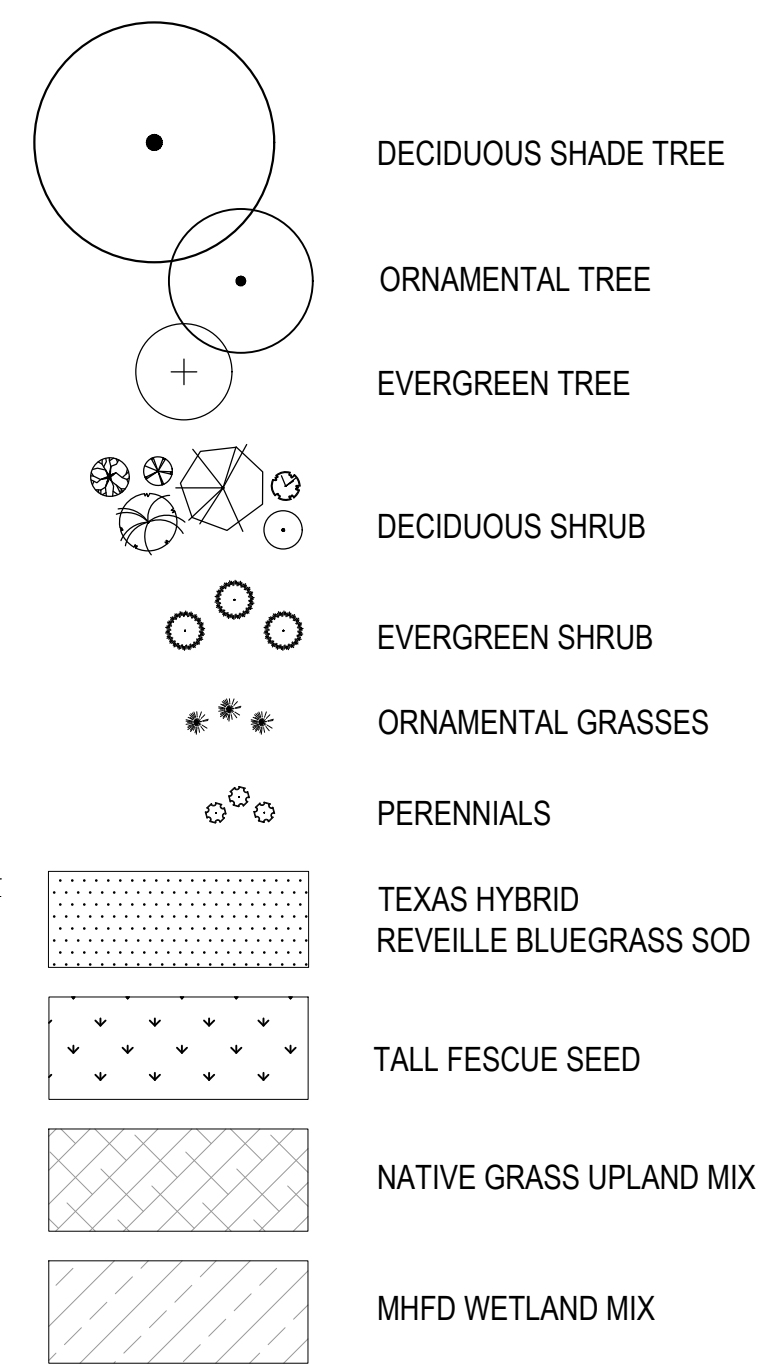
OFFICIAL DEVELOPMENT PLAN
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 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
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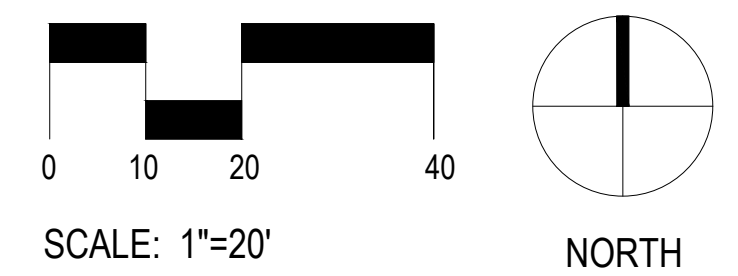
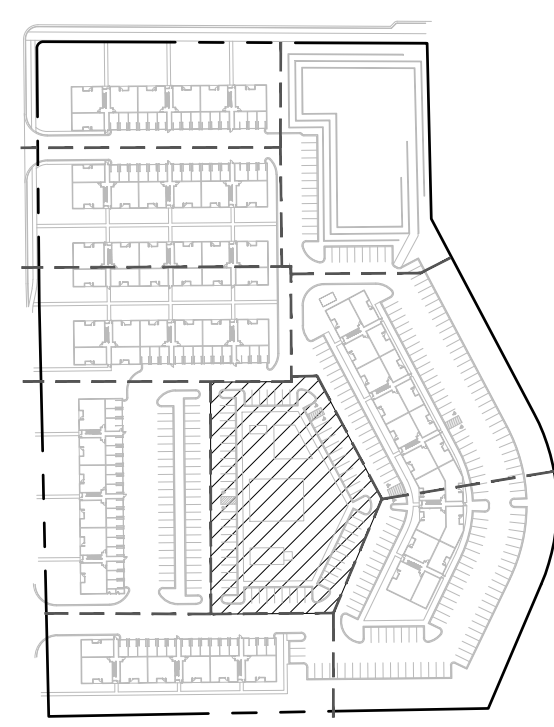
MATERIAL LEGEND:



PLANTING LEGEND:



KEY MAP:



1 LANDSCAPE PLAN
 35 SCALE: 1"=20"



UPLANDS

DATE: 05.10.2023

**UPLANDS FILING NO. 3
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 WESTMINSTER, COLORADO**

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UPLANDS

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 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
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 2ND SUBMITTAL: 08.10.2023

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 LANDSCAPE PLAN

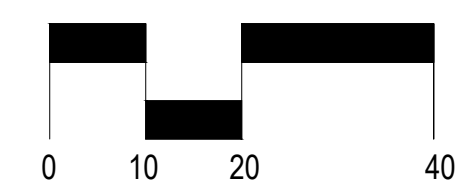
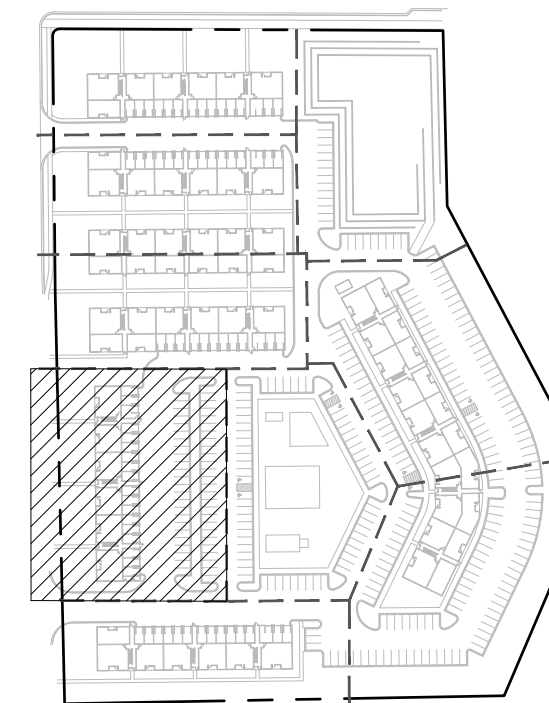
MATERIAL LEGEND:

- PROPERTY LINE
- MATCHLINE
- STEEL EDGER
- WALL
- 6' ORNAMENTAL STEEL FENCE
- CONCRETE PAVING TYPE I - LIGHT BROOM FINISH W/ TOOLED JOINTS
- WESTERN RED CEDAR WOOD MULCH
- 1-1/2" ANGULAR ROCK - 3" MIN. DEPTH
- ENGINEERED WOOD FIBER
- CRUSHER FINES - RE: CIVIL

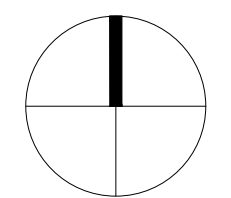
PLANTING LEGEND:

- DECIDUOUS SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASSES
- PERENNIALS
- TEXAS HYBRID REVEILLE BLUEGRASS SOD
- TALL FESCUE SEED
- NATIVE GRASS UPLAND MIX
- MHFD WETLAND MIX

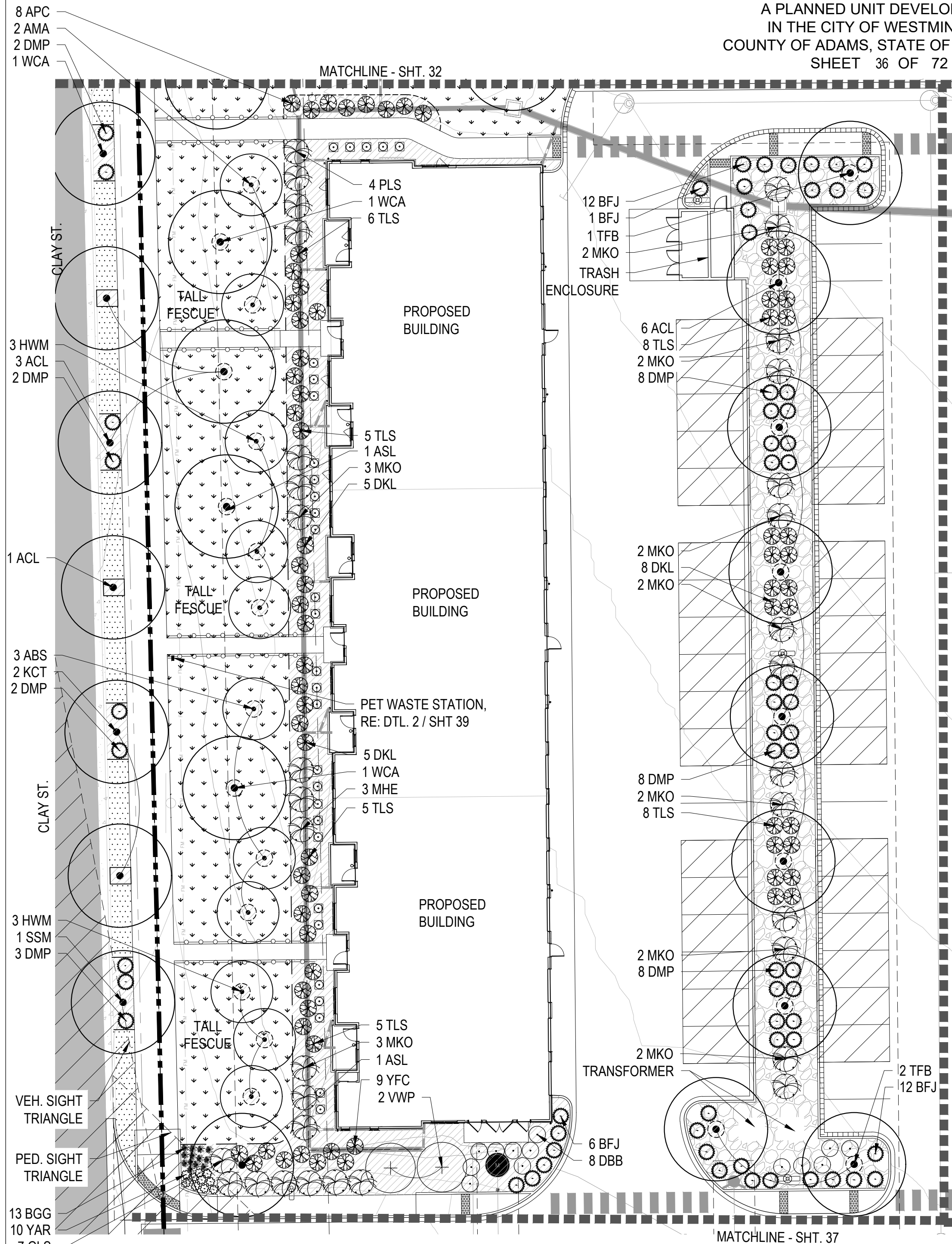
KEY MAP:



SCALE: 1"=20'



NORTH



LANDSCAPE PLAN

SCALE: 1"=20"

1

36

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
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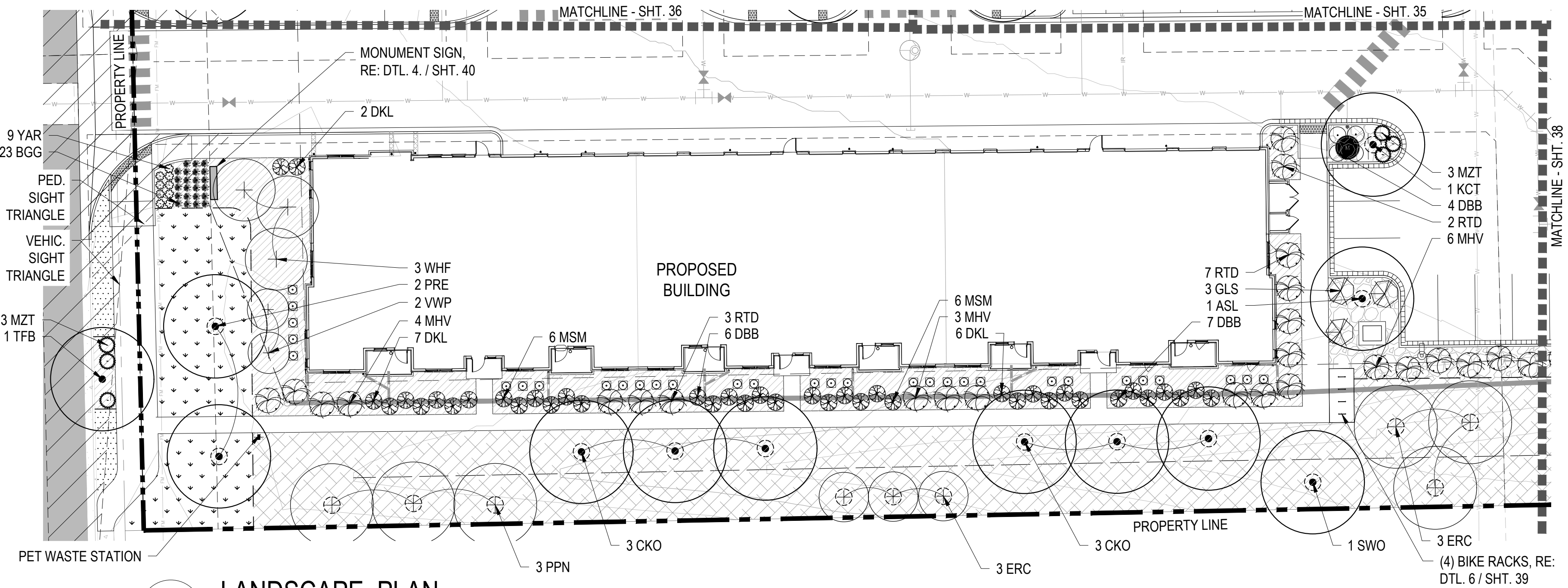
S.T. CHARLES
TOWN COMPANY

UPLANDS

DATE: 05.10.2023

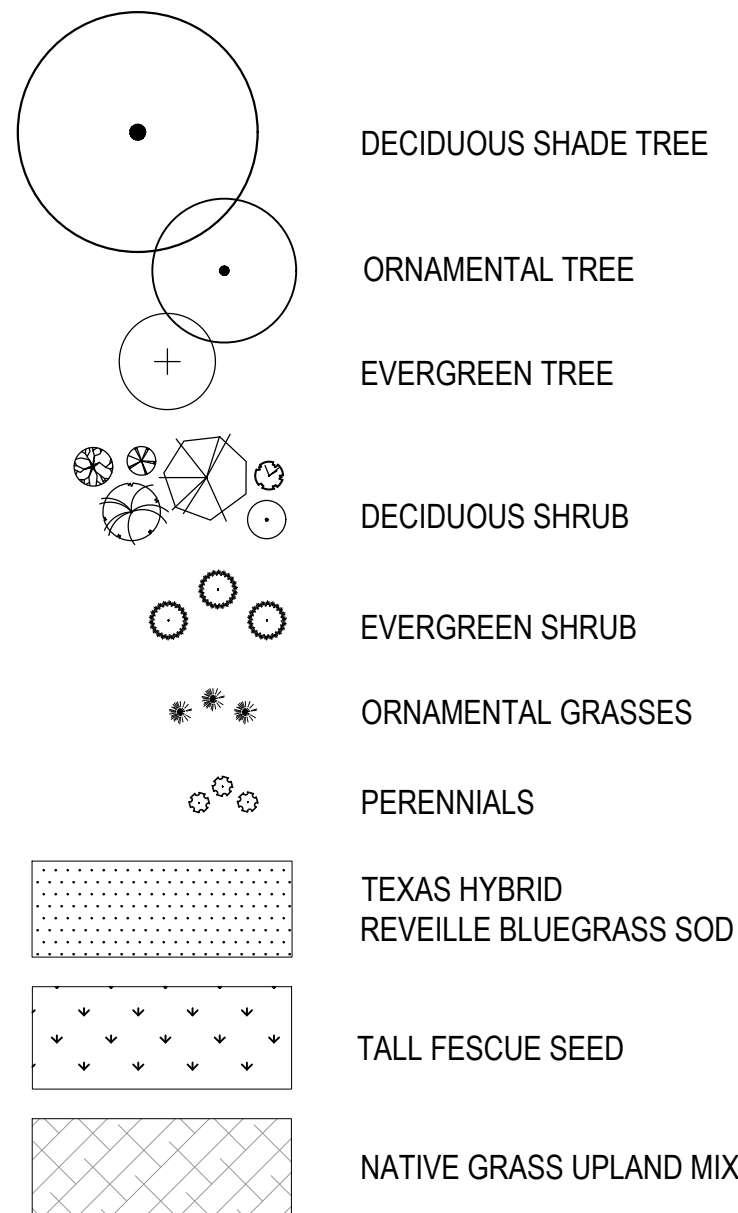
UPLANDS FILING NO. 3

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

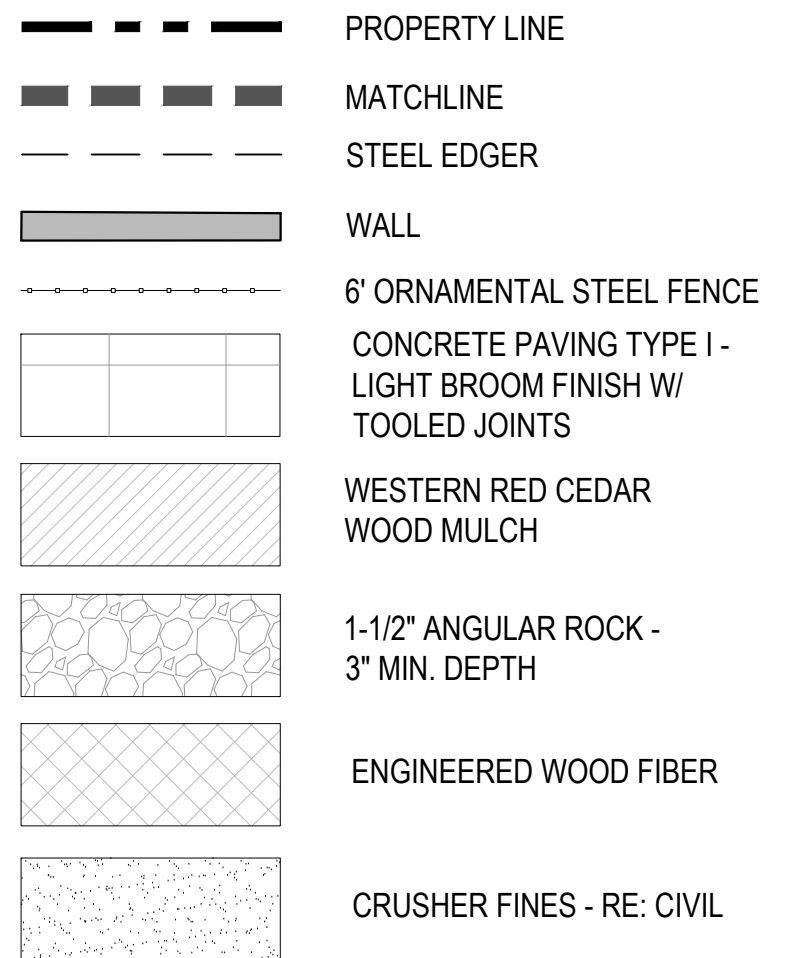


1 LANDSCAPE PLAN
 37 SCALE: 1" = 20"

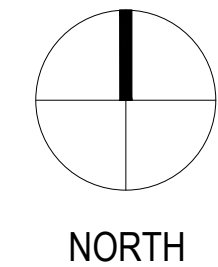
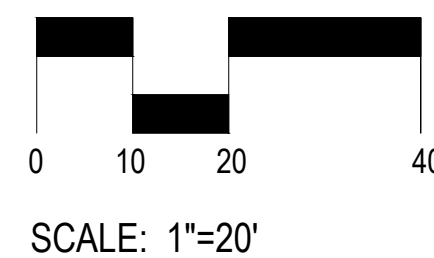
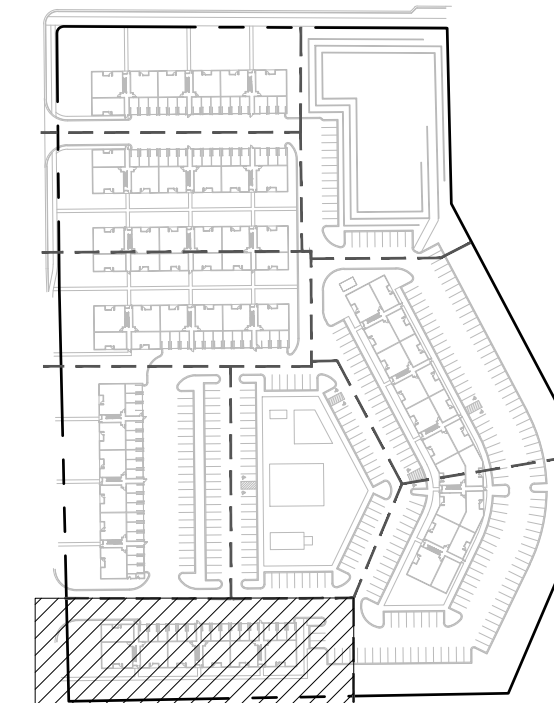
PLANTING LEGEND:



MATERIAL LEGEND:



KEY MAP:



OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023
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DATE: 05.10.2023

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OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

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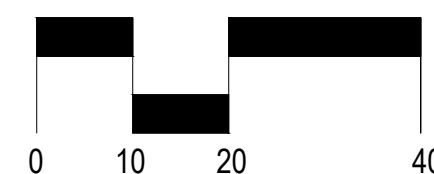
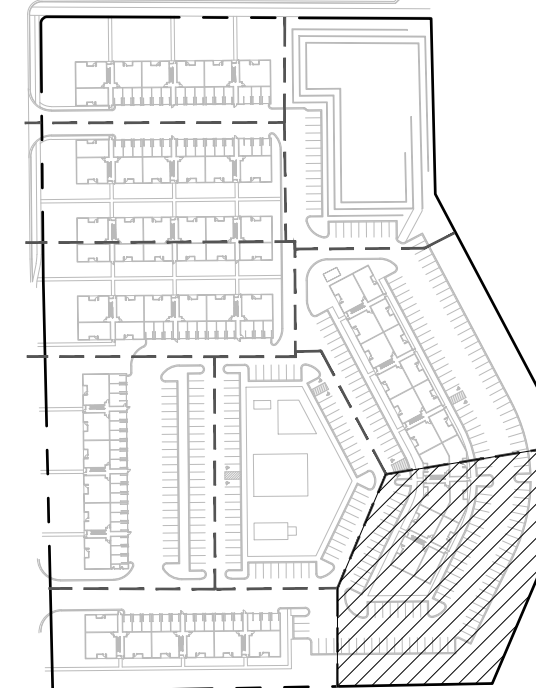
MATERIAL LEGEND:

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- ENGINEERED WOOD FIBER
- CRUSHER FINES - RE: CIVIL

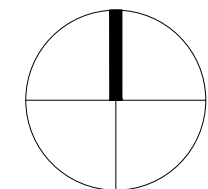
PLANTING LEGEND:

- DECIDUOUS SHADE TREE
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- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASSES
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- TALL FESCUE SEED
- NATIVE GRASS UPLAND MIX
- MHFD WETLAND MIX

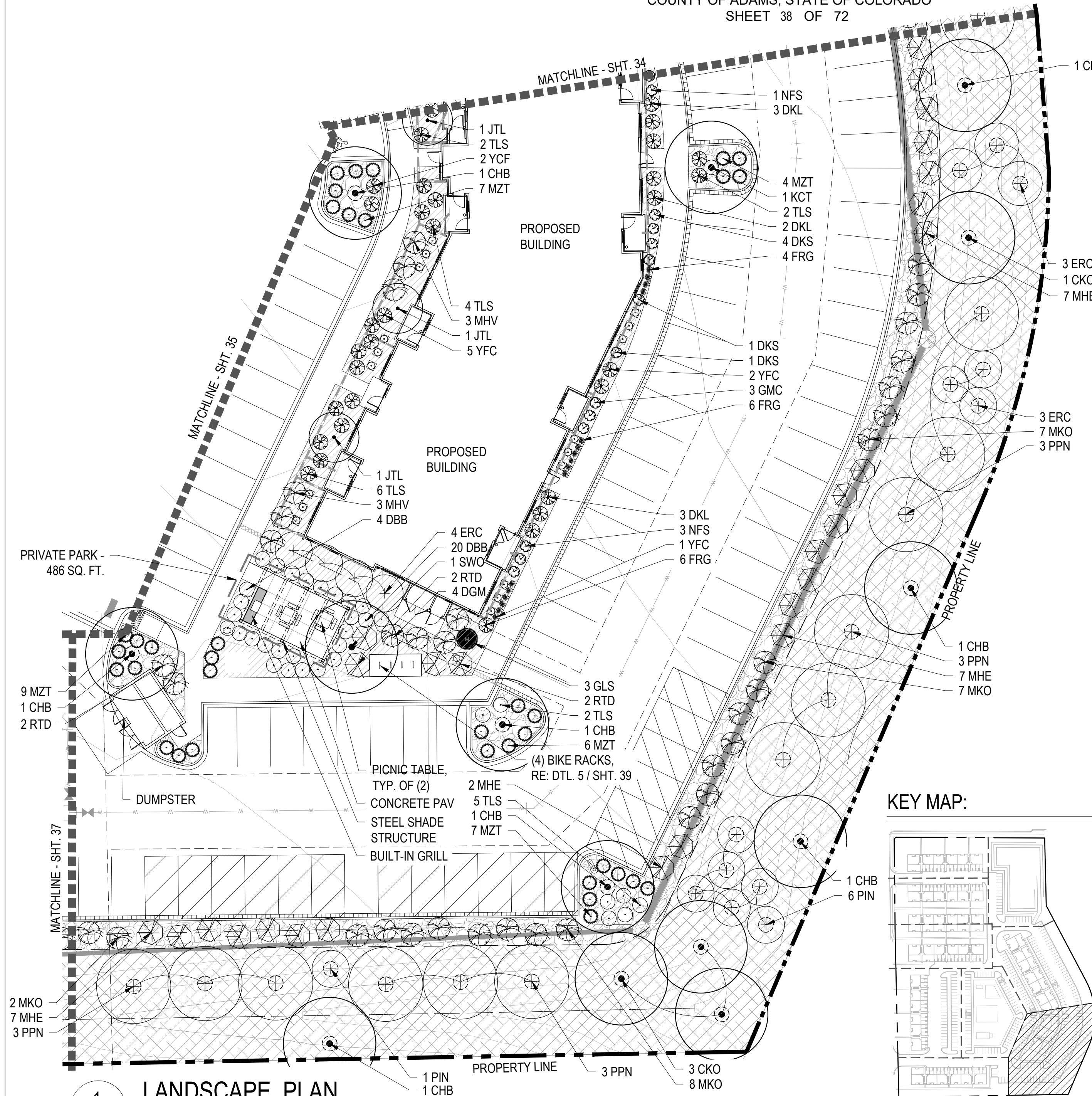
KEY MAP:



SCALE: 1"=20'

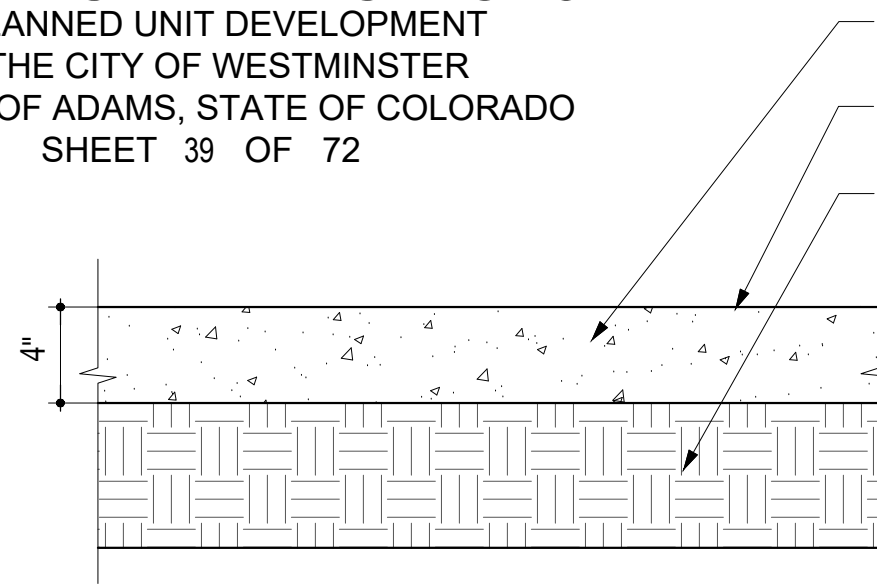
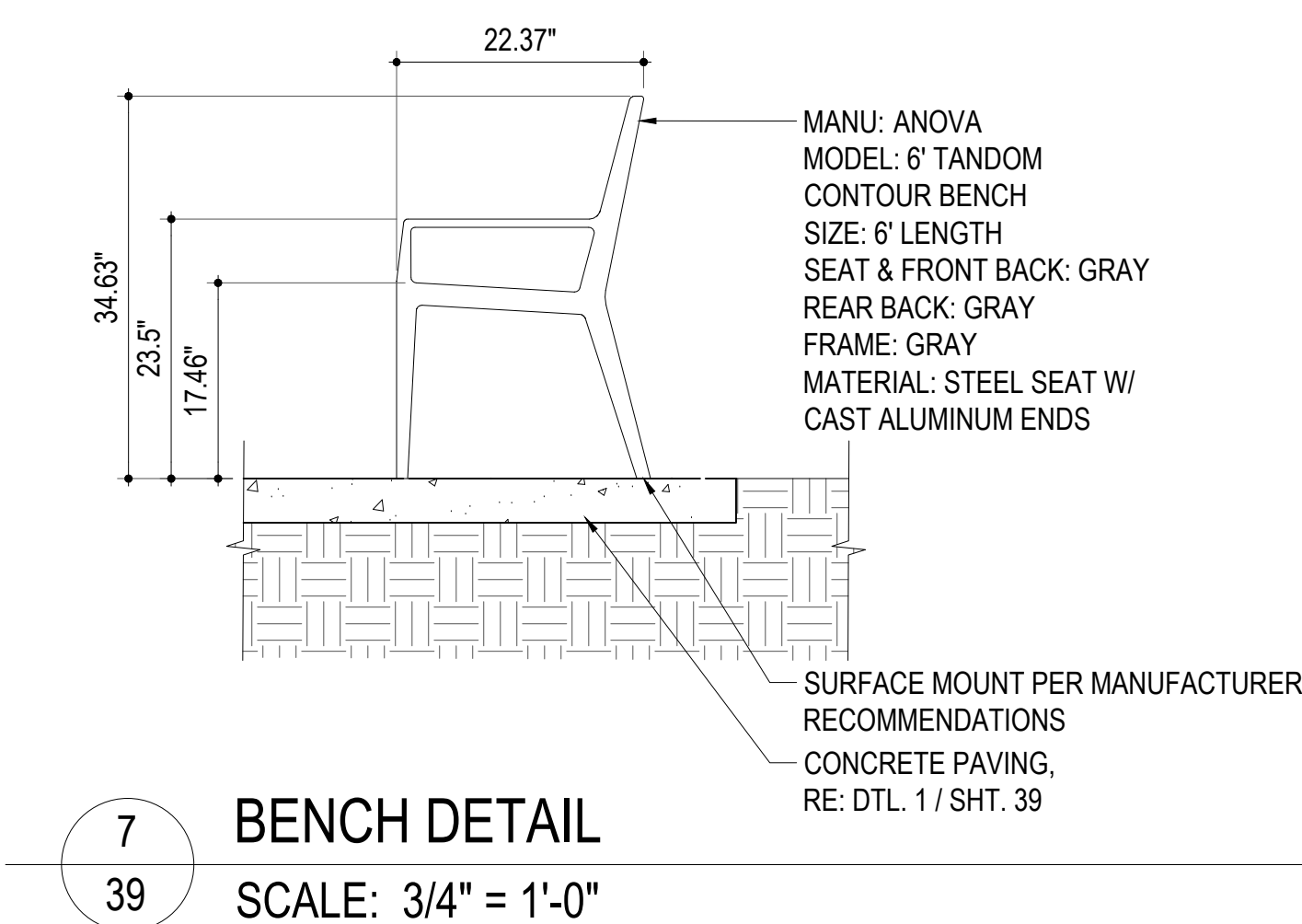
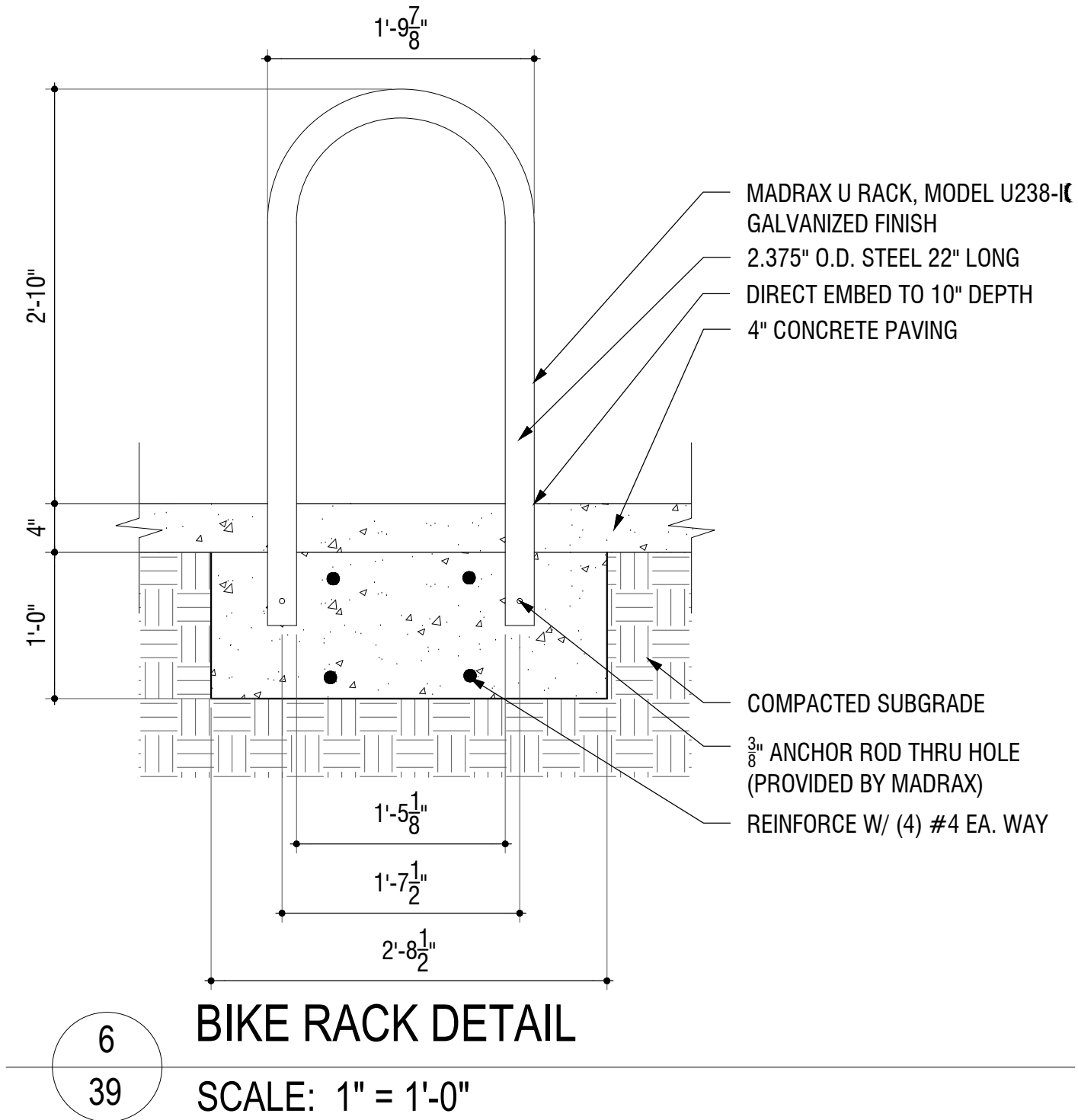
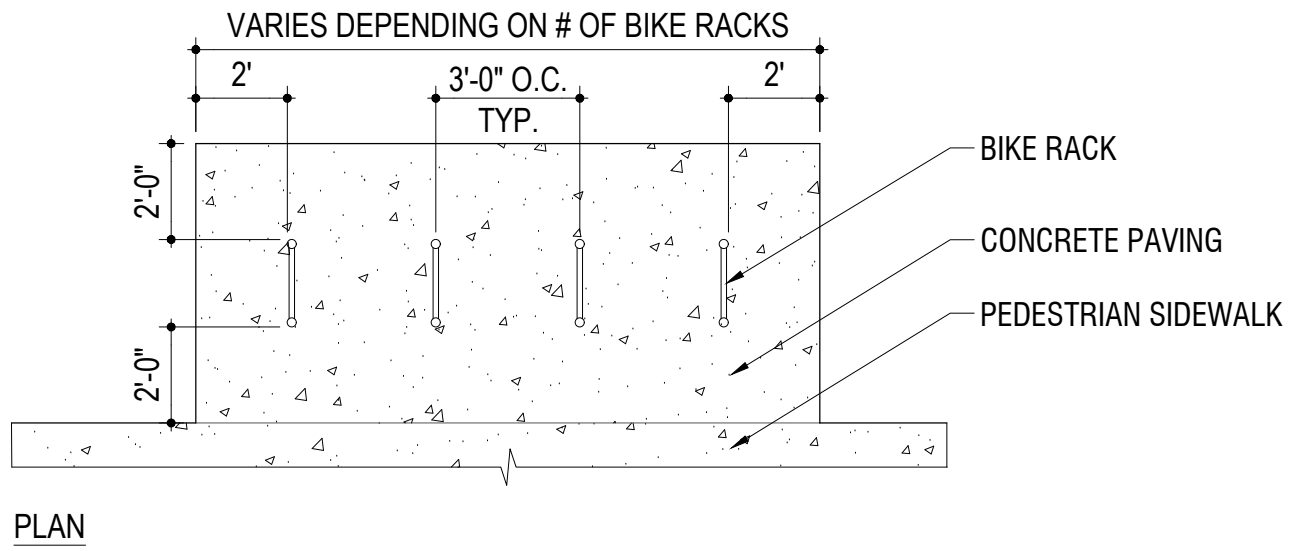


NORTH



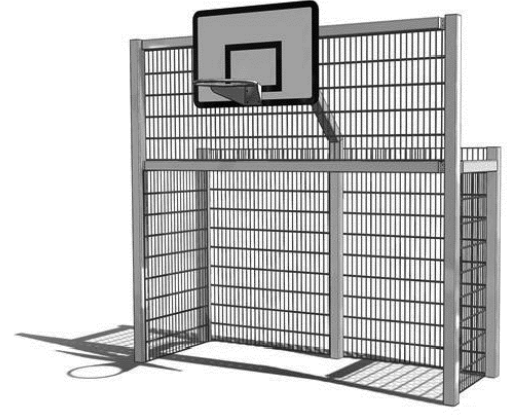
1
 38 **LANDSCAPE PLAN**
 SCALE: 1"=20"

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UPLANDS - FILING NO. 3
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 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 39 OF 72



1
 39

CONCRETE PAVING DETAIL - PEDESTRIAN DETAIL
 SCALE: 1 1/2" = 1'-0"



MANUFACTURER: PENTAGON PLAY
 PRODUCT: MESH MULTI-GOAL (MODEL NO.: P-SPO-GEBS-MULM)
 CONTACT: KEN COSPER
 PHONE: 970-266-1919
 EMAIL: KEN@MVPPPLAYGROUNDS.COM

4
 39

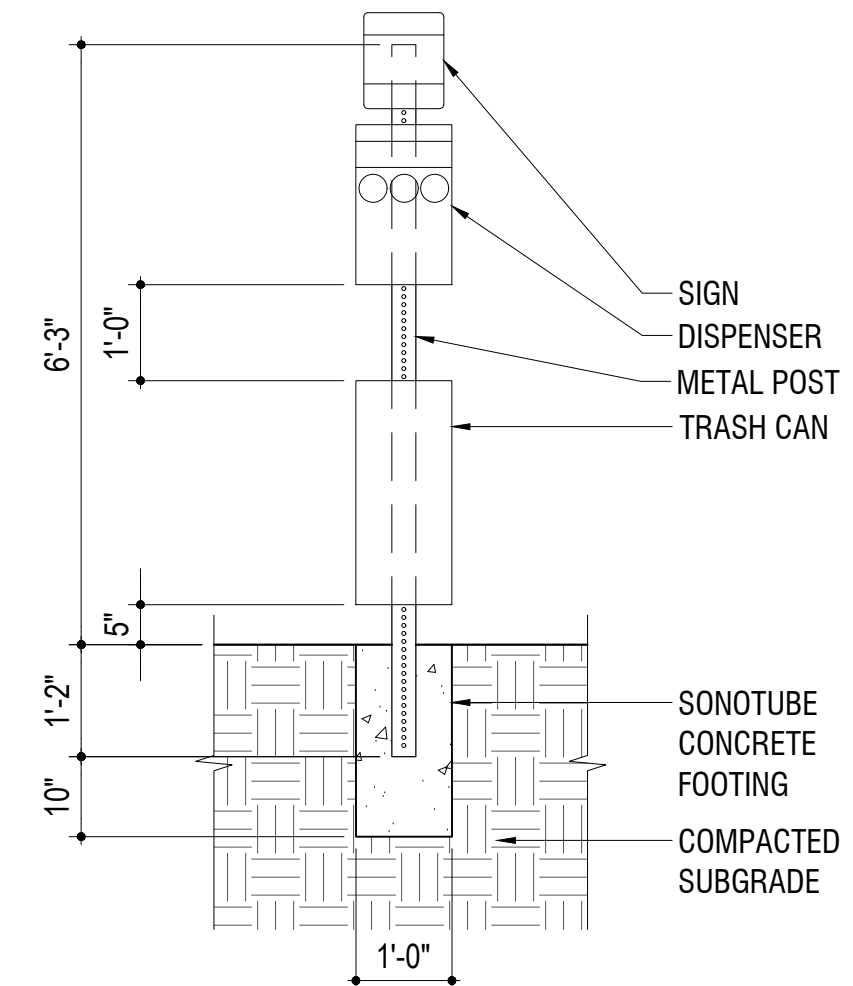
BASKETBALL/SOCCER GOAL
 SCALE: NTS



MANUFACTURER: SUPERIOR SHADE PRODUCTS
 PRODUCT: MODULAR SQUARE SHADE - 14' X 14'
 CONTACT: KEN COSPER
 PHONE: 970-266-1919
 EMAIL: KEN@MVPPPLAYGROUNDS.COM

5
 39

PLAYGROUND SHADE
 SCALE: NTS



MANUFACTURER: DOG WASTE DEPOT
 MODEL NO: DEPOT-006-B
 COLOR: BLACK

2
 39

PET WASTE STATION
 SCALE: 1/2" = 1'-0"



MANUFACTURER: MILE HIGH PLAY SYSTEMS
 PRODUCT: ALAN PLAY STRUCTURE
 AGE RANGE: 2-12 YEAR OLD
 CONTACT: KEN COSPER
 PHONE: 970-266-1919
 EMAIL: KEN@MVPPPLAYGROUNDS.COM

3
 39

PLAY STRUCTURE
 SCALE: NTS



UPLANDS

DATE: 05.10.2023

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OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

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UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
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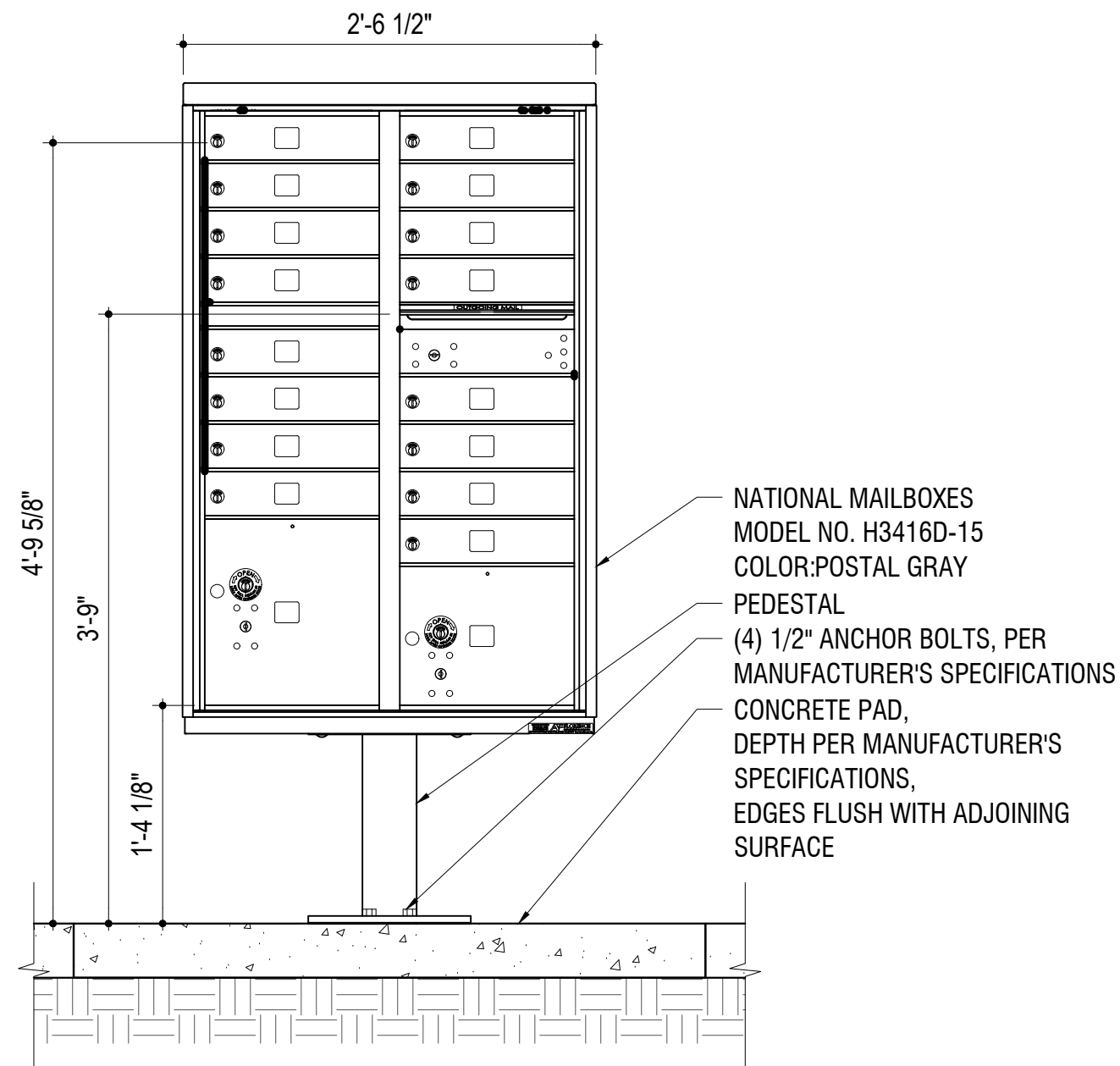
ST. CHARLES
TOWN COMPANY

UPLANDS

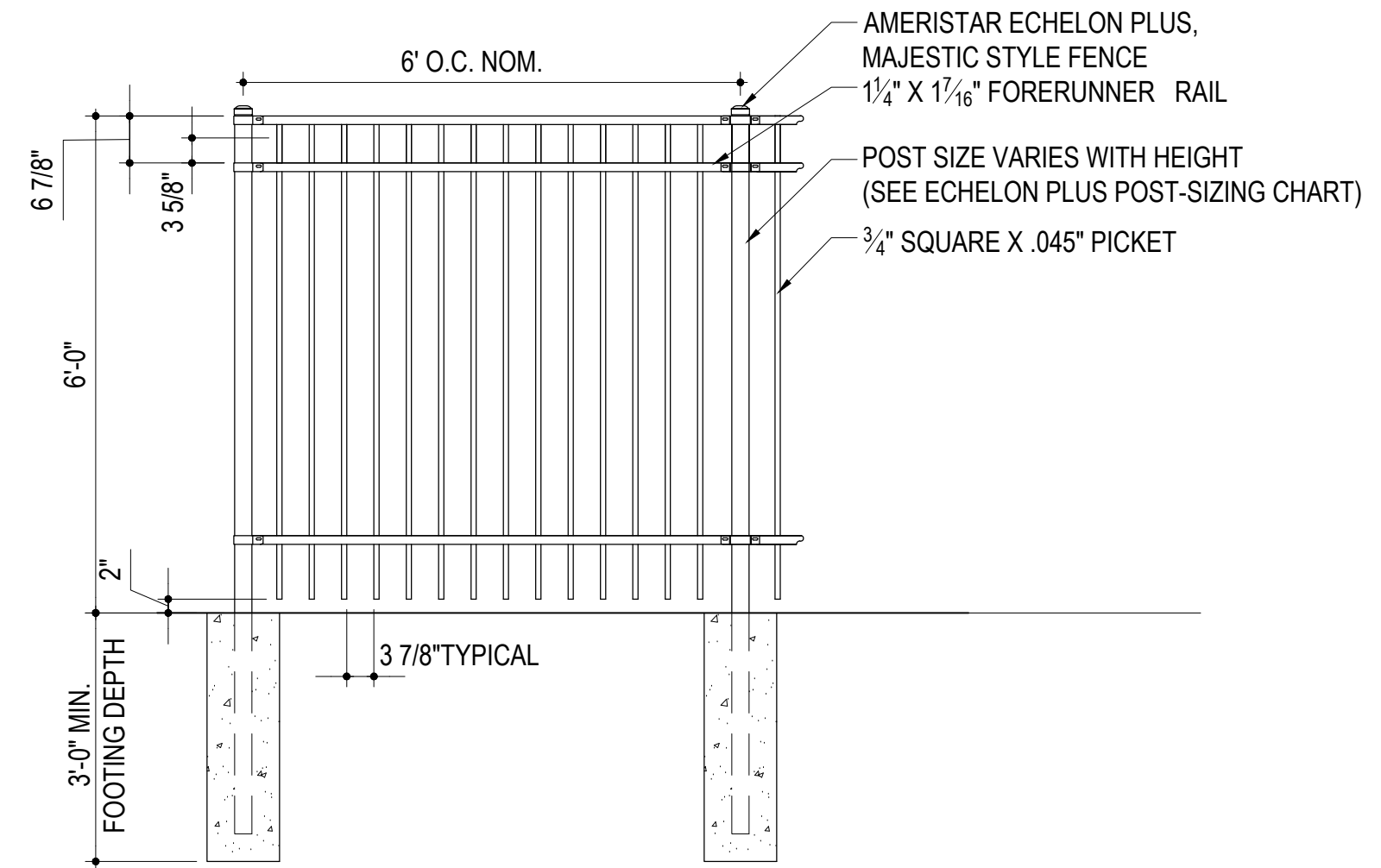
DATE: 05.10.2023

UPLANDS FILING NO. 3

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

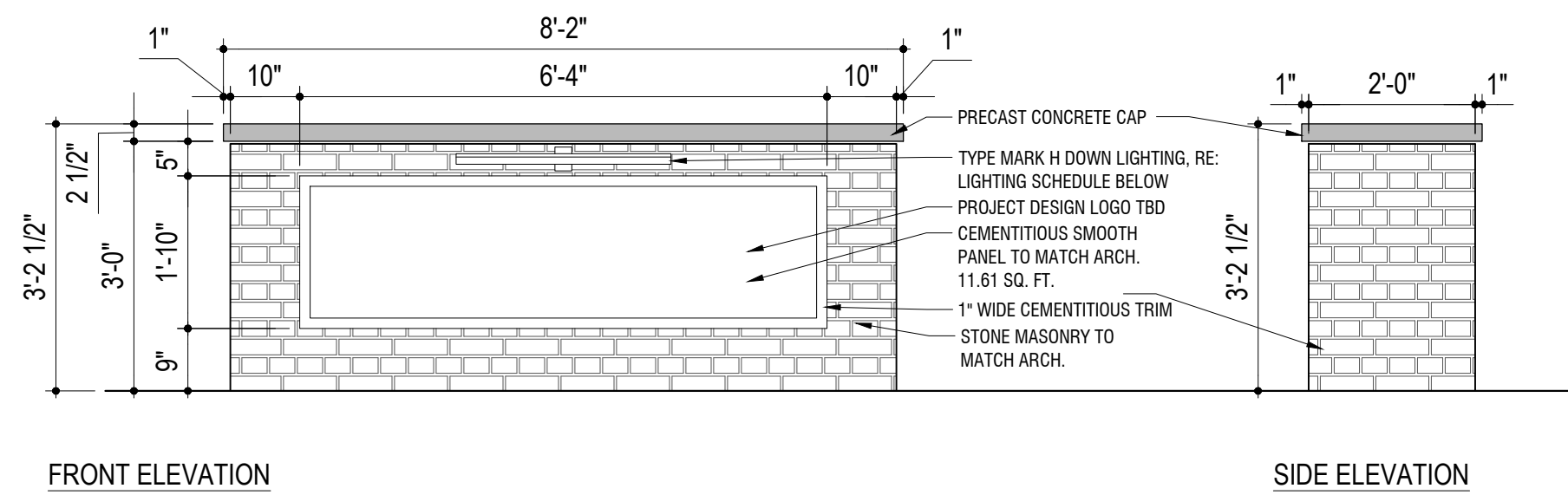


3
40 MAILBOX PEDESTAL DETAIL
 SCALE: 1" = 1'-0"



NOTES:
 1.) POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS.
 SEE ECHELON PLUS POST SIZING CHART.

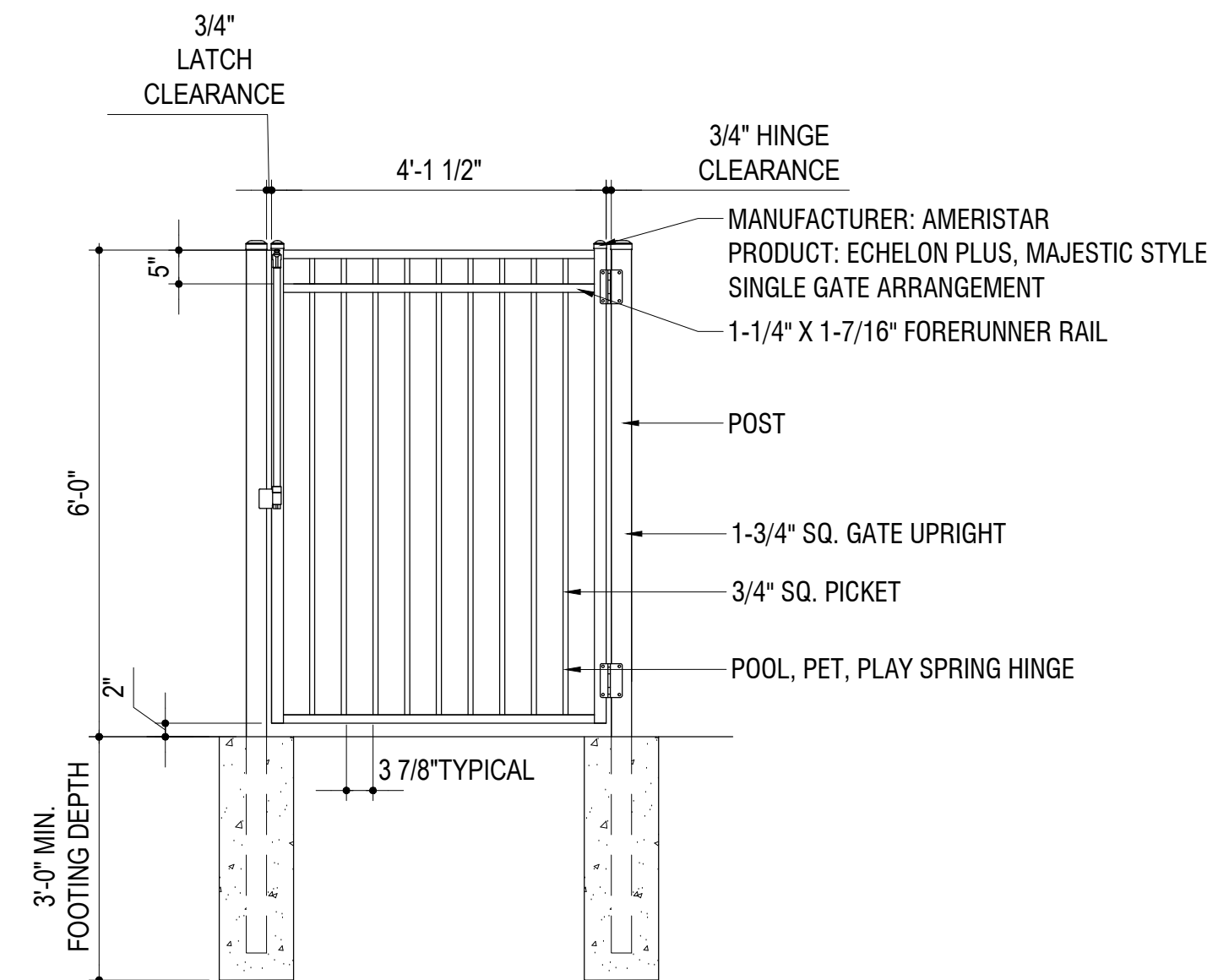
1
40 ORNAMENTAL STEEL FENCE DETAIL
 SCALE: 1/2" = 1'-0"



LANDSCAPE LIGHTING FIXTURE SCHEDULE						
TYPE MARK	DESCRIPTION	MANUFACTURER	CATALOG NO.	LAMP	LOAD	NOTES
H	LED SIGNAGE LIGHT	LIGMAN	50553-4W-W30-XX-120/277-A51431	LED	4 VA	-

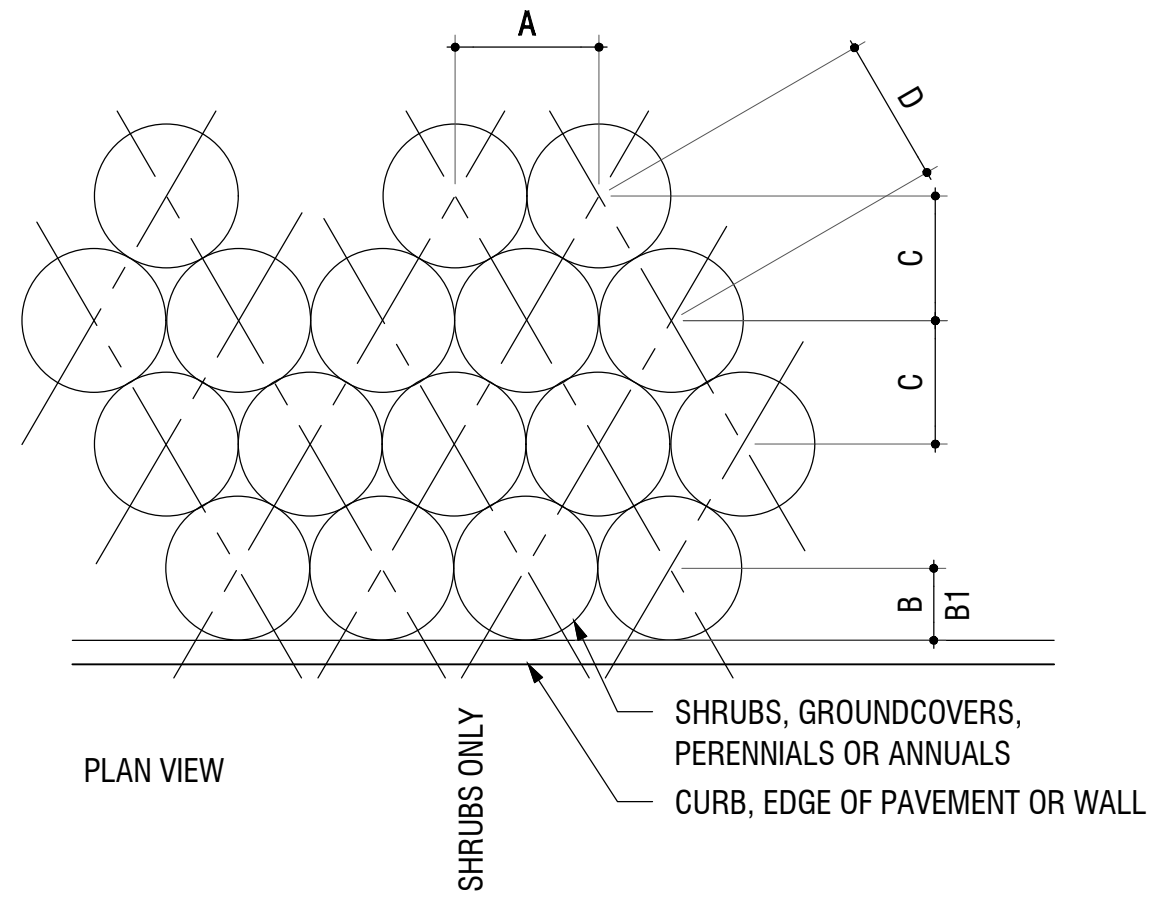
NOTES: VERIFY ALL LIGHT FIXTURE TYPES, LOCATION, REMOTE POWER SUPPLIES, LOW VOLTAGE, QUANTITIES, REQUIREMENTS WITH THE LANDSCAPE ARCHITECT PRIOR TO ORDERING AND INSTALLATION, REFER TO LANDSCAPE AND ARCHITECT SHEETS AND SCHEDULE FOR MORE INFORMATION.

4
40 MONUMENT SIGN DETAIL
 SCALE: 1/2" = 1'-0"

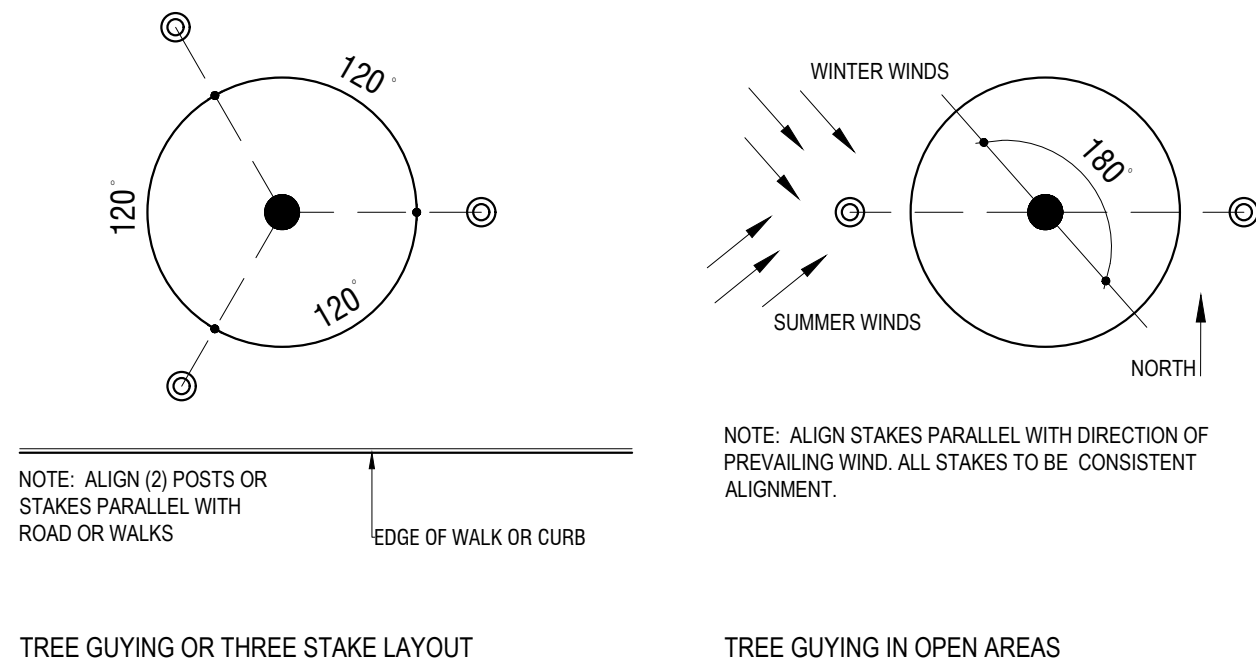


2
40 ORNAMENTAL STEEL GATE DETAIL
 SCALE: 1/2" = 1'-0"

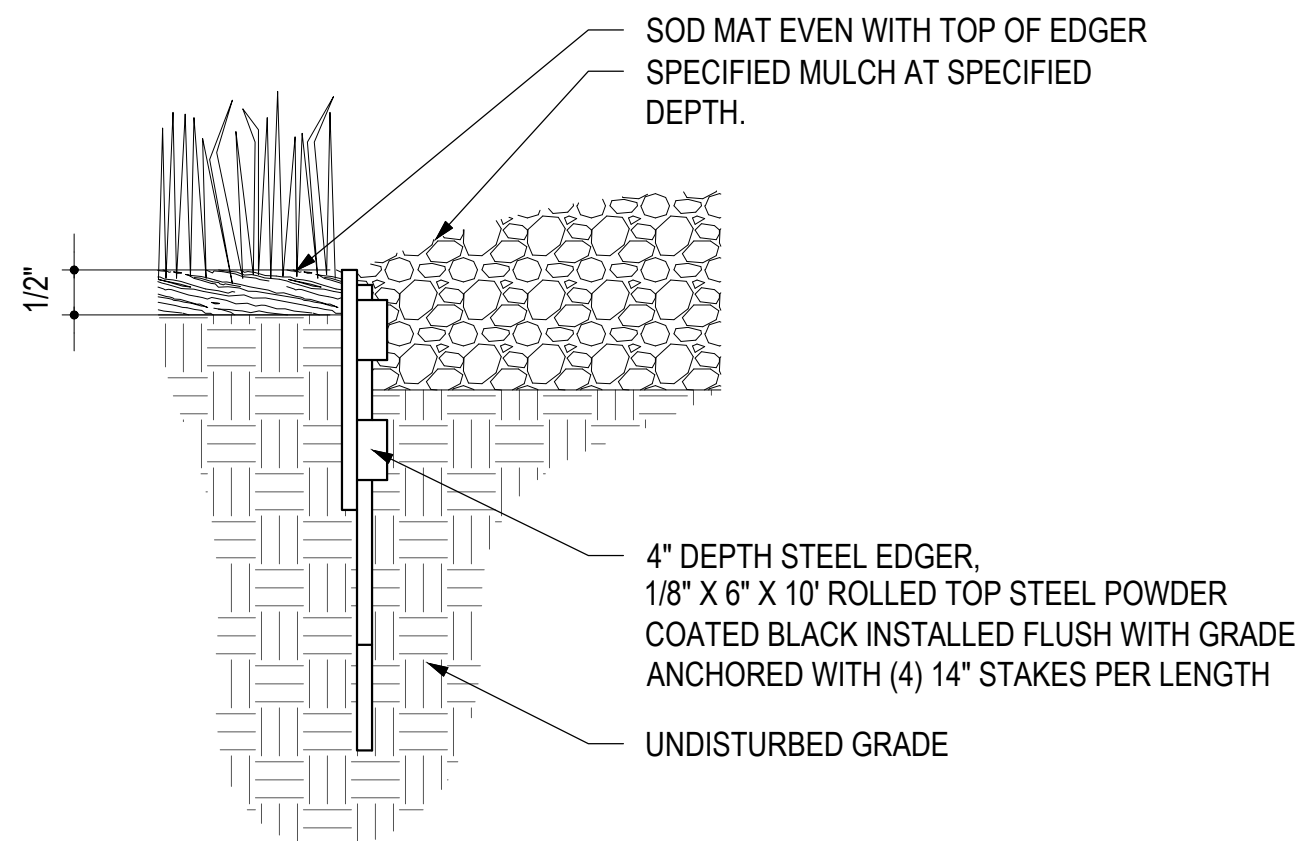
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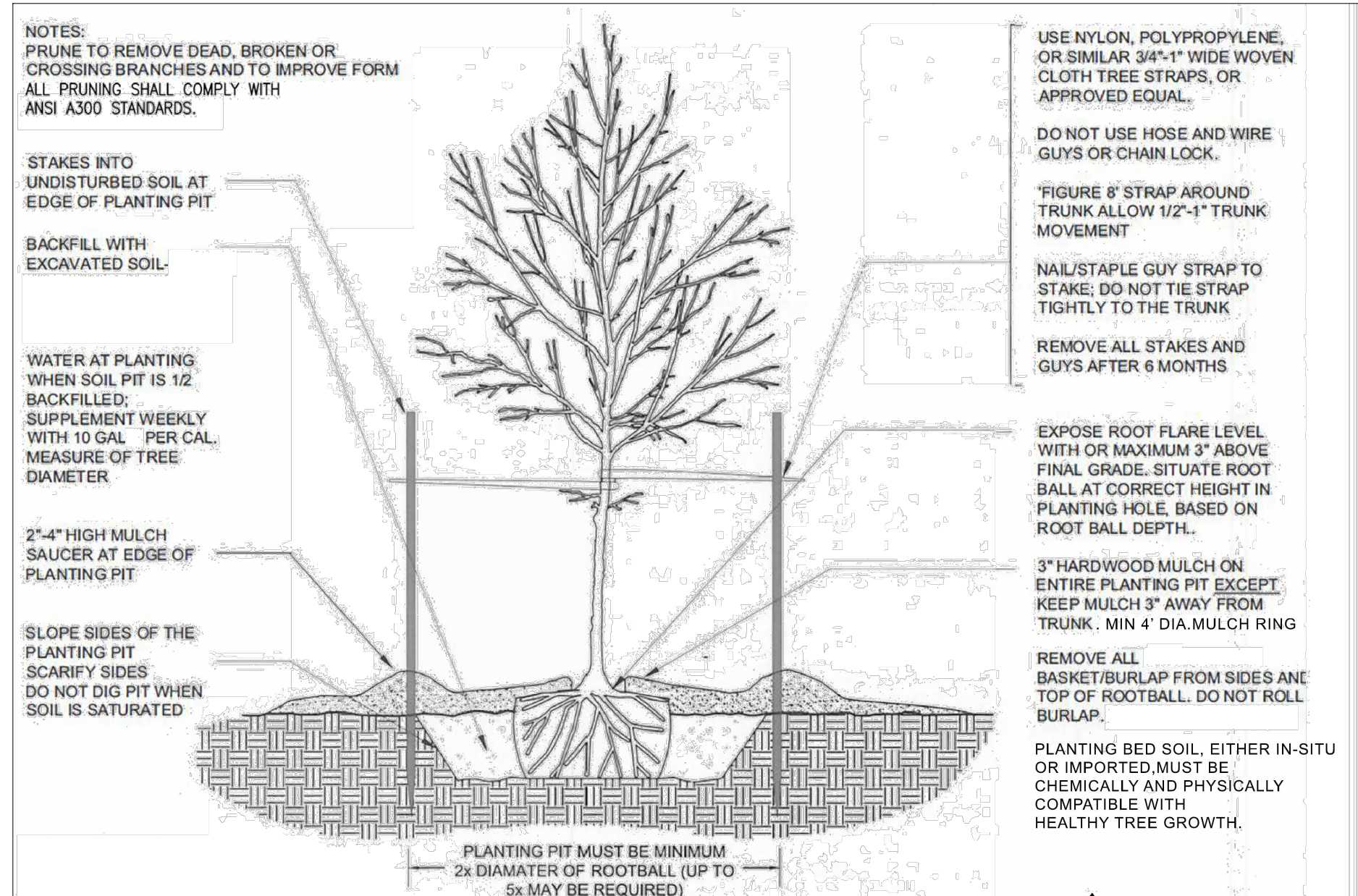
3
 41 **PLANT SPACING DETAIL**
 SCALE: 3/4" = 1'-0"



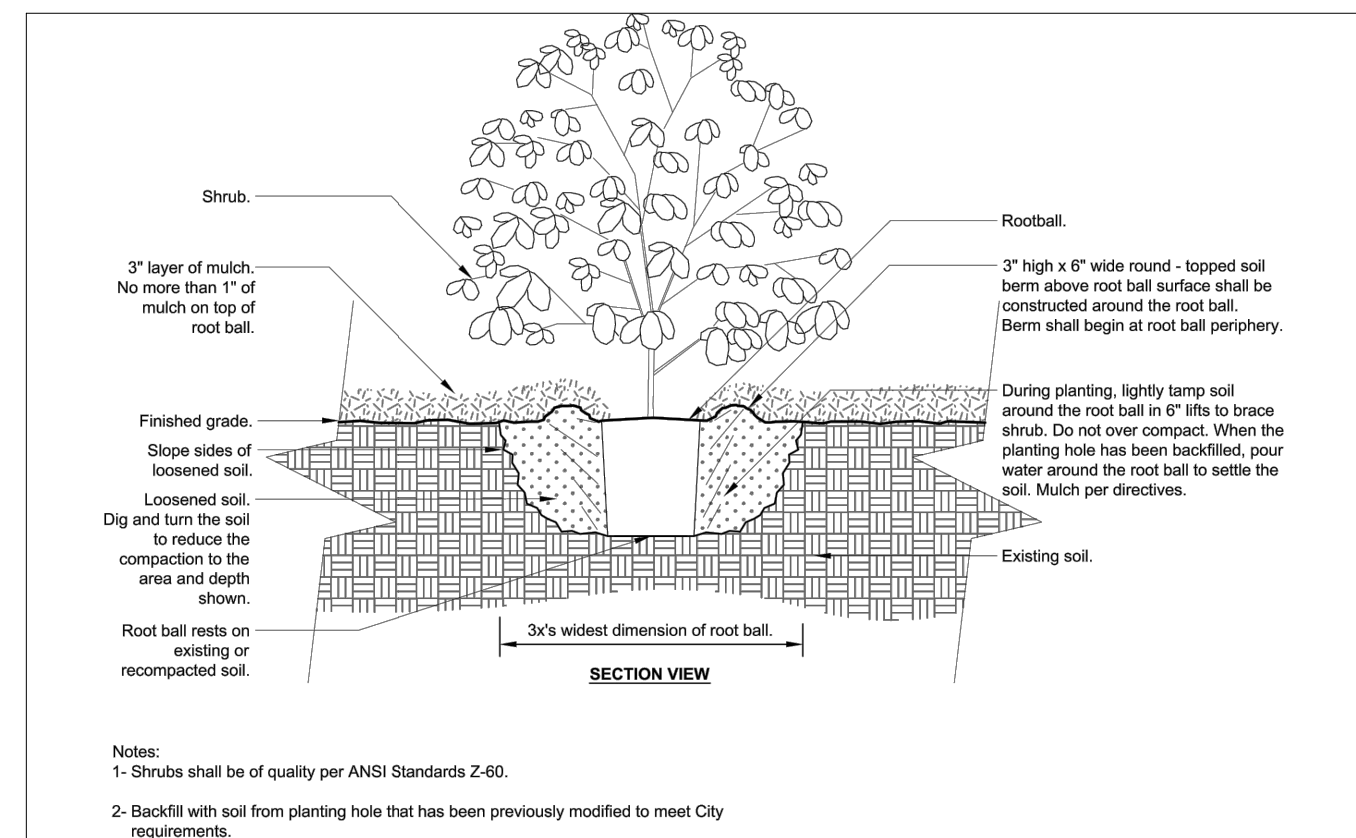
4
 40 **TREE GUYING DETAIL**
 SCALE: 3/4" = 1'-0"



5
 41 **STEEL EDGER DETAIL**
 SCALE: 3/4" = 1'-0"



1
 41 **TREE PLANTING DETAIL**
 SCALE: 1/2" = 1'-0"



2
 41 **SHRUB PLANTING DETAIL**
 SCALE: 3/4" = 1'-0"

UPLANDS

DATE: 05.10.2023

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WESTMINSTER, COLORADO

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 A PLANNED UNIT DEVELOPMENT
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S^T CHARLES
TOWN COMPANY

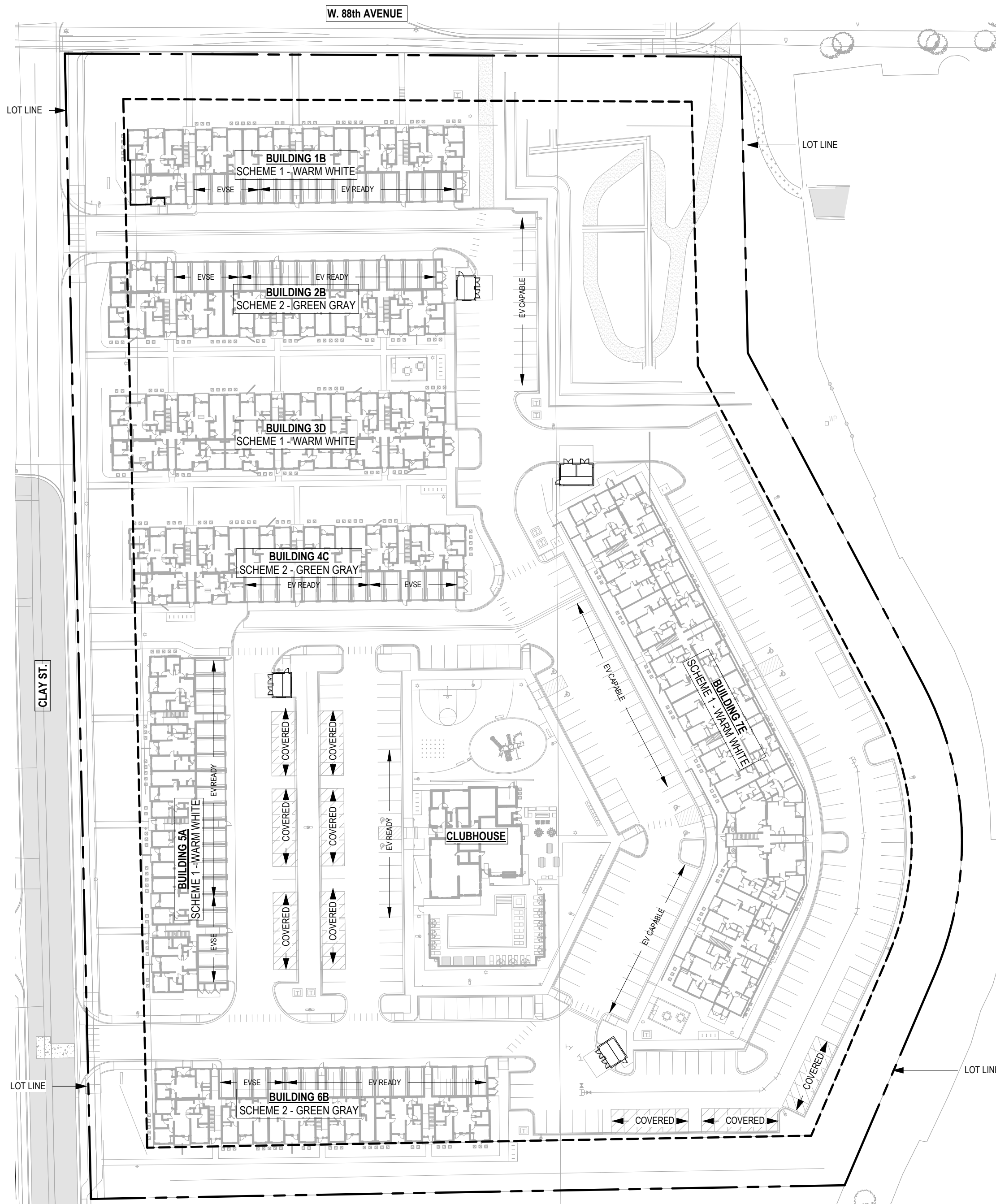
UPLANDS

DATE: 11.29.2023

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO



8700 Clay - Site Plan

Site Summary

Gross Site Area	9.72 AC
Dwelling Units	247 DU
Density	25 DU/AC

Plan...

Unit Type	No. Units	Sq. Ft.	Count	Percentage
1A.0	1	727	36	15%
1A.1	1	667	35	14%
1B.0	1	808	6	2%
2A.0	2	878	28	11%
2A.1	2	764	6	2%
2B.0	2	951	24	10%
2B.1	2	1038	30	12%
2B.2	2	994	36	15%
2C.0	2	1111	2	1%
3C.1	2	1170	4	2%
3A.0	3	1110	40	16%

Total	247	100%
Type	No. Units	Mix
1 bedroom total	77	31%
2 bedroom total	130	53%
3 bedroom total	40	16%
Total	247	100%

Parking Summary

Parking Req.	No. Units	Spaces Req.	Spaces/ Unit
1 bed	77	77	1
2 bed	130	195	1.5
3 bed	40	60	1.5
Total		332	1.3

Guest Parking	247	49	0.20
Total		381	

Parking Prov.	Garage Area	Avg. S.F. per Garage	Spaces Prov.	Spaces/ Unit
Surface Parking			254	1.0
Tandem			0	0.0
Carports			52	0.2
Garage			75	0.3
Total Spaces	18,075	241	381	1.5

	Spaces Prov.	Percentage
Covered Spaces	127	33%
Uncovered Spaces	254	67%

	Space Prov.	Percentage
EVSE Spaces	22	6%
EV READY Spaces	65	17%
EV CAPABLE Spaces	43	11%

Bicycle Parking - Req.	62	0.25
------------------------	----	------

Bicycle Parking - Prov.	Total	74	0.30
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Building Area Summary

	Rentable Net SF	Gross SF (With Garage & Circulation)
Building A	27,680	34,995
Building B (3 at 34,342 SF)	85,332	103,026
Building C	29,111	34,303
Building D	31,876	34,058
Building E	49,770	53,626
Total	223,769	260,008

Clubhouse		4,259
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Building Efficiency Ratio	86%
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ALL INTERIOR WALLS SHOWN
FOR INFORMATION ONLY



SITE PLAN

SCALE:
1" = 60'-0"

1

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL : 01.19.2024

4TH SUBMITTAL : 11.29.2023

3RD SUBMITTAL : 10.06.2023

2ND SUBMITTAL : 08.10.2023

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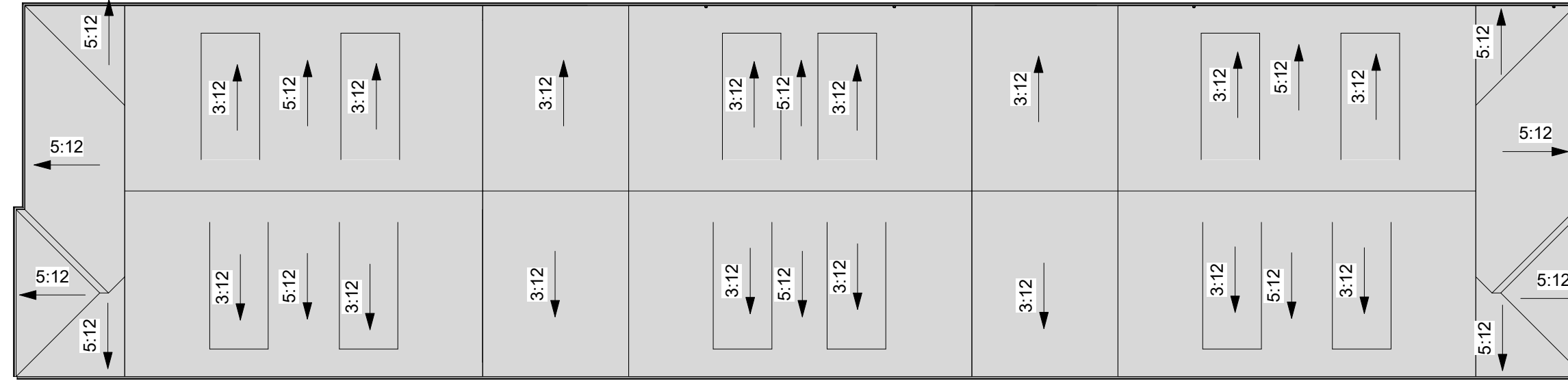
Unit Schedule		
Unit Type	Area	Building Type
1A.0	725 SF	4
1A.1	667 SF	4
1B.0	807 SF	0
2A.0	875 SF	4
2A.1	763 SF	0
2B.0	952 SF	4
2B.1	1039 SF	4
2B.2	996 SF	4
2C.0	1111 SF	0
2C.1	1170 SF	0
3A.0	1112 SF	6
Unit Per Building	-	30
Total Building	-	1
Total Units	-	30

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 43 OF 72



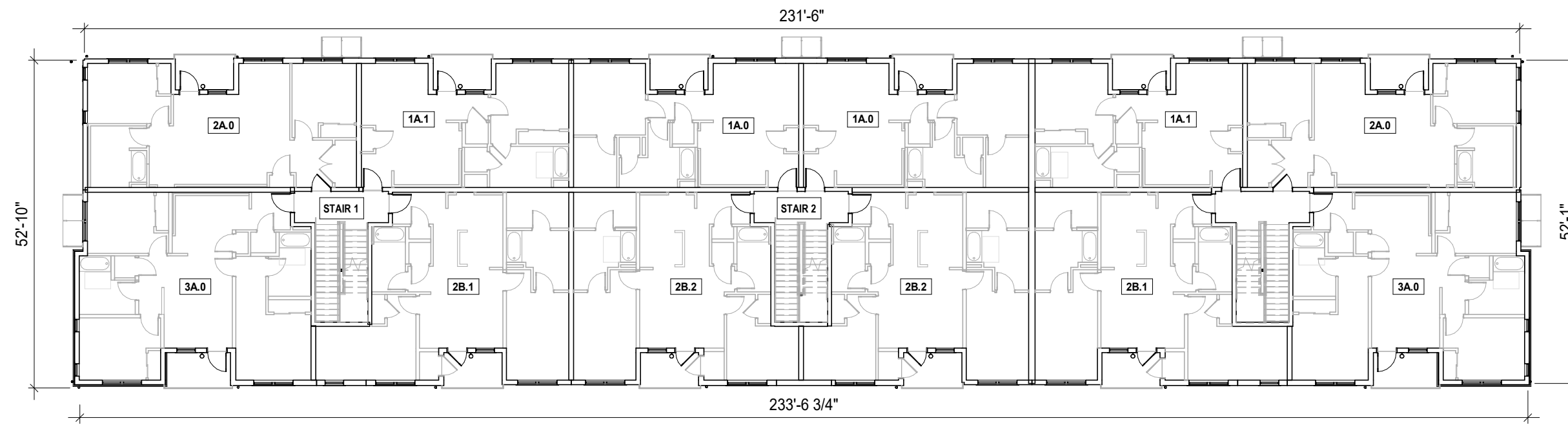
UPLANDS

DATE: 01.19.2024



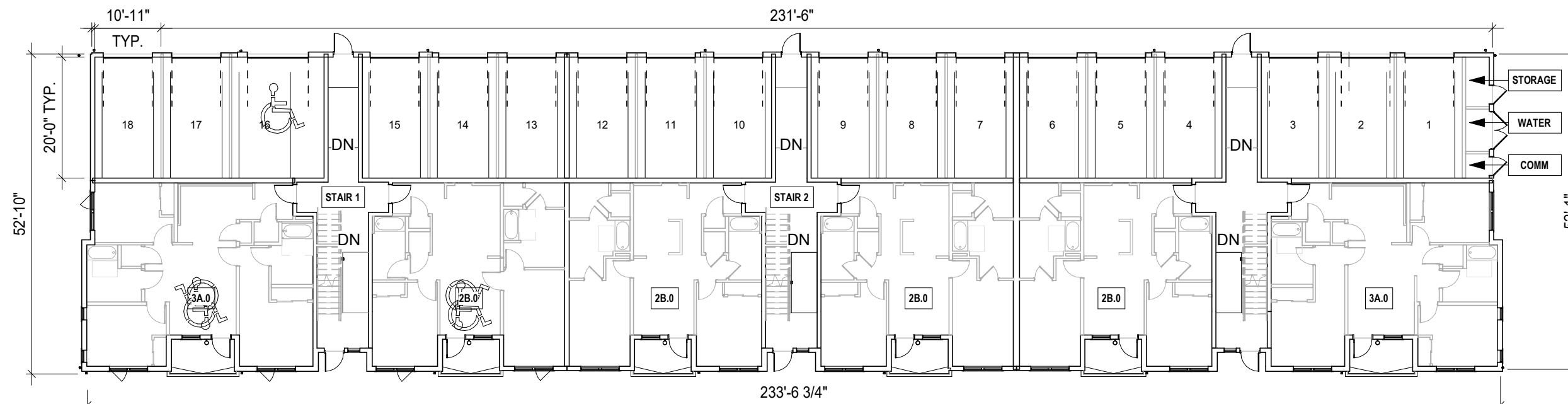
BUILDING A - ROOF PLAN

SCALE: 1" = 20'-0"
3



BUILDING A - SECOND & THIRD FLOOR PLAN

SCALE: 1" = 20'-0"
2



BUILDING A - FIRST FLOOR PLAN

ALL INTERIOR WALLS SHOWN FOR INFORMATION ONLY
 SCALE: 1" = 20'-0"
1

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL	: 01.19.2024
4TH SUBMITTAL	: 11.29.2023
3RD SUBMITTAL	: 10.06.2023
2ND SUBMITTAL	: 08.10.2023

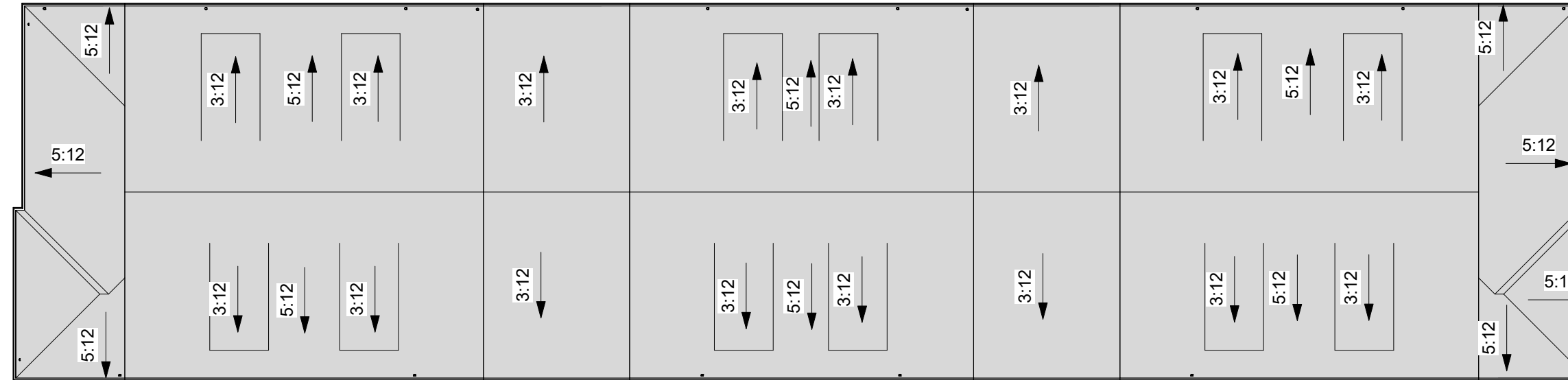
Unit Schedule		
Unit Type		Building Type
Name	Area	Building B
1A.0	725 SF	4
1A.1	667 SF	4
1B.0	807 SF	0
2A.0	875 SF	4
2A.1	763 SF	1
2B.0	952 SF	4
2B.1	1039 SF	4
2B.2	996 SF	4
2C.0	1111 SF	0
2C.1	1170 SF	0
3A.0	1112 SF	6
Unit Per Building		31
Total Building		3
Total Units		93

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 44 OF 72



UPLANDS

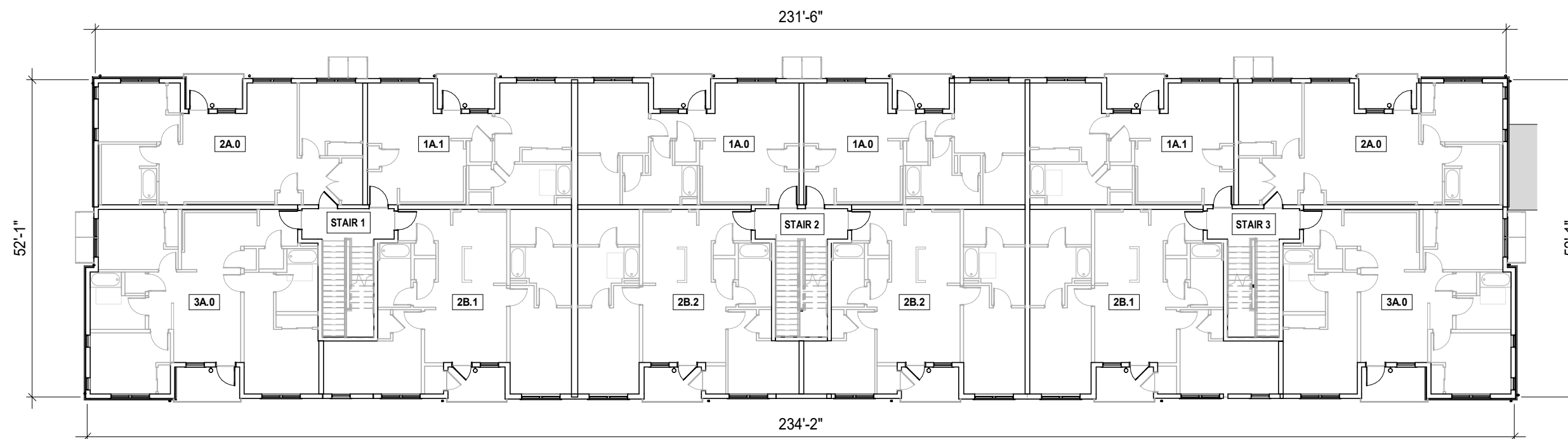
DATE: 01.19.2024



BUILDING B - ROOF PLAN

SCALE:
1" = 20'-0"

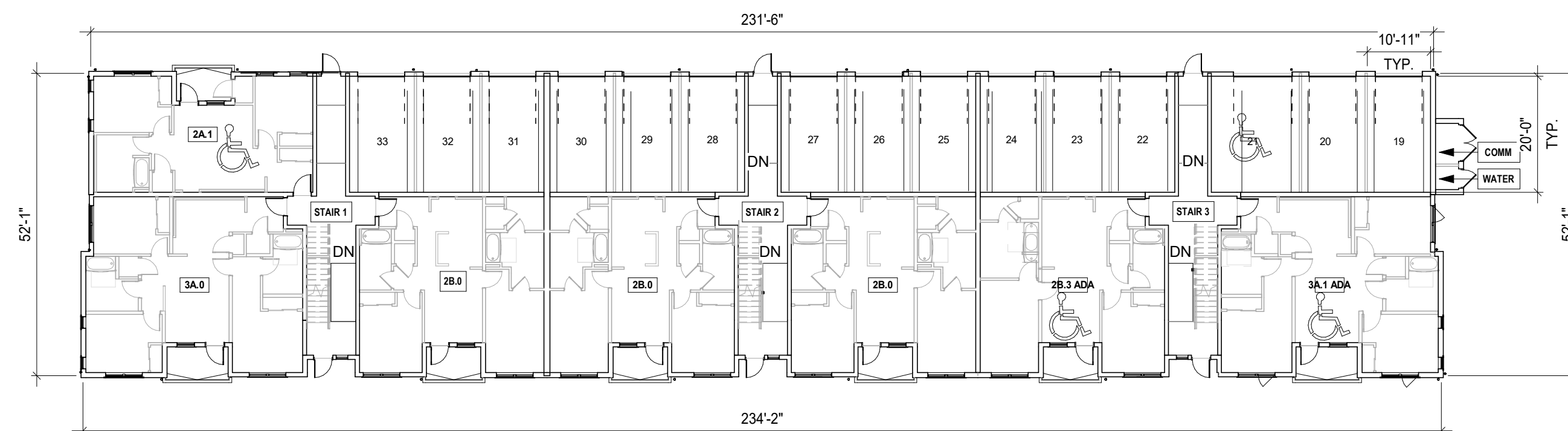
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BUILDING B - SECOND & THIRD FLOOR PLAN

SCALE:
1" = 20'-0"

2



ALL INTERIOR WALLS SHOWN
FOR INFORMATION ONLY

BUILDING B - FIRST FLOOR PLAN

SCALE:
1" = 20'-0"

1

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED : 04.28.2023
REVISIONS
5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

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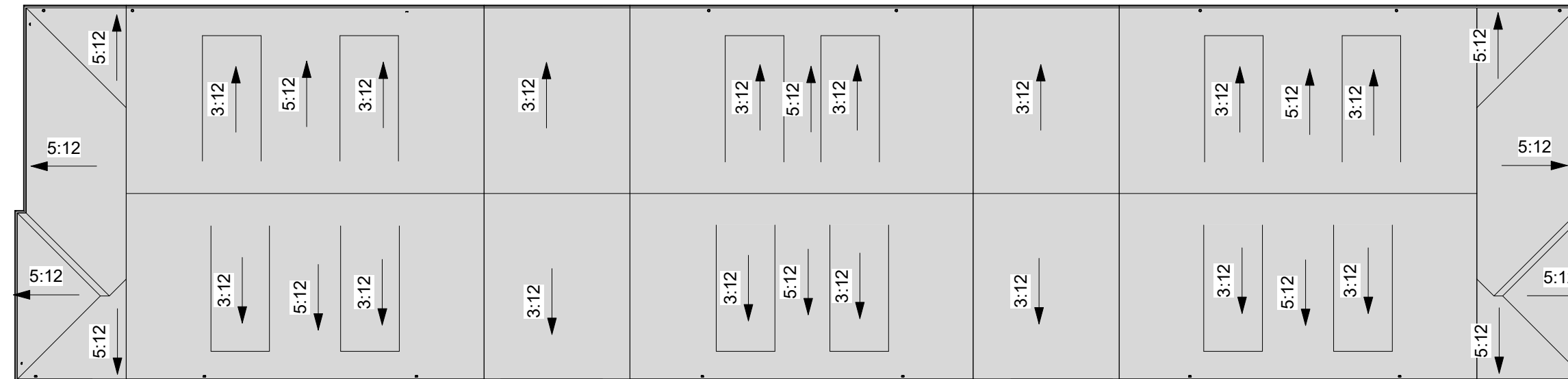
Unit Schedule		
Unit Type	Area	Building Type
1A.0	725 SF	4
1A.1	667 SF	5
1B.0	807 SF	0
2A.0	875 SF	4
2A.1	763 SF	1
2B.0	952 SF	4
2B.1	1039 SF	4
2B.2	996 SF	4
2C.0	1111 SF	0
2C.1	1170 SF	0
3A.0	1112 SF	6
Unit Per Building	-	32
Total Building	-	1
Total Units	-	32

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 45 OF 72



UPLANDS

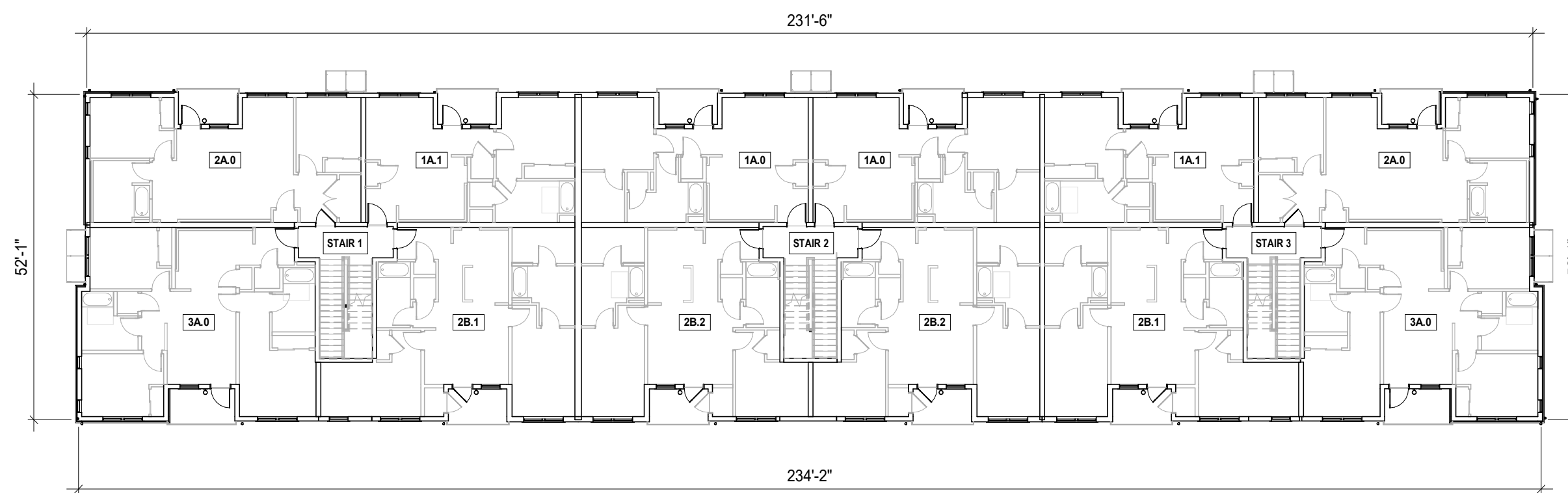
DATE: 01.19.2024



BUILDING C - ROOF PLAN

SCALE:
1" = 20'-0"

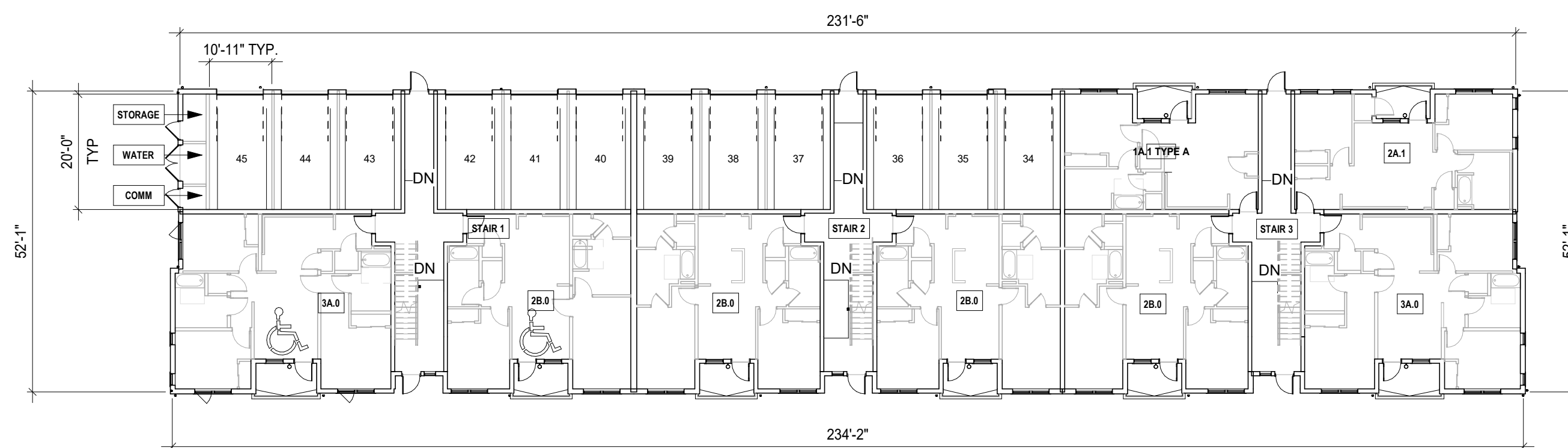
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BUILDING C - SECOND & THIRD FLOOR PLAN

SCALE:
1" = 20'-0"

2



BUILDING C - FIRST FLOOR PLAN

ALL INTERIOR WALLS SHOWN
FOR INFORMATION ONLY

SCALE:
1" = 20'-0"

1

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED : 04.28.2023
REVISIONS
5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

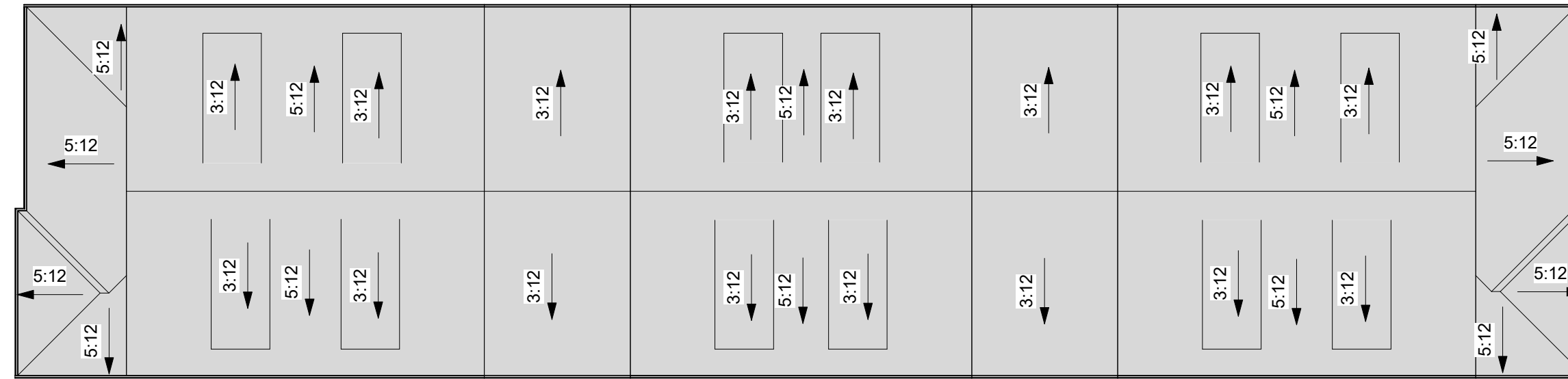
Unit Schedule		
Unit Type	Area	Building D
1A.0	725 SF	4
1A.1	667 SF	8
1B.0	807 SF	0
2A.0	875 SF	4
2A.1	763 SF	2
2B.0	952 SF	4
2B.1	1039 SF	4
2B.2	996 SF	4
2C.0	1111 SF	0
2C.1	1170 SF	0
3A.0	1112 SF	6
Unit Per Building	-	36
Total Building	-	1
Total Units	-	36

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 46 OF 72



UPLANDS

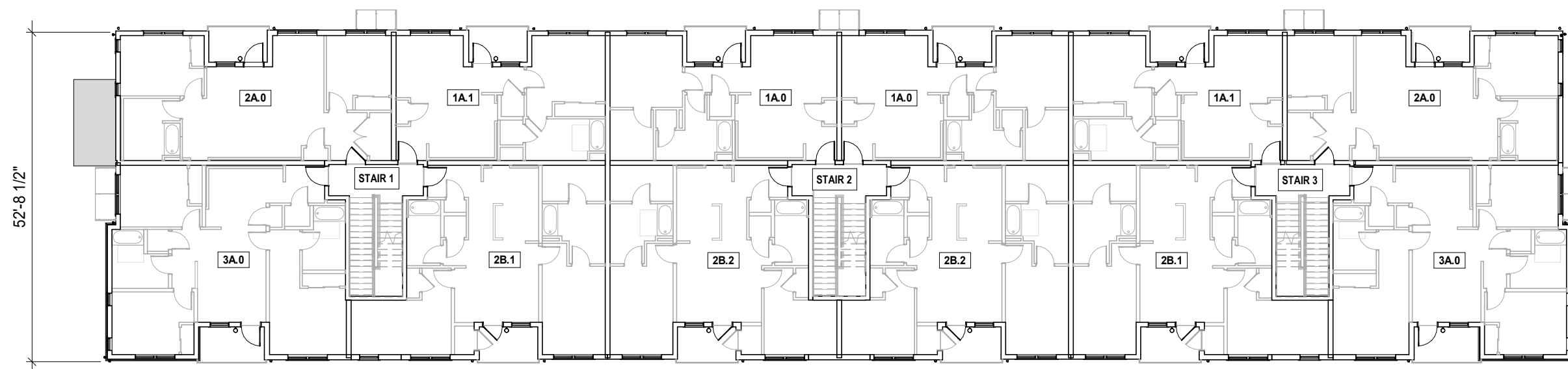
DATE: 01.19.2024



BUILDING D - ROOF PLAN

SCALE:
1" = 20'-0"

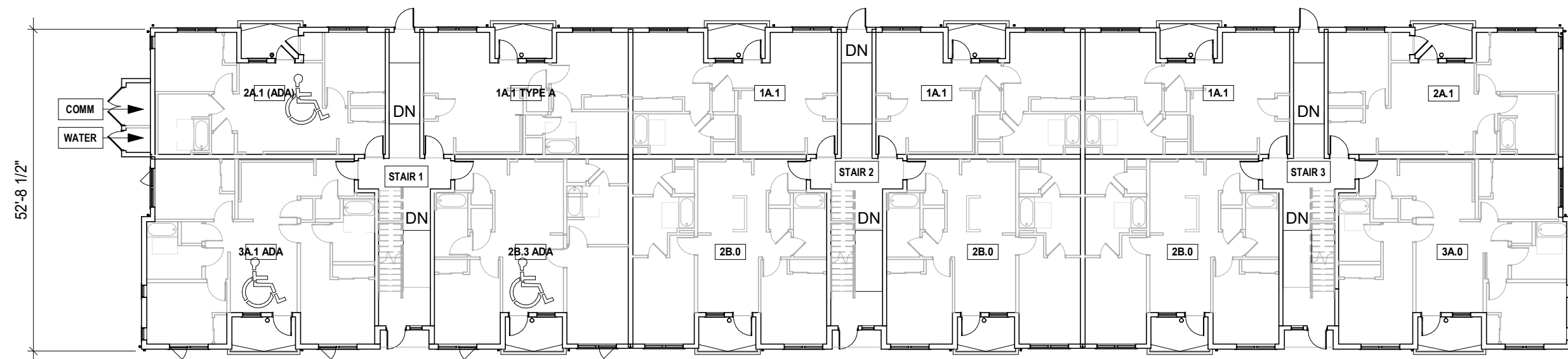
3



BUILDING D - SECOND & THIRD FLOOR PLAN

SCALE:
1" = 20'-0"

2



BUILDING D - FIRST FLOOR PLAN

ALL INTERIOR WALLS SHOWN
FOR INFORMATION ONLY

SCALE:
1" = 20'-0"

1

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED : 04.28.2023
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5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
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2ND SUBMITTAL : 08.10.2023

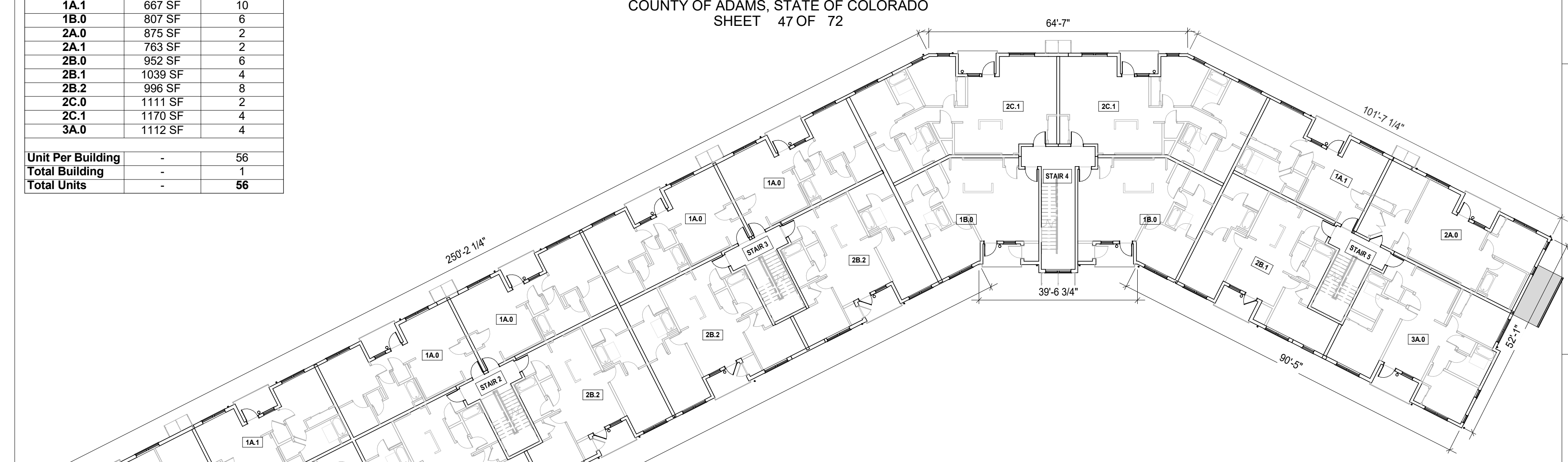
Unit Schedule		
Unit Type	Area	Building Type
1A.0	725 SF	8
1A.1	667 SF	10
1B.0	807 SF	6
2A.0	875 SF	2
2A.1	763 SF	2
2B.0	952 SF	6
2B.1	1039 SF	4
2B.2	996 SF	8
2C.0	1111 SF	2
2C.1	1170 SF	4
3A.0	1112 SF	4
Unit Per Building	-	56
Total Building	-	1
Total Units	-	56

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 47 OF 72

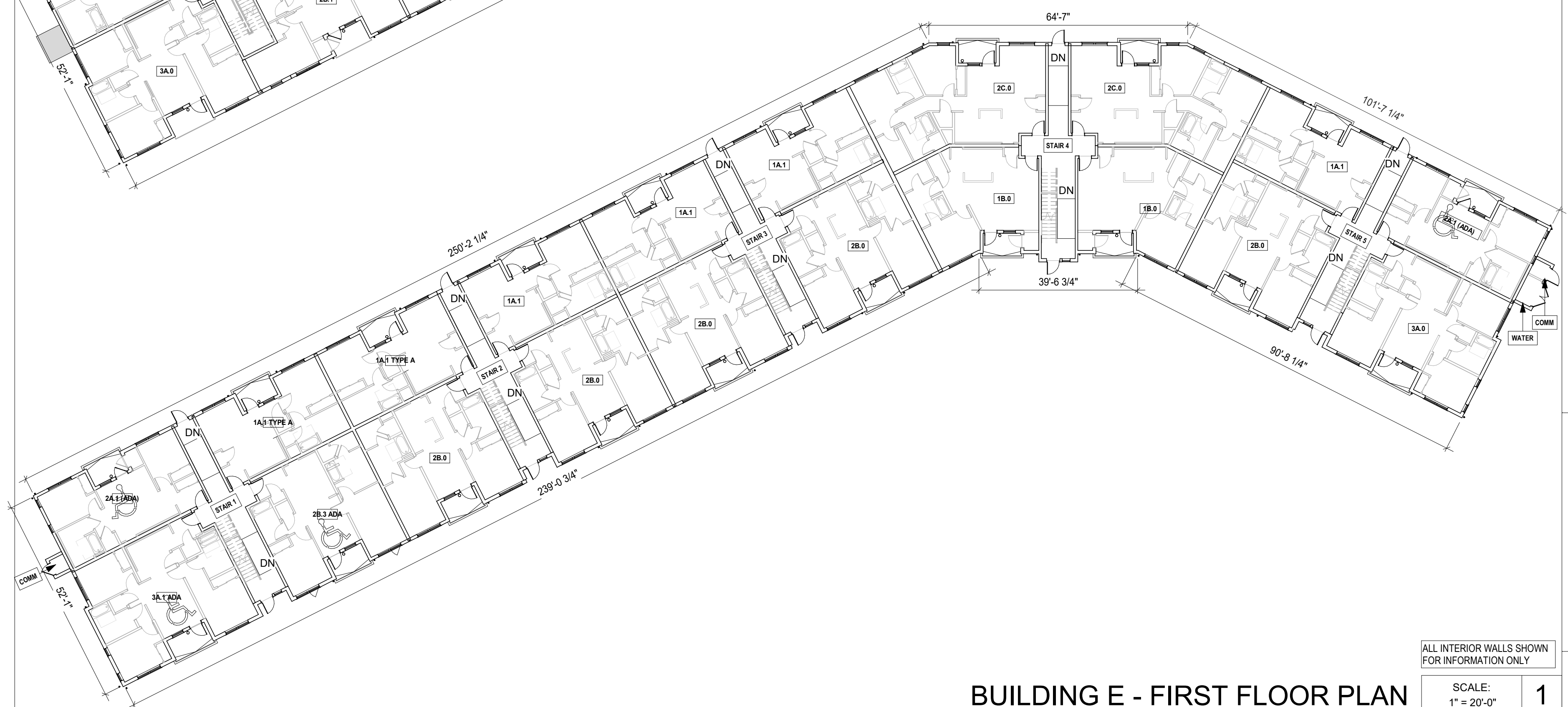


UPLANDS

DATE: 01.19.2024



BUILDING E - SECOND FLOOR PLAN SCALE: 1" = 20'-0" 2



BUILDING E - FIRST FLOOR PLAN SCALE: 1" = 20'-0" 1

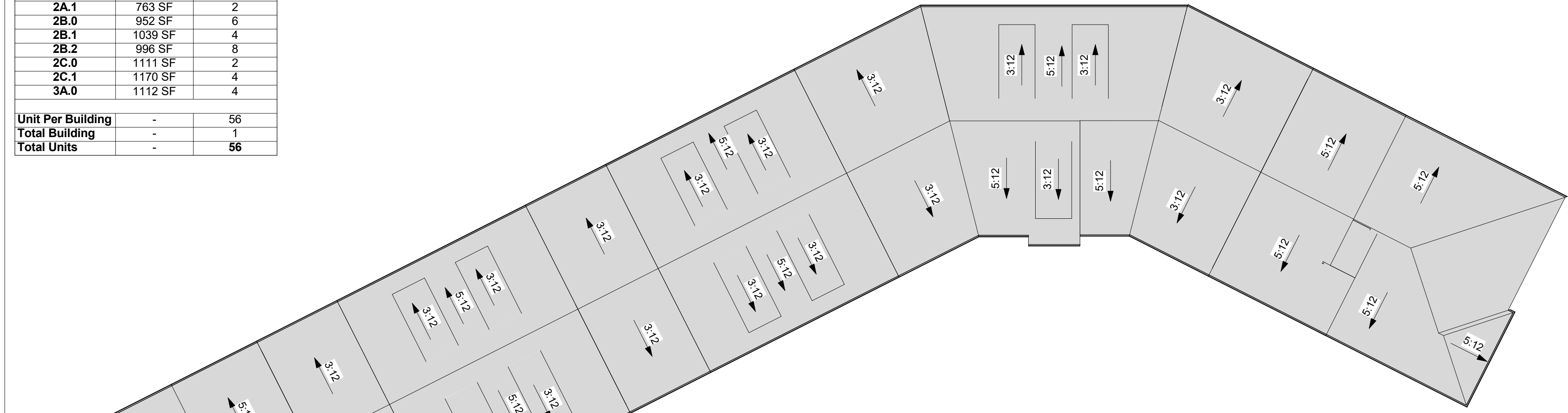
ALL INTERIOR WALLS SHOWN FOR INFORMATION ONLY

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 04.28.2023
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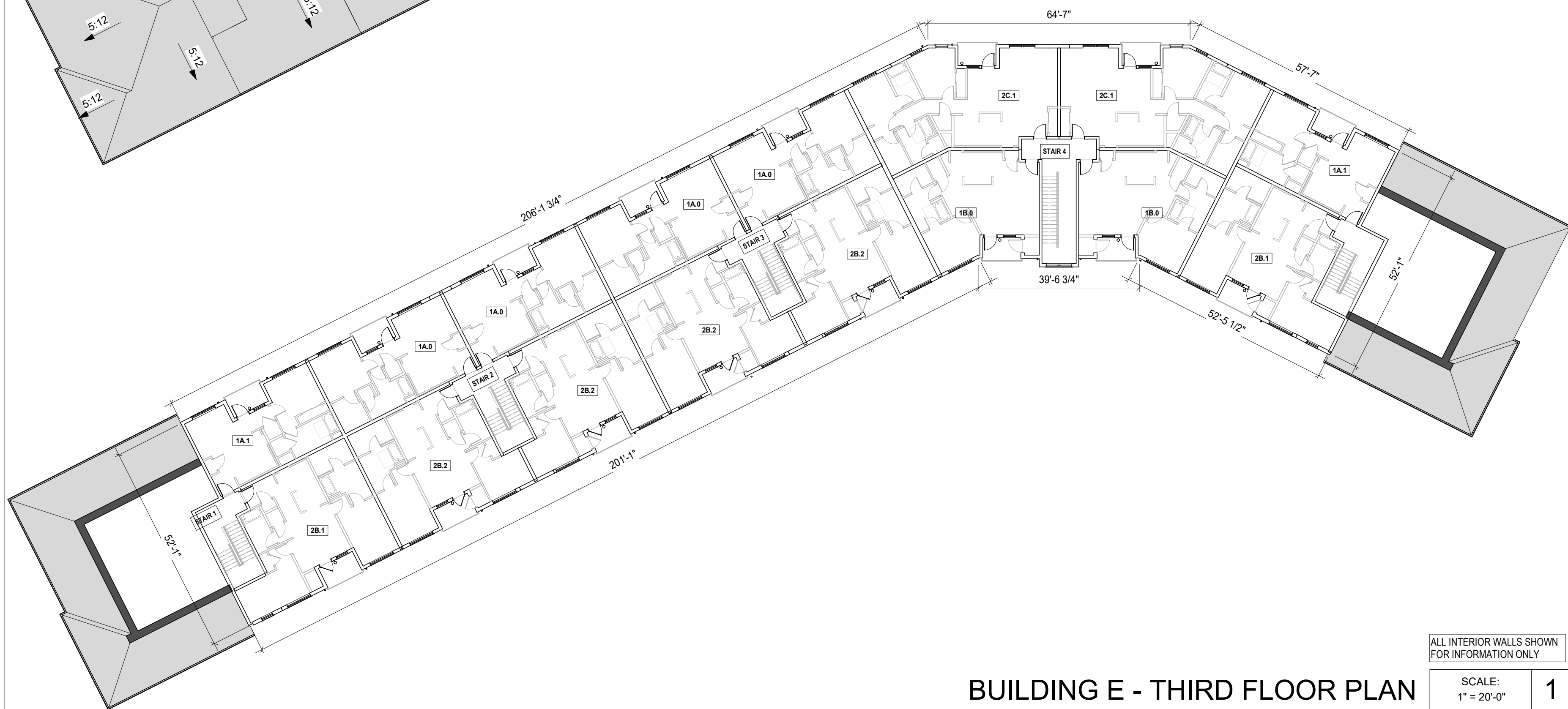
Unit Schedule		
Unit Type	Area	Building Type
1A.0	725 SF	8
1A.1	667 SF	10
1B.0	807 SF	6
2A.0	875 SF	2
2A.1	763 SF	2
2B.0	952 SF	6
2B.1	1039 SF	4
2B.2	996 SF	8
2C.0	1111 SF	2
2C.1	1170 SF	4
3A.0	1112 SF	4
Unit Per Building	-	56
Total Building	-	1
Total Units	-	56

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 48 OF 72



OVERALL ROOF PLAN - BUILDING E

SCALE: 1" = 20'-0" 2



BUILDING E - THIRD FLOOR PLAN

ALL INTERIOR WALLS SHOWN FOR INFORMATION ONLY
 SCALE: 1" = 20'-0" 1

UPLANDS

DATE: 01.19.2024

UPLANDS FILING NO. 3

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023
REVISIONS
5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 49 OF 72

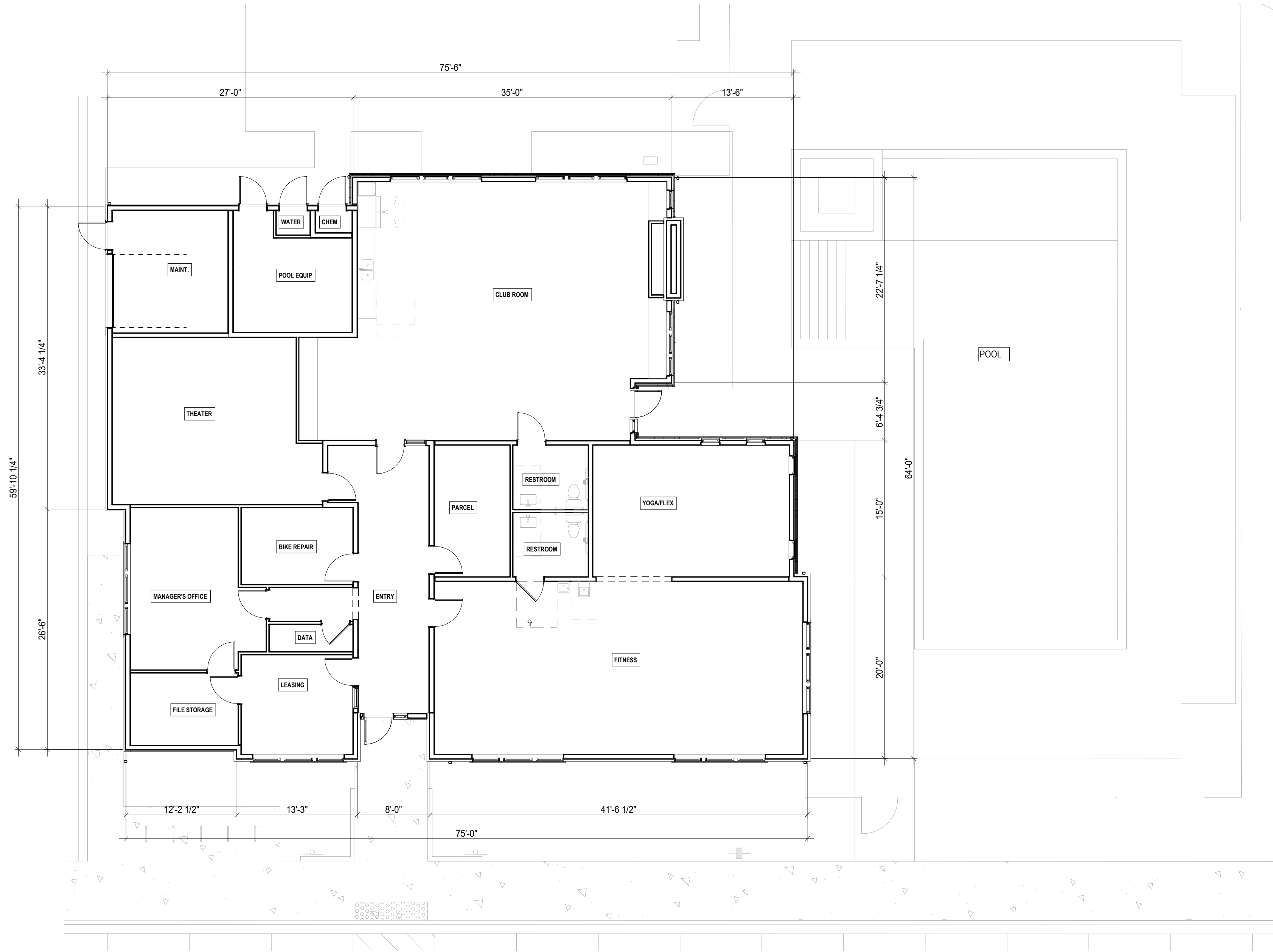


UPLANDS

DATE: 01.19.2024

UPLANDS FILING NO. 3

**OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO**



ALL INTERIOR WALLS SHOWN
 FOR INFORMATION ONLY

OFFICIAL DEVELOPMENT PLAN PREPARED: 04.28.2023
REVISIONS
5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

CLUBHOUSE FLOOR PLAN

SCALE:
 1/8" = 1'-0"

2

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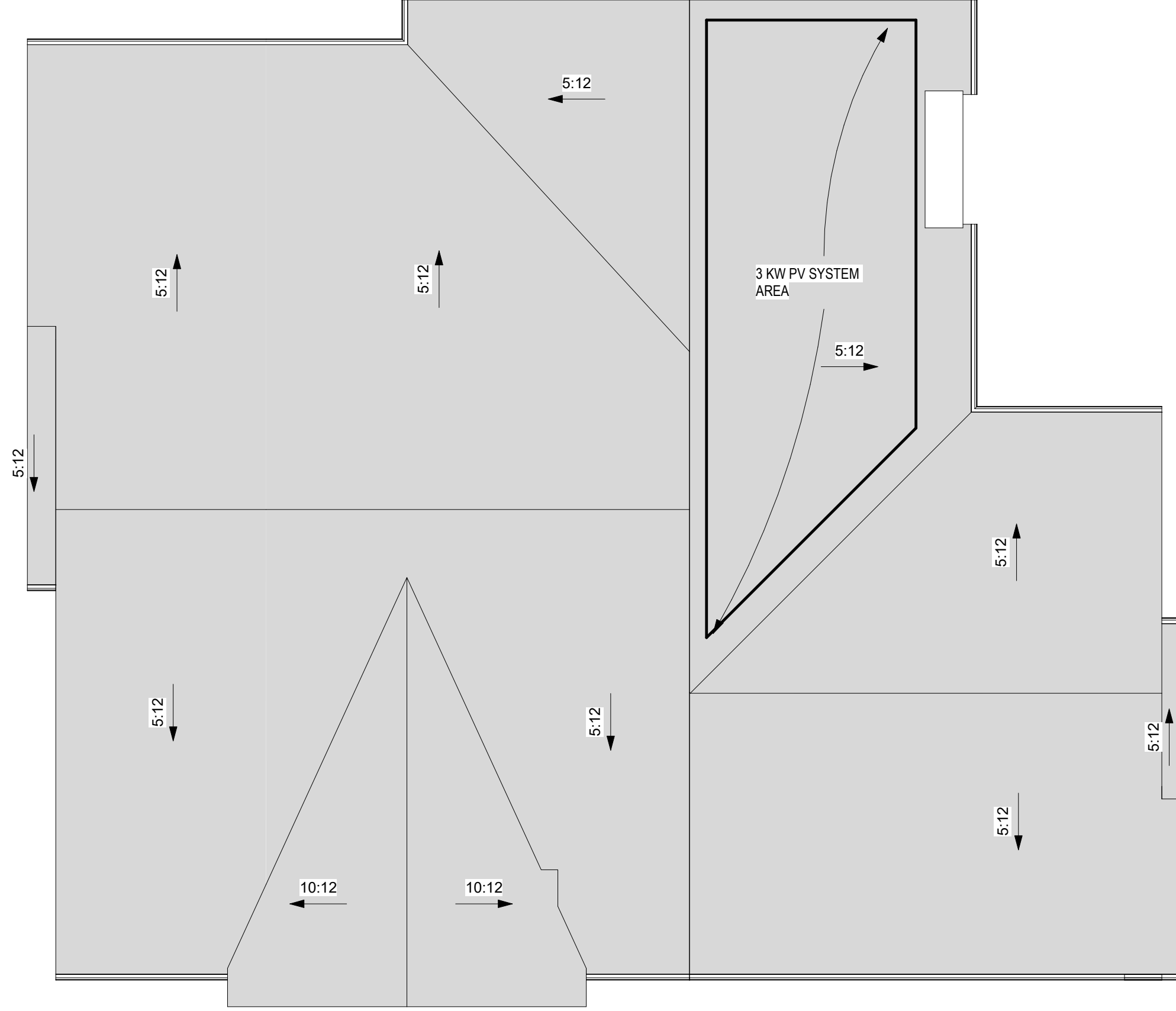
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 50 OF 72



UPLANDS

DATE: 01.19.2024

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



OFFICIAL DEVELOPMENT PLAN PREPARED : 04.28.2023
REVISIONS
5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

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CLUBHOUSE ROOF PLAN

SCALE:
1/8" = 1'-0"

1

EXTERIOR BUILDING MATERIAL COVERAGE

BUILDING A	MASONRY		FIBER CEMENT...		TOTAL
	SF	%	SF	%	SF
Total	3,266	33%	8,780	67%	12,046

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.

WINDOWS/DOORS TO BE INSET 4" AT MASONRY
WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 51 OF 72

KEYNOTES

1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
5	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
6	ASPHALT SHINGLES - CERTAINTED LANDMARK - COLOR: COBBLESTONE GRAY
7	COMPOSITE TRIM - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
8	FASCIA BOARD - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
9	VINYL WINDOW SYSTEM - COLOR: BLACK
10	METAL GUARDRAILS - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
11	METAL SECTIONAL GARAGE DOORS - PAINTED - COLOR: SW 7069 IRON ORE,...
12	METAL DOWNSPOUTS - PAINTED TO MATCH ADJACENT MATERIAL
13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER



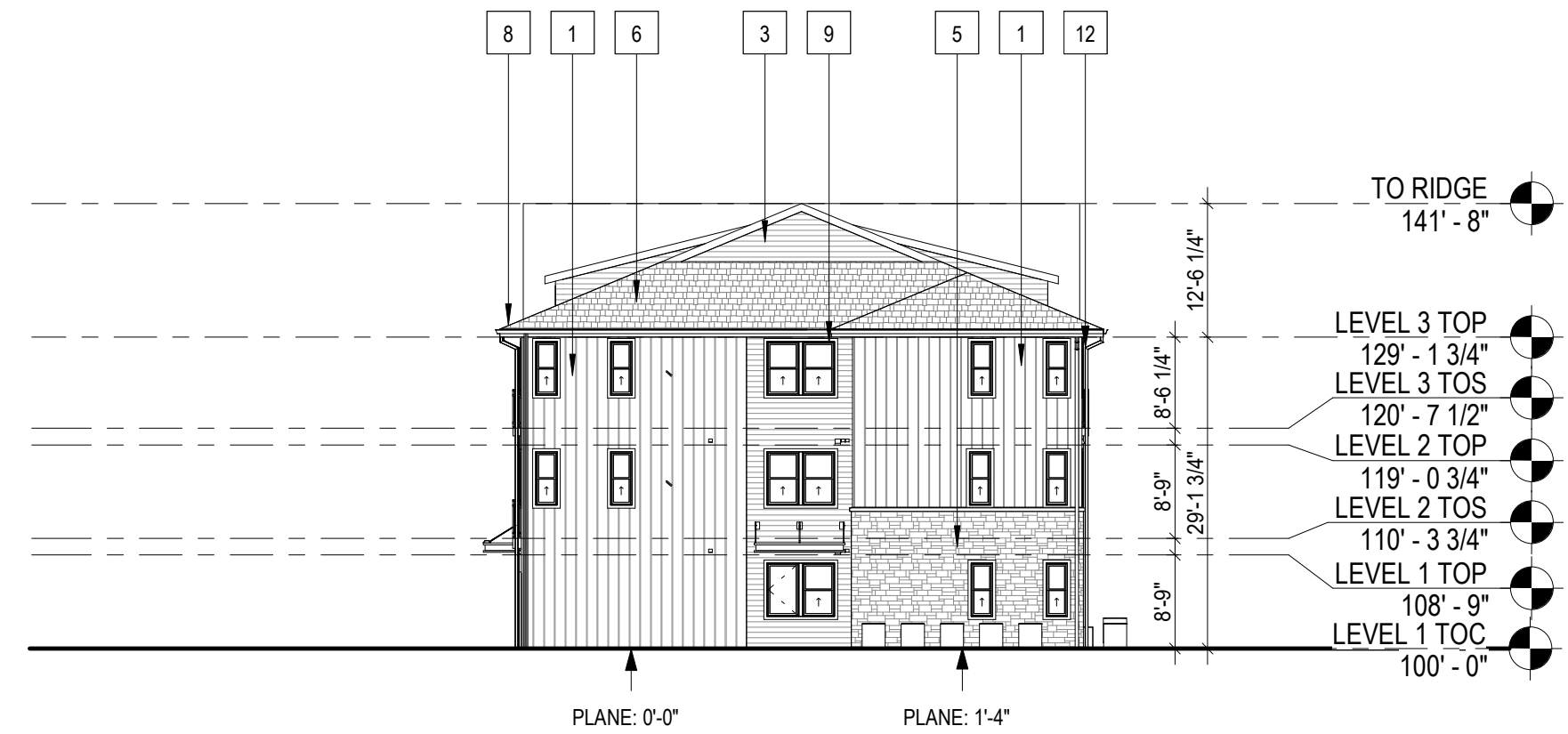
S^T CHARLES
TOWN COMPANY

UPLANDS

DATE: 01.19.2024

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



BUILDING A - ELEVATION - LEFT

SCALE: 1/16" = 1'-0"

2



BUILDING A - ELEVATION - FRONT

SCALE: 1/16" = 1'-0"

1

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL : 01.19.2024

4TH SUBMITTAL : 11.29.2023

3RD SUBMITTAL : 10.06.2023

2ND SUBMITTAL : 08.10.2023

EXTERIOR BUILDING MATERIAL COVERAGE

BUILDING A	MASONRY		FIBER CEMENT...		TOTAL
	SF	%	SF	%	SF
Total	3,266	33%	8,780	67%	12,046

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.

WINDOWS/DOORS TO BE INSET 4" AT MASONRY
WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 52 OF 72

KEYNOTES

1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
5	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
6	ASPHALT SHINGLES - CERTAINTED LANDMARK - COLOR: COBBLESTONE GRAY
7	COMPOSITE TRIM - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
8	FASCIA BOARD - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
9	VINYL WINDOW SYSTEM - COLOR: BLACK
10	METAL GUARDRAILS - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
11	METAL SECTIONAL GARAGE DOORS - PAINTED - COLOR: SW 7069 IRON ORE,...
12	METAL DOWNSPOUTS - PAINTED TO MATCH ADJACENT MATERIAL
13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER

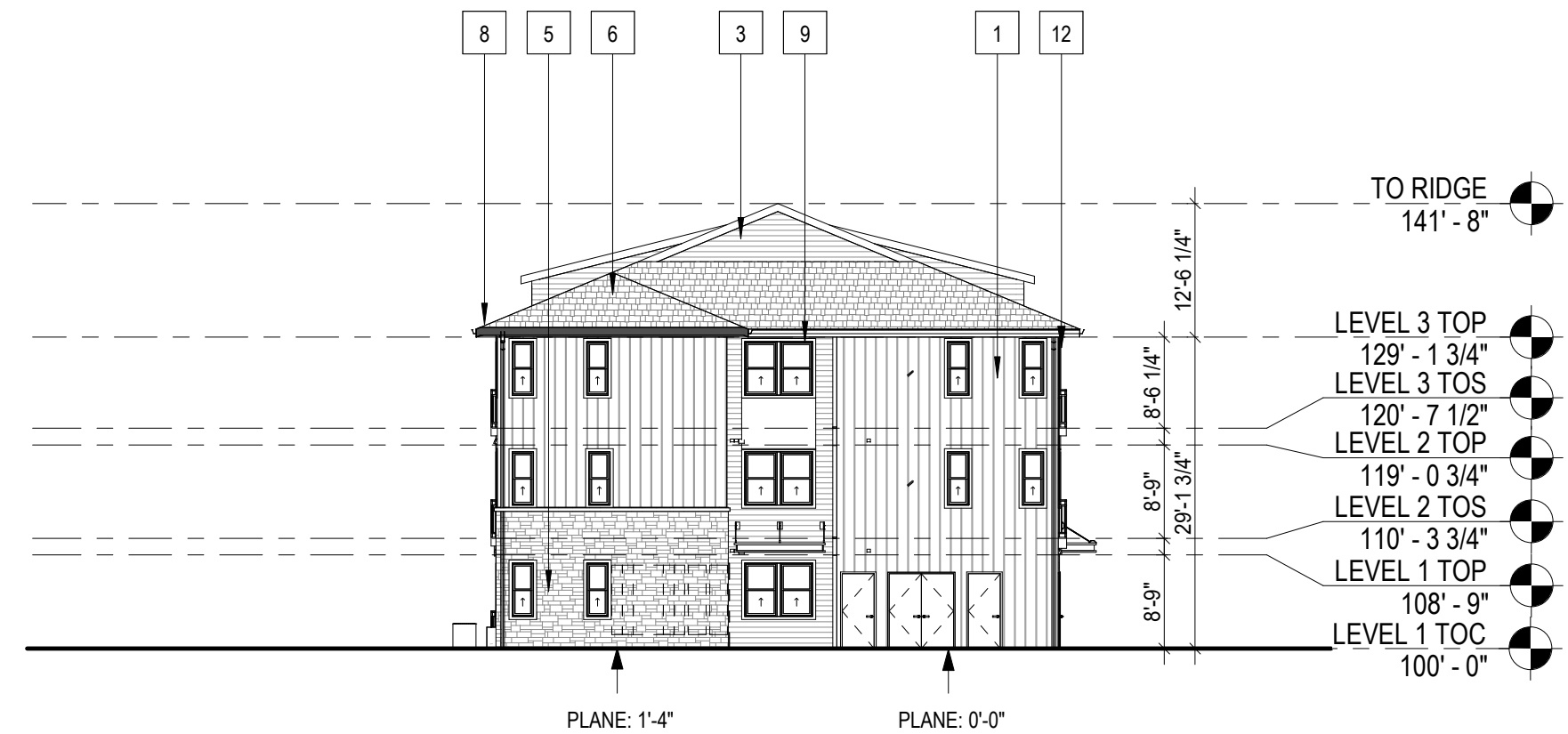


ST. CHARLES
TOWN COMPANY

UPLANDS

DATE: 01.19.2024

DATE:



BUILDING A - ELEVATION - RIGHT

SCALE: 1/16" = 1'-0"

2



BUILDING A - ELEVATION - BACK

SCALE: 1/16" = 1'-0"

1

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL : 01.19.2024

4TH SUBMITTAL : 11.29.2023

3RD SUBMITTAL : 10.06.2023

2ND SUBMITTAL : 08.10.2023

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EXTERIOR BUILDING MATERIAL COVERAGE

BUILDING B	MASONRY		FIBER CEMENT...		TOTAL
	SF	%	SF	%	SF
Total	3,611	33%	8,522	67%	12,133

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.

WINDOWS/DOORS TO BE INSET 4" AT MASONRY
WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 53 OF 72

KEYNOTES

1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
5	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
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12	METAL DOWNSPOUTS - PAINTED TO MATCH ADJACENT MATERIAL
13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER



S^T CHARLES
TOWN COMPANY

UPLANDS

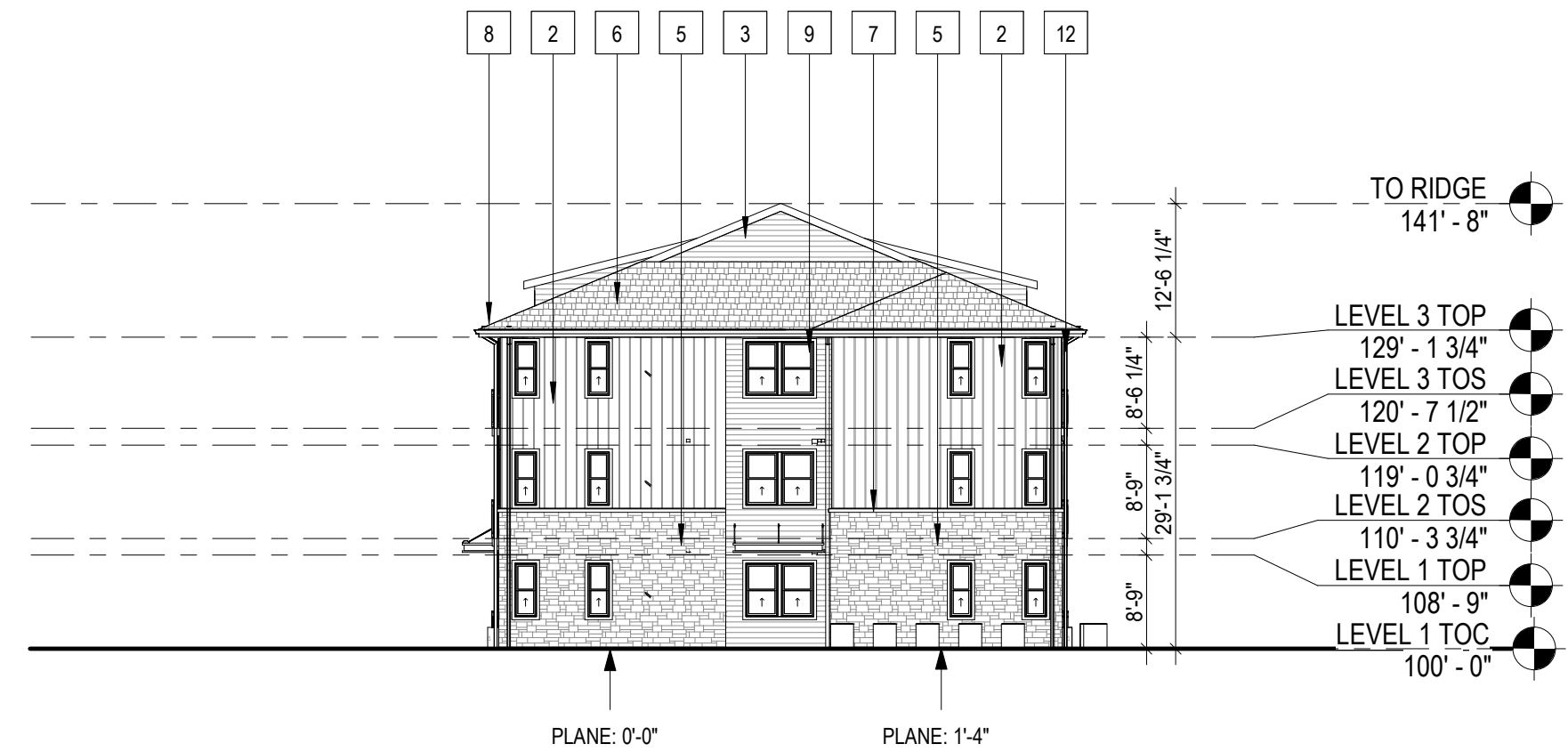
DATE: 01.19.2024

DATE: 01.19.2024

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO



BUILDING B - ELEVATION - LEFT

SCALE:
1/16" = 1'-0"

2



BUILDING B - ELEVATION - FRONT

SCALE:
1/16" = 1'-0"

1

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL	: 01.19.2024
4TH SUBMITTAL	: 11.29.2023
3RD SUBMITTAL	: 10.06.2023
2ND SUBMITTAL	: 08.10.2023

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EXTERIOR BUILDING MATERIAL COVERAGE

BUILDING B	MASONRY		FIBER CEMENT...		TOTAL
	SF	%	SF	%	SF
Total	3,611	33%	8,522	67%	12,133

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.

WINDOWS/DOORS TO BE INSET 4" AT MASONRY
WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 54 OF 72

KEYNOTES

1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
5	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
6	ASPHALT SHINGLES - CERTAINTED LANDMARK - COLOR: COBBLESTONE GRAY
7	COMPOSITE TRIM - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
8	FASCIA BOARD - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
9	VINYL WINDOW SYSTEM - COLOR: BLACK
10	METAL GUARDRAILS - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
11	METAL SECTIONAL GARAGE DOORS - PAINTED - COLOR: SW 7069 IRON ORE,...
12	METAL DOWNSPOUTS - PAINTED TO MATCH ADJACENT MATERIAL
13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER



S^T CHARLES
TOWN COMPANY

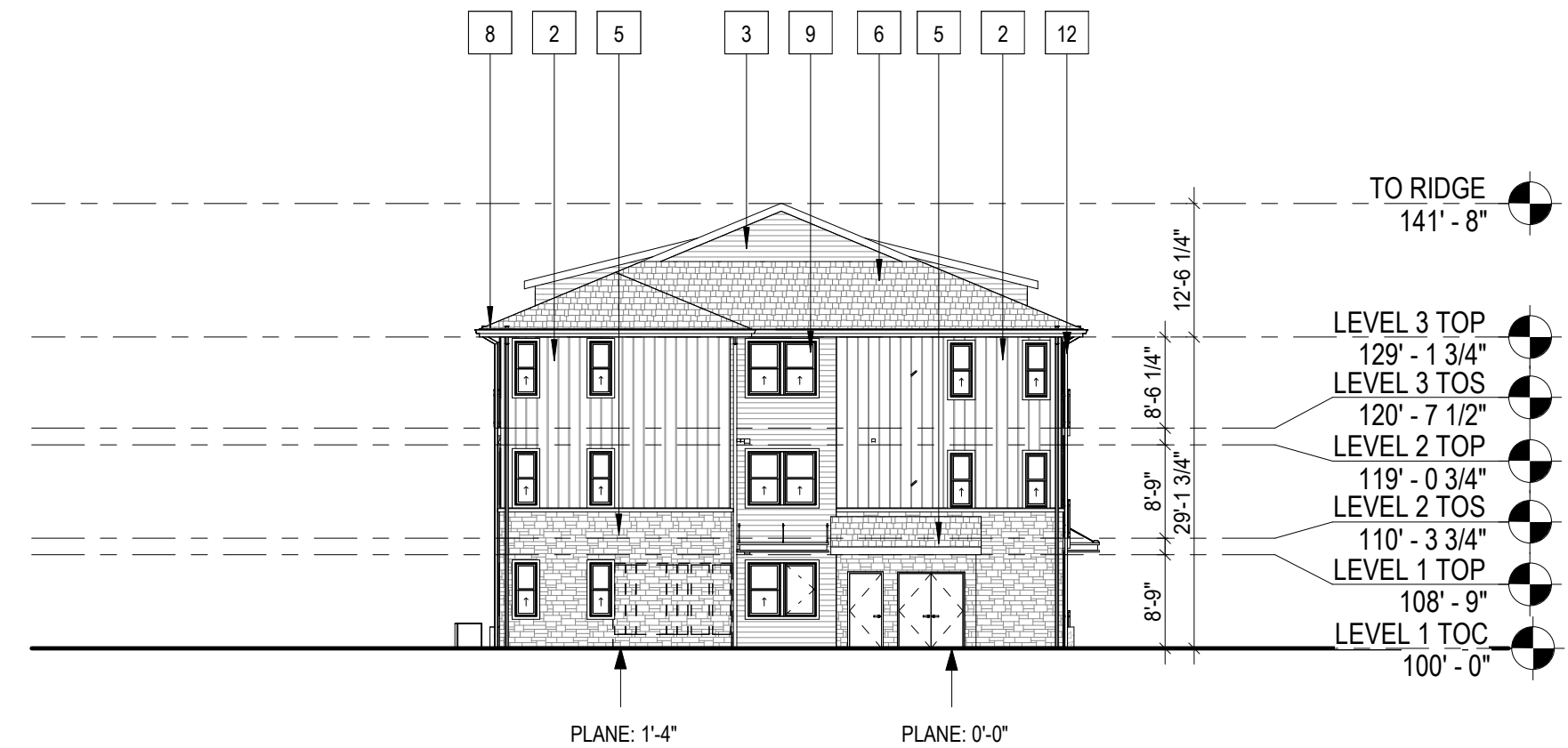
UPLANDS

DATE: 01.19.2024

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO



BUILDING B - ELEVATION - RIGHT

SCALE: 1/16" = 1'-0"

2



BUILDING B - ELEVATION - BACK

SCALE: 1/16" = 1'-0"

1

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

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EXTERIOR BUILDING MATERIAL COVERAGE					
BUILDING B (ALT)	MASONRY		FIBER CEMENT BATTEN		TOTAL
Total	4,215	41%	7,856	59%	12,071

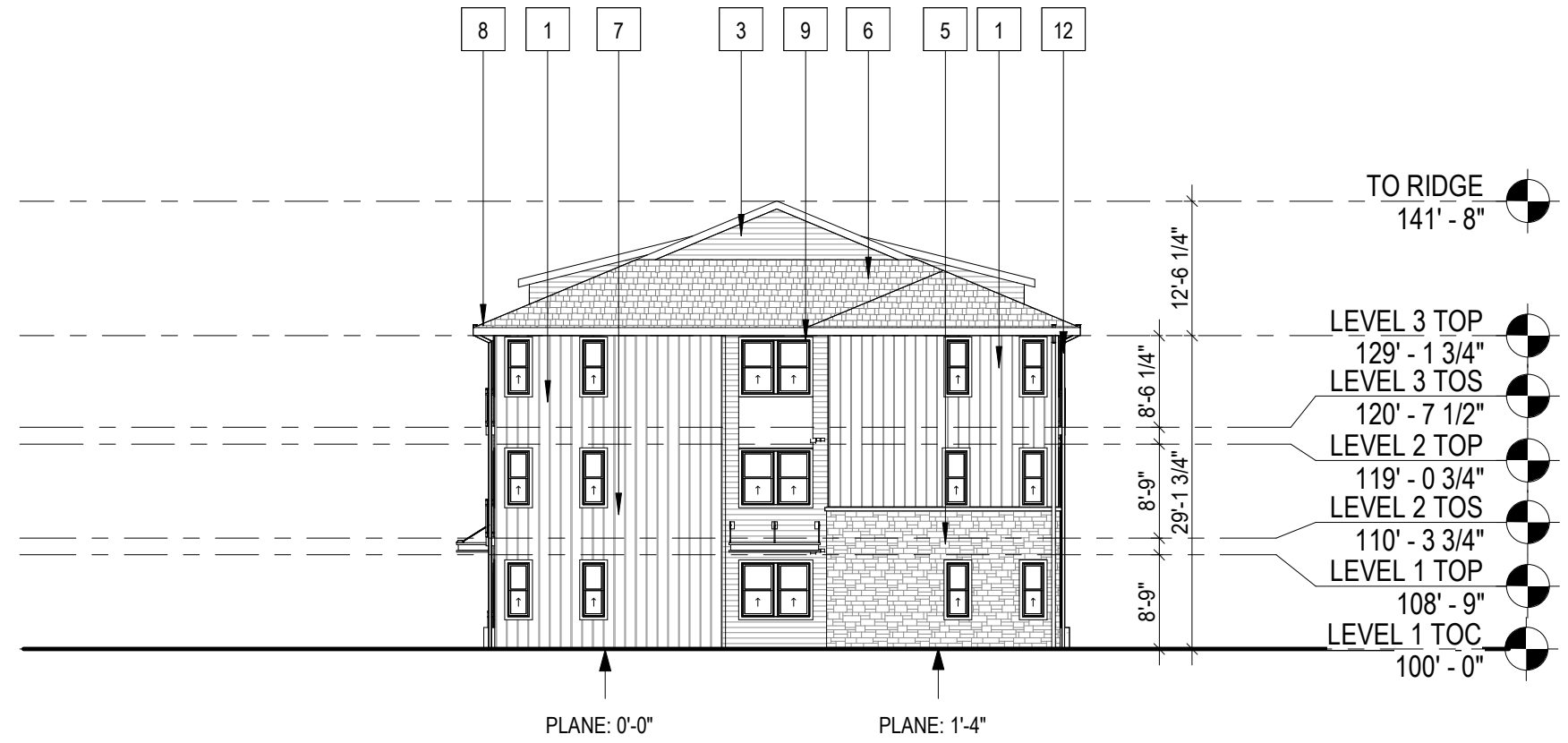
NOTE:
 CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.
 CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.
 WINDOWS/DOORS TO BE INSET 4" AT MASONRY
 WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 55 OF 72

KEYNOTES	
1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
5	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
6	ASPHALT SHINGLES - CERTAINTED LANDMARK - COLOR: COBBLESTONE GRAY
7	COMPOSITE TRIM - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
8	FASCIA BOARD - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
9	VINYL WINDOW SYSTEM - COLOR: BLACK
10	METAL GUARDRAILS - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
11	METAL SECTIONAL GARAGE DOORS - PAINTED - COLOR: SW 7069 IRON ORE,...
12	METAL DOWNSPOUTS - PAINTED TO MATCH ADJACENT MATERIAL
13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER



UPLANDS
 DATE: 01.19.2024



BUILDING B (ALT.) - ELEVATION - LEFT SCALE: 1/16" = 1'-0" 2



BUILDING B (ALT.) - ELEVATION - FRONT SCALE: 1/16" = 1'-0" 1

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023
REVISIONS
5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

EXTERIOR BUILDING MATERIAL COVERAGE				
BUILDING B (ALT)	MASONRY	FIBER CEMENT BATTEN	TOTAL	
Total	4,215	41%	7,856	59%
				12,071

NOTE:
 CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 56 OF 72

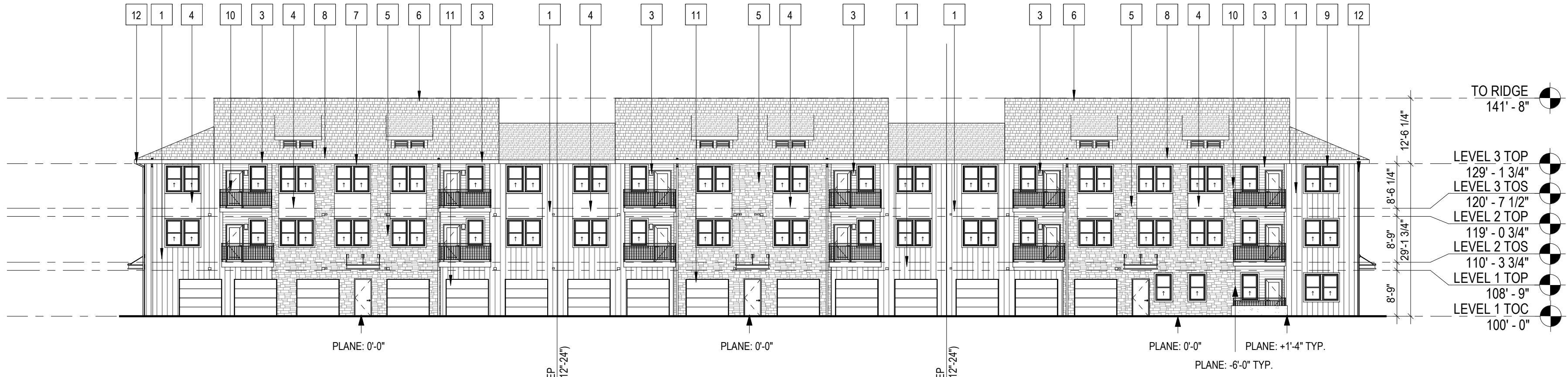
KEYNOTES	
1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
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12	METAL DOWNSPOUTS - PAINTED TO MATCH ADJACENT MATERIAL
13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER



UPLANDS
 DATE: 01.19.2024



BUILDING B (ALT.) - ELEVATION - RIGHT SCALE: 1/16" = 1'-0" 2



BUILDING B (ALT.) - ELEVATION - BACK SCALE: 1/16" = 1'-0" 1

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023
REVISIONS
5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

EXTERIOR BUILDING MATERIAL COVERAGE

BUILDING C	MASONRY		FIBER CEMENT...		TOTAL
	SF	%	SF	%	SF
Total	3,322	31%	8,853	69%	12,175

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.

WINDOWS/DOORS TO BE INSET 4" AT MASONRY
WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 57 OF 72

KEYNOTES

1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
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12	METAL DOWNSPOUTS - PAINTED TO MATCH ADJACENT MATERIAL
13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER

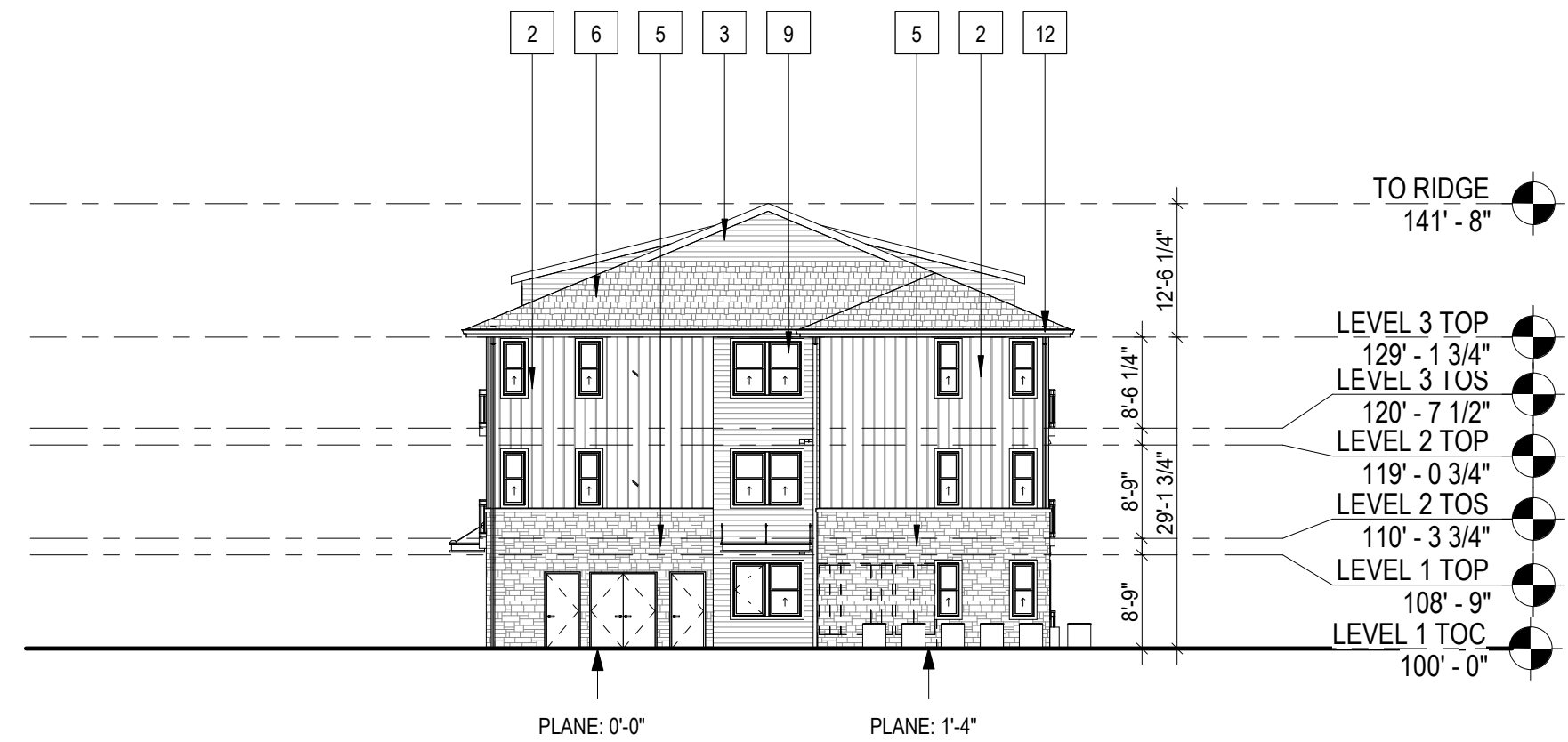


S^T CHARLES
TOWN COMPANY

UPLANDS

DATE: 01.19.2024

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



BUILDING C - ELEVATION - LEFT

SCALE: 1/16" = 1'-0"

5



BUILDING C - ELEVATION - FRONT

SCALE: 1/16" = 1'-0"

1

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

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EXTERIOR BUILDING MATERIAL COVERAGE

BUILDING C	MASONRY		FIBER CEMENT...		TOTAL
	SF	%	SF	%	SF
Total	3,322	31%	8,853	69%	12,175

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

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WINDOWS/DOORS TO BE INSET 4" AT MASONRY
WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 58 OF 72

KEYNOTES

1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
5	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
6	ASPHALT SHINGLES - CERTAINTED LANDMARK - COLOR: COBBLESTONE GRAY
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13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER



S^T CHARLES
TOWN COMPANY

UPLANDS

DATE: 01.19.2024

UPLANDS FILING NO. 3

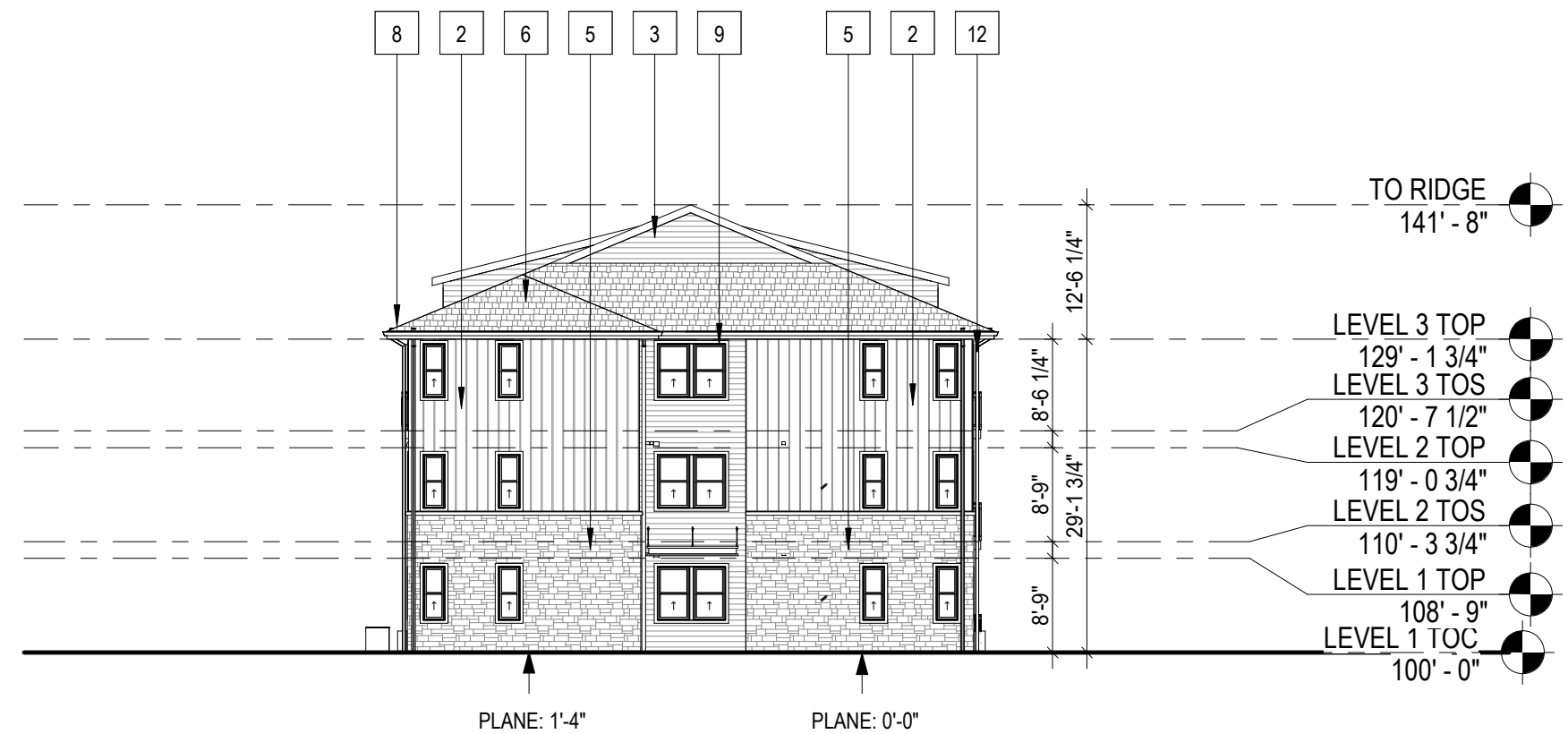
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL	: 01.19.2024
4TH SUBMITTAL	: 11.29.2023
3RD SUBMITTAL	: 10.06.2023
2ND SUBMITTAL	: 08.10.2023

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BUILDING C - ELEVATION - RIGHT

SCALE:
1/16" = 1'-0"

2



BUILDING C - ELEVATION - BACK

SCALE:
1/16" = 1'-0"

1

EXTERIOR BUILDING MATERIAL COVERAGE					
BUILDING D	MASONRY		FIBER CEMENT...		TOTAL
	SF	%	SF	%	
Total	4,360	41%	8,201	59%	12,561

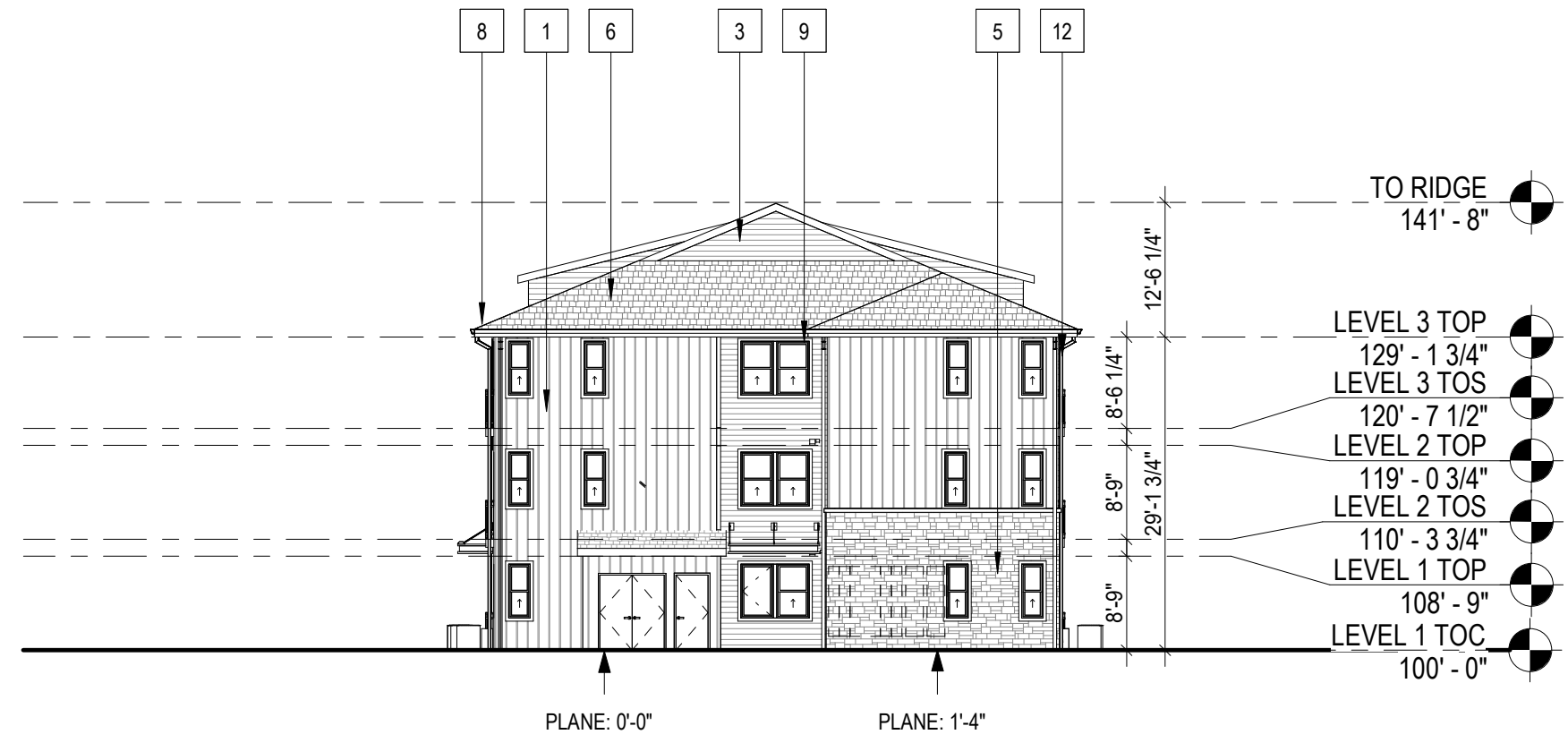
NOTE:
 CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.
 CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.
 WINDOWS/DOORS TO BE INSET 4" AT MASONRY
 WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 59 OF 72

KEYNOTES	
1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
5	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
6	ASPHALT SHINGLES - CERTAINTEED LANDMARK - COLOR: COBBLESTONE GRAY
7	COMPOSITE TRIM - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
8	FASCIA BOARD - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
9	VINYL WINDOW SYSTEM - COLOR: BLACK
10	METAL GUARDRAILS - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
11	METAL SECTIONAL GARAGE DOORS - PAINTED - COLOR: SW 7069 IRON ORE,...
12	METAL DOWNSPOUTS - PAINTED TO MATCH ADJACENT MATERIAL
13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER



UPLANDS
 DATE: 01.19.2024



BUILDING D - ELEVATION - LEFT SCALE: 1/16" = 1'-0" 2



BUILDING D - ELEVATION - FRONT SCALE: 1/16" = 1'-0" 1

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023
REVISIONS
5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

EXTERIOR BUILDING MATERIAL COVERAGE					
BUILDING D	MASONRY		FIBER CEMENT...		TOTAL
	SF	%	SF	%	
Total	4,360	41%	8,201	59%	12,561

NOTE:
 CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.
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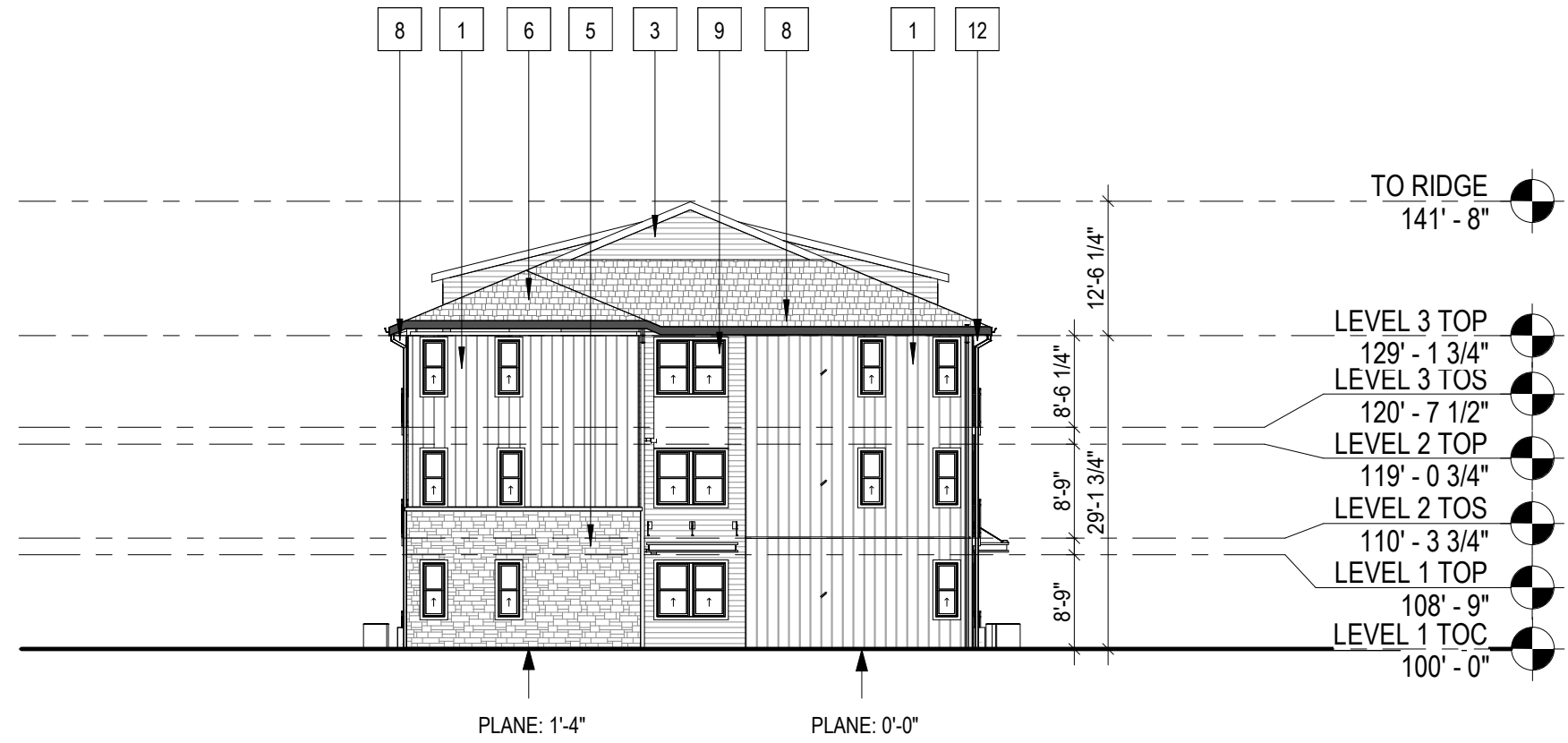
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 60 OF 72

KEYNOTES	
1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
5	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
6	ASPHALT SHINGLES - CERTAINTED LANDMARK - COLOR: COBBLESTONE GRAY
7	COMPOSITE TRIM - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
8	FASCIA BOARD - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
9	VINYL WINDOW SYSTEM - COLOR: BLACK
10	METAL GUARDRAILS - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
11	METAL SECTIONAL GARAGE DOORS - PAINTED - COLOR: SW 7069 IRON ORE,...
12	METAL DOWNSPOUTS - PAINTED TO MATCH ADJACENT MATERIAL
13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER



UPLANDS

DATE: 01.19.2024



BUILDING D - ELEVATION - RIGHT SCALE: 1/16" = 1'-0" **2**

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



BUILDING D - ELEVATION - BACK SCALE: 1/16" = 1'-0" **1**

OFFICIAL DEVELOPMENT PLAN PREPARED: 04.28.2023
REVISIONS
5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

EXTERIOR BUILDING MATERIAL COVERAGE

BUILDING E	MASONRY		FIBER CEMENT BATTEN		TOTAL
	SF	%	SF	%	SF
Total	5,715	33%	11,565	67%	17,280

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.

WINDOWS/DOORS TO BE INSET 4" AT MASONRY
WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 61 OF 72

KEYNOTES

1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
5	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
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11	METAL SECTIONAL GARAGE DOORS - PAINTED - COLOR: SW 7069 IRON ORE,...
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14	ELECTRIC METER



ST. CHARLES
TOWN COMPANY

UPLANDS

DATE: 01.19.2024

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

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BUILDING E - FRONT ELEVATION - RIGHT END

SCALE:
1/16" = 1'-0"

3



BUILDING E - FRONT ELEVATION - CENTER

SCALE:
1/16" = 1'-0"

2



BUILDING E - FRONT ELEVATION - LEFT END

SCALE:
1/16" = 1'-0"

1

EXTERIOR BUILDING MATERIAL COVERAGE

BUILDING E	MASONRY		FIBER CEMENT BATTEN		TOTAL
	SF	%	SF	%	SF
Total	5,715	33%	11,565	67%	17,280

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.

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WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 62 OF 72

KEYNOTES

1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
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14	ELECTRIC METER



UPLANDS

DATE: 01.19.2024

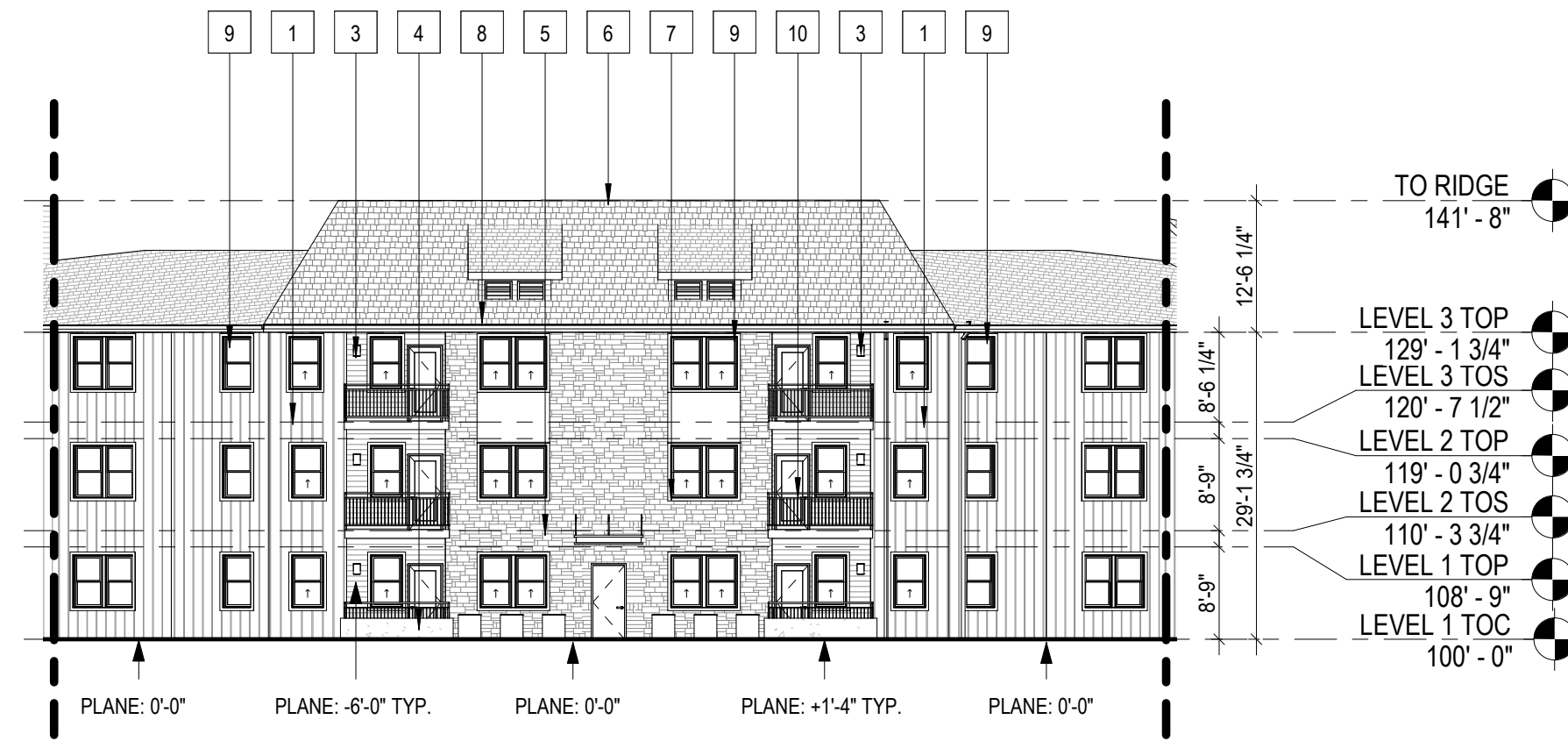
UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO



BUILDING E - BACK ELEVATION - LEFT END

SCALE:
1/16" = 1'-0"

3



BUILDING E - BACK ELEVATION - CENTER

SCALE:
1/16" = 1'-0"

2



BUILDING E - BACK ELEVATION - RIGHT END

SCALE:
1/16" = 1'-0"

1

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL	: 01.19.2024
4TH SUBMITTAL	: 11.29.2023
3RD SUBMITTAL	: 10.06.2023
2ND SUBMITTAL	: 08.10.2023

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EXTERIOR BUILDING MATERIAL COVERAGE

BUILDING E	MASONRY		FIBER CEMENT BATTEN		TOTAL
	SF	%	SF	%	SF
Total	5,715	33%	11,565	67%	17,280

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.

WINDOWS/DOORS TO BE INSET 4" AT MASONRY
WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 63 OF 72

KEYNOTES

1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	BOARD & BATTEN - COLOR: SW 9129 JADE DRAGON, SATIN
3	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
4	SMOOTH PANEL - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
5	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
6	ASPHALT SHINGLES - CERTAINTEED LANDMARK - COLOR: COBBLESTONE GRAY
7	COMPOSITE TRIM - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
8	FASCIA BOARD - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
9	VINYL WINDOW SYSTEM - COLOR: BLACK
10	METAL GUARDRAILS - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
11	METAL SECTIONAL GARAGE DOORS - PAINTED - COLOR: SW 7069 IRON ORE,...
12	METAL DOWNSPOUTS - PAINTED TO MATCH ADJACENT MATERIAL
13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER



ST. CHARLES
TOWN COMPANY

UPLANDS

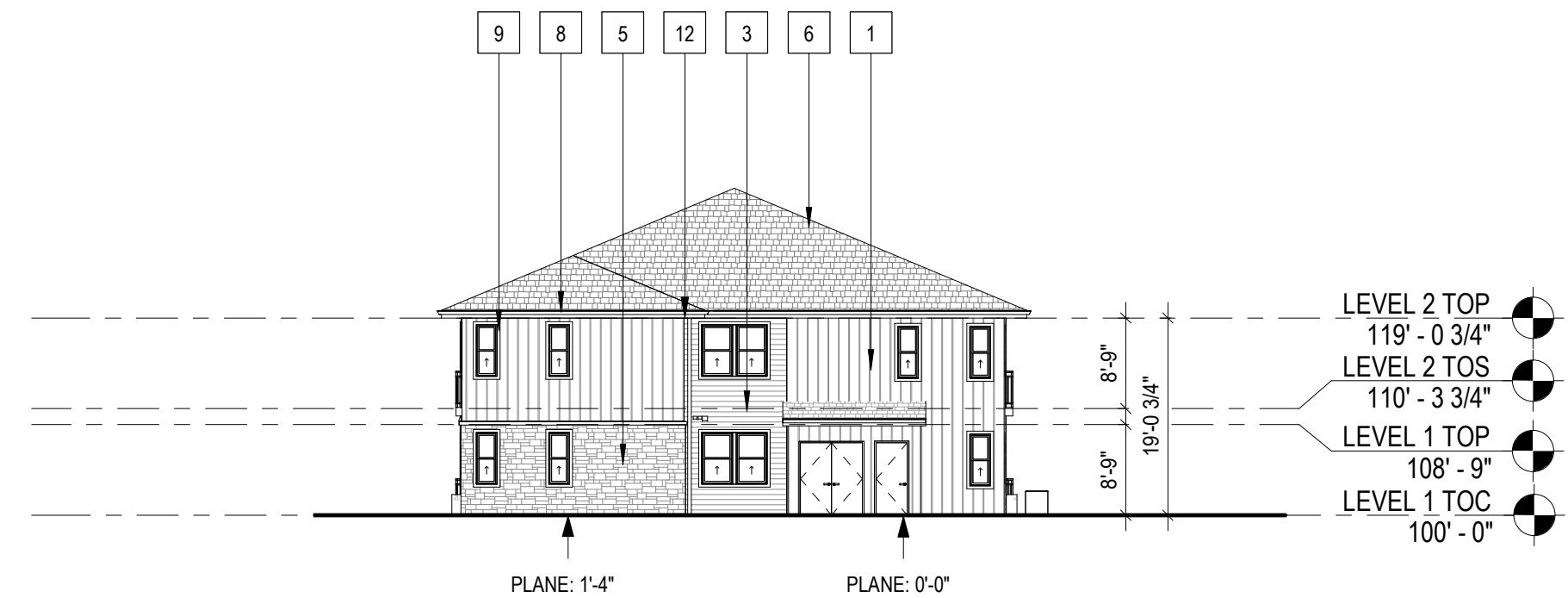
DATE: 01.19.2024

DATE: 01.19.2024

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN

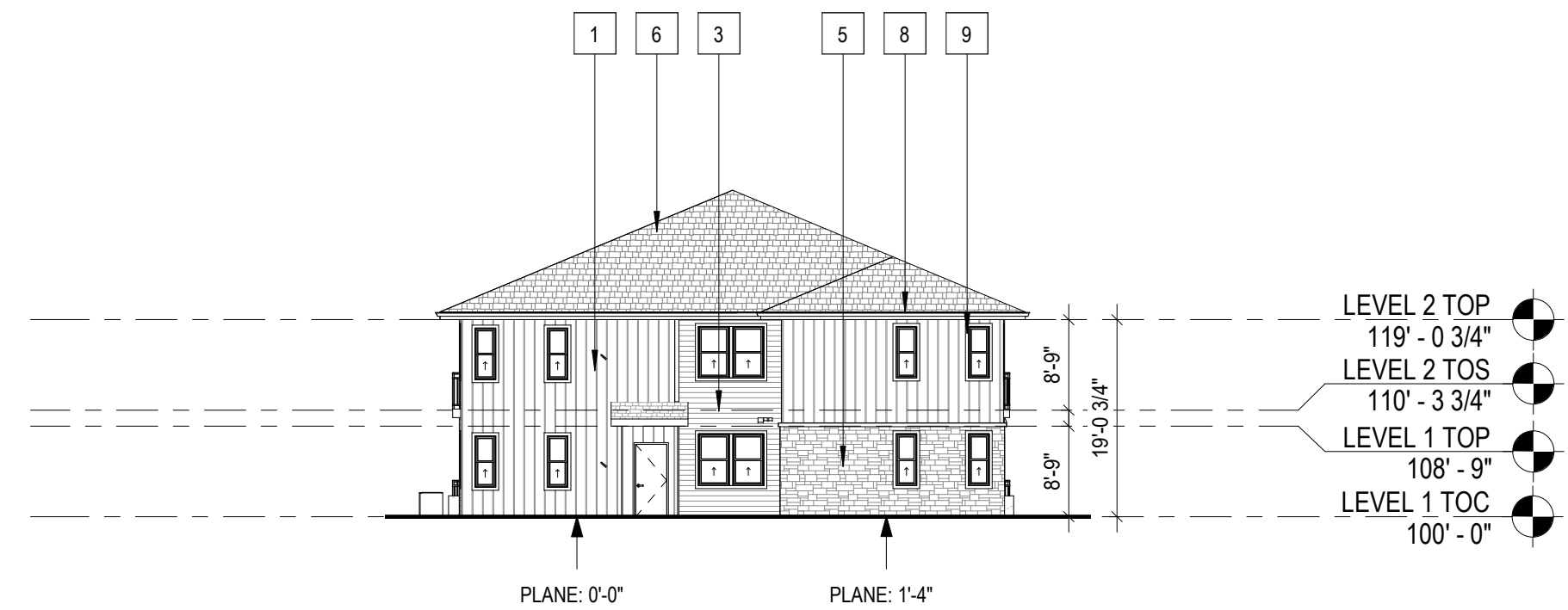
WESTMINSTER, COLORADO



BUILDING E - SIDE ELEVATION - RIGHT END

SCALE:
1/16" = 1'-0"

2



BUILDING E - SIDE ELEVATION - LEFT END

SCALE:
1/16" = 1'-0"

1

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL : 01.19.2024
4TH SUBMITTAL : 11.29.2023
3RD SUBMITTAL : 10.06.2023
2ND SUBMITTAL : 08.10.2023

63 OF 72

EXTERIOR BUILDING MATERIAL COVERAGE

CLUBHOUSE	MASONRY		FIBER CEMENT...	
	SF	%	SF	%
Total	1,044	32%	2,180	16%

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.

WINDOWS/DOORS TO BE INSET 4" AT MASONRY
WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 64 OF 72

KEYNOTES

1	BOARD & BATTEN - COLOR: SW 7666 FLEUR DE SEL, SATIN
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14	ELECTRIC METER



ST. CHARLES
TOWN COMPANY

UPLANDS

DATE: 01.19.2024

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL : 01.19.2024

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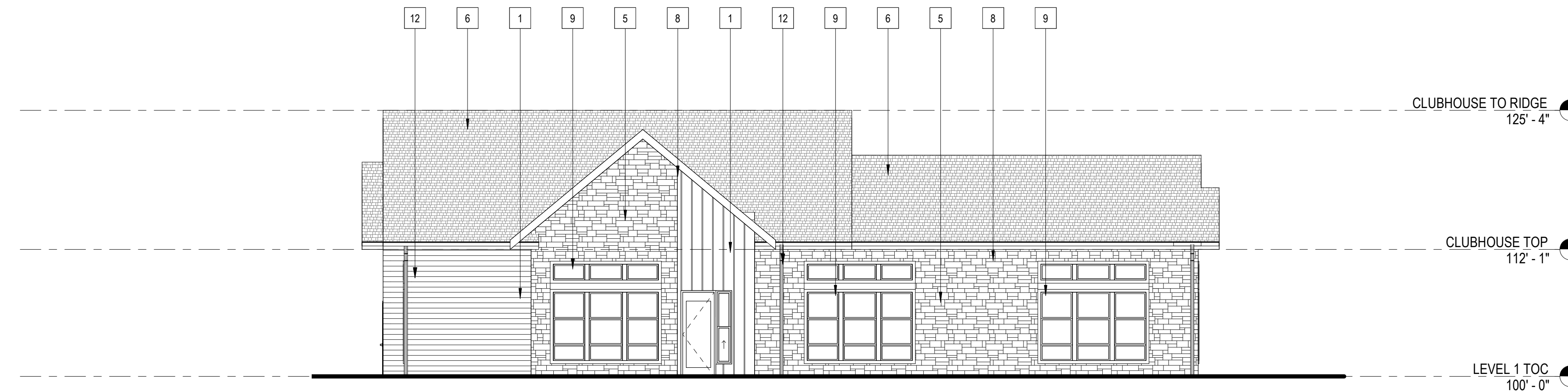
64 OF 72



CLUBHOUSE - RIGHT ELEVATION

SCALE:
1/8" = 1'-0"

2



CLUBHOUSE - FRONT ELEVATION

SCALE:
1/8" = 1'-0"

1

EXTERIOR BUILDING MATERIAL COVERAGE

CLUBHOUSE	MASONRY		FIBER CEMENT...	
	SF	%	SF	%
Total	1,044	32%	2,180	16%

NOTE:

CLADDING WILL EXTEND TO GROUND, COVERING ALL EXPOSED FOUNDATION EXCEPT WHERE STEPPING IS NECESSARY TO ACCOMMODATE GRADE, WHERE MAXIMUM OF 18 INCHES OF FOUNDATION IS EXPOSED.

CONDENSERS WILL BE SCREENED BY LANDSCAPE, RE: LANDSCAPE DRAWINGS.

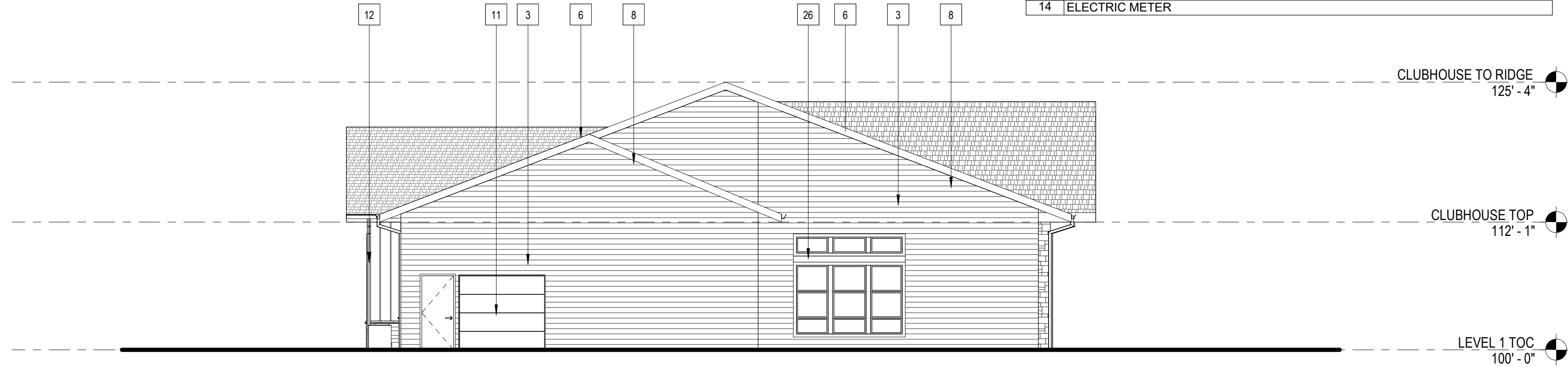
WINDOWS/DOORS TO BE INSET 4" AT MASONRY
WINDOWS/DOORS TO BE INSET 2" AT LAP/BOARD AND BATTEN

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3

A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 65 OF 72

KEYNOTES

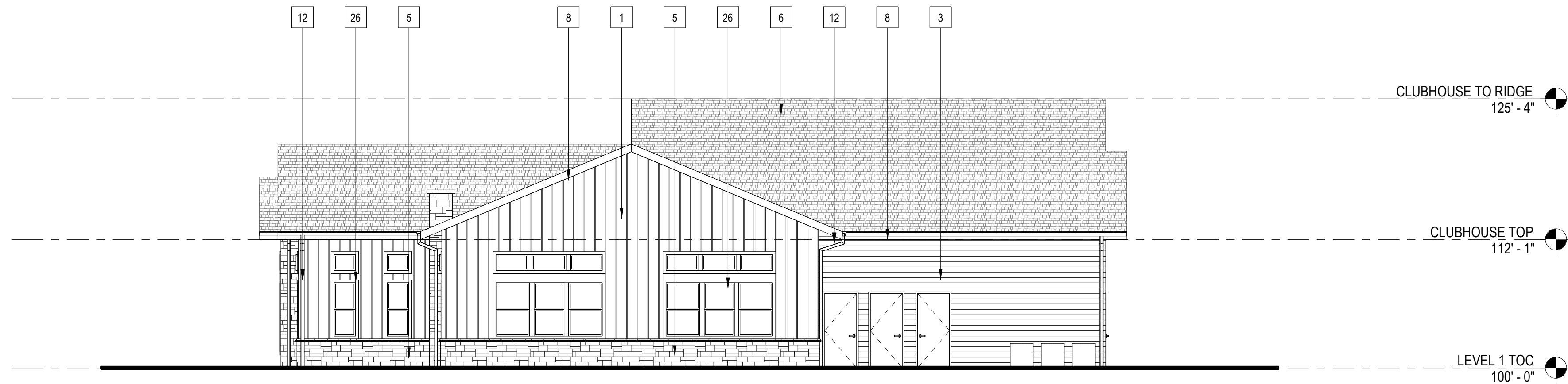
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13	METAL AWNING - PAINTED - COLOR: SW 7069 IRON ORE, SATIN
14	ELECTRIC METER



CLUBHOUSE - LEFT ELEVATION

SCALE:
1/8" = 1'-0"

2



CLUBHOUSE - BACK ELEVATION

SCALE:
1/8" = 1'-0"

1



S^T CHARLES
TOWN COMPANY

UPLANDS

DATE: 01.19.2024

UPLANDS FILING NO. 3

OFFICIAL DEVELOPMENT PLAN

WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023

REVISIONS

5TH SUBMITTAL : 01.19.2024

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3RD SUBMITTAL : 10.06.2023

2ND SUBMITTAL : 08.10.2023

65 OF 72

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 66 OF 72

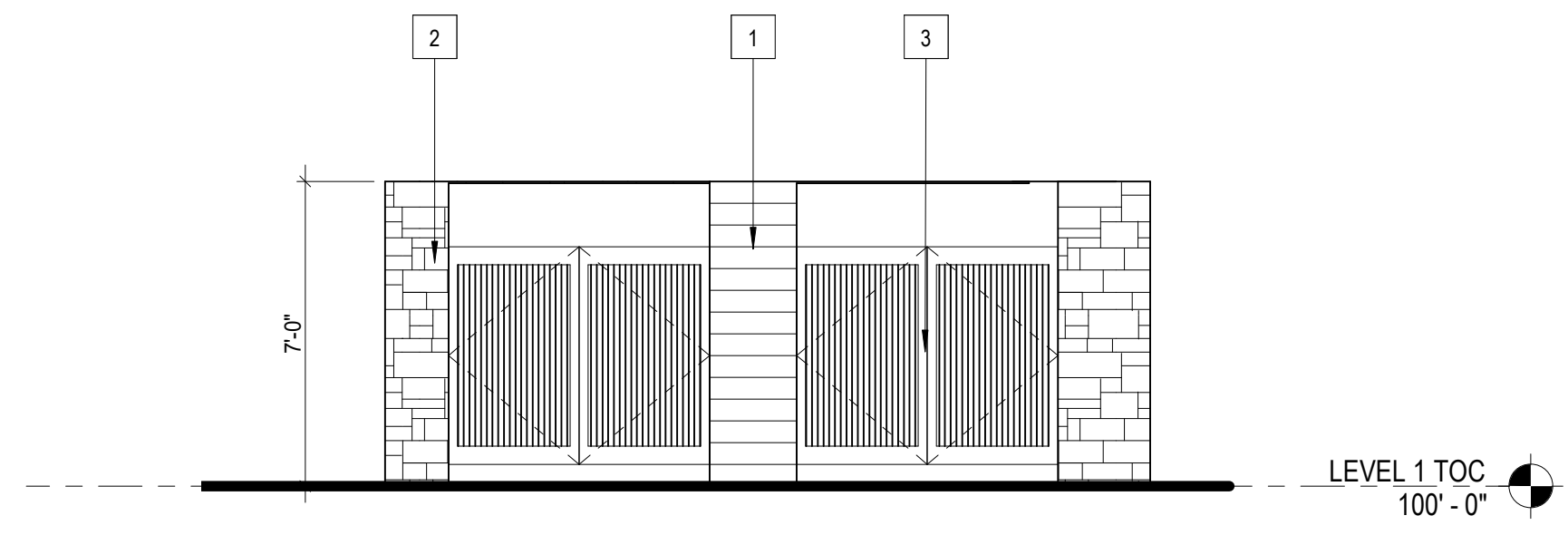
KEYNOTES	
1	HORIZONTAL LAP SIDING - COLOR: SW 7666 FLEUR DE SEL, SATIN
2	STONE - SUNSET STONE - COLOR: BLACK RUNDLE, LEDGE
3	METAL FABRICATED GATE PANEL - COLOR SW IRON ORE



UPLANDS

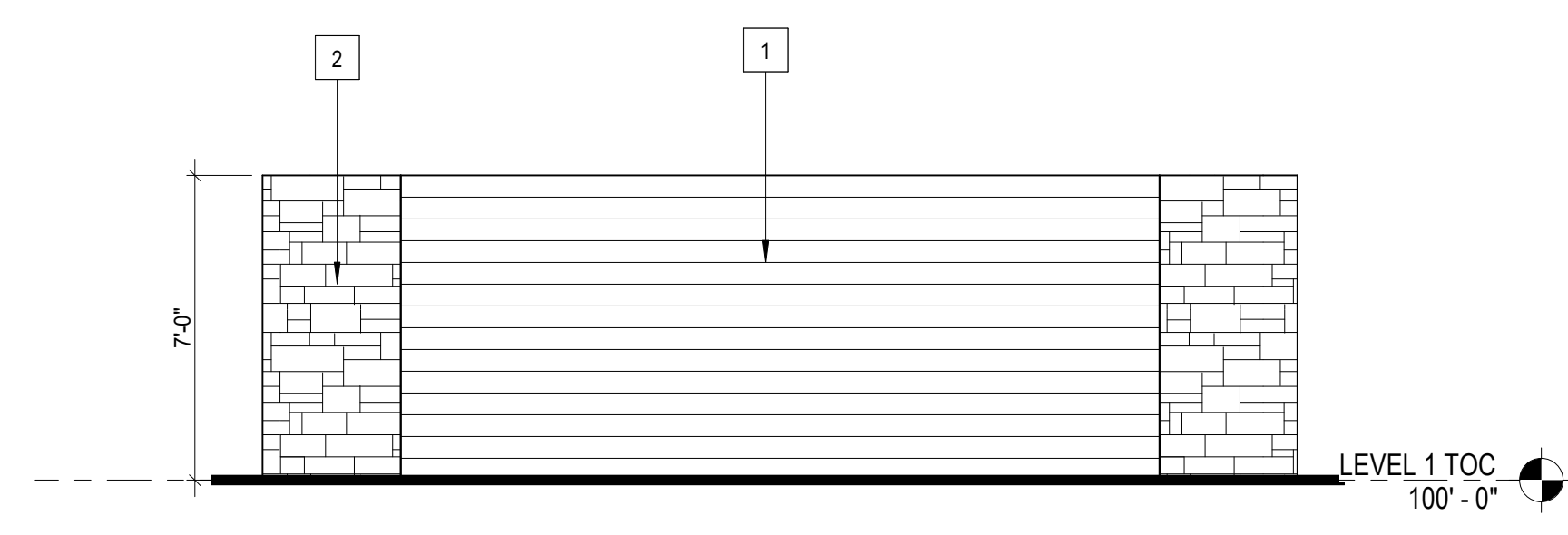
DATE: 01.19.2024

UPLANDS FILING NO. 3
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



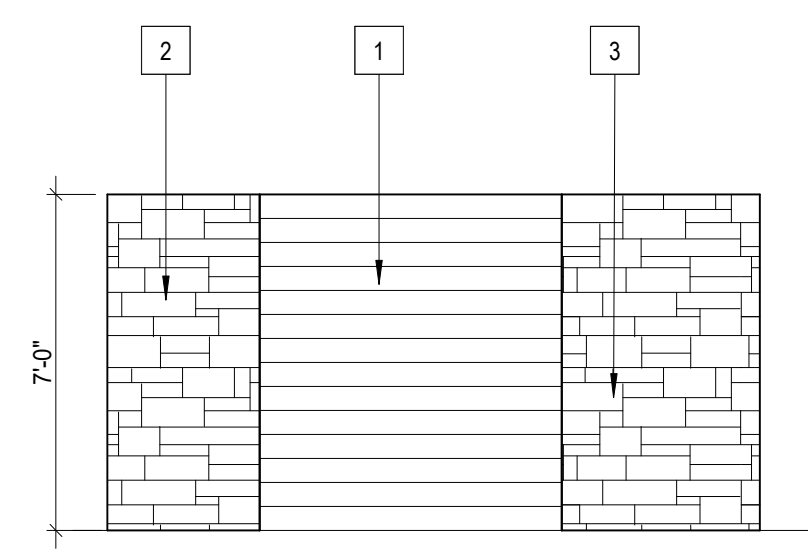
2-BIN - RIGHT ELEVATION

SCALE: 1/4" = 1'-0" 8



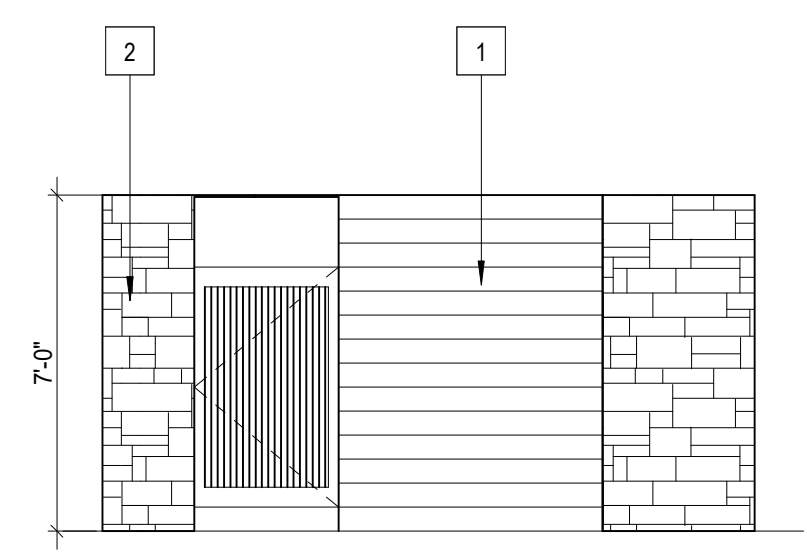
4-BIN - BACK ELEVATION

SCALE: 1/4" = 1'-0" 4



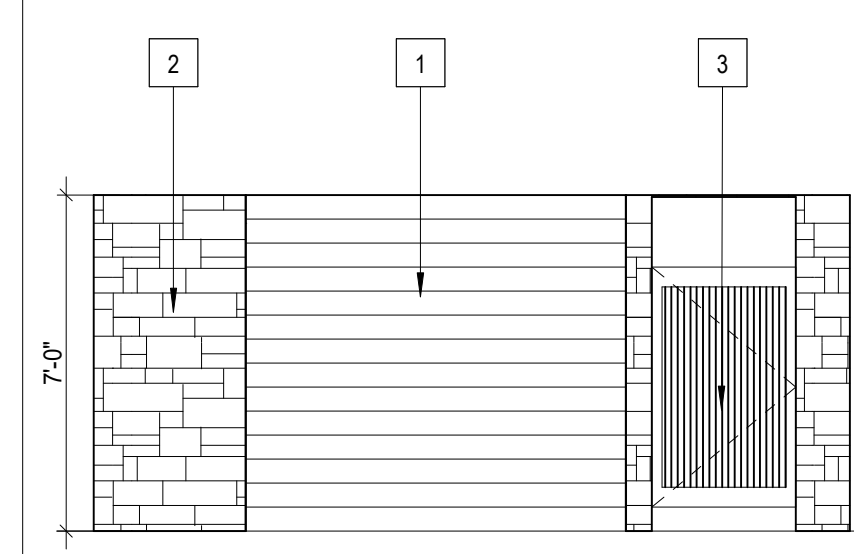
2-BIN - BACK

SCALE: 1/4" = 1'-0" 7



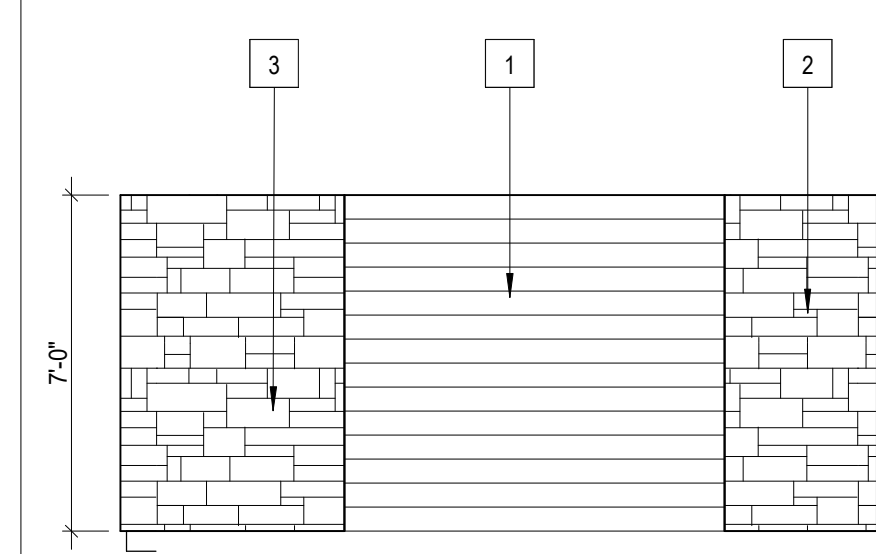
2-BIN - FRONT

SCALE: 1/4" = 1'-0" 6



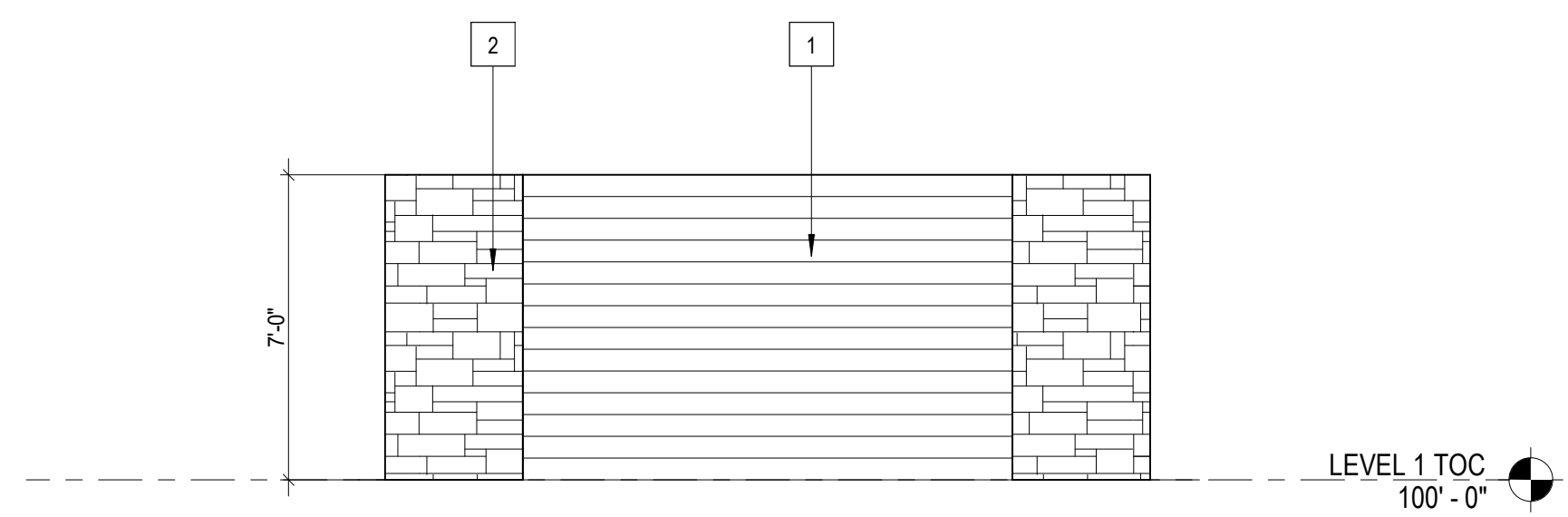
4-BIN - RIGHT

SCALE: 1/4" = 1'-0" 3



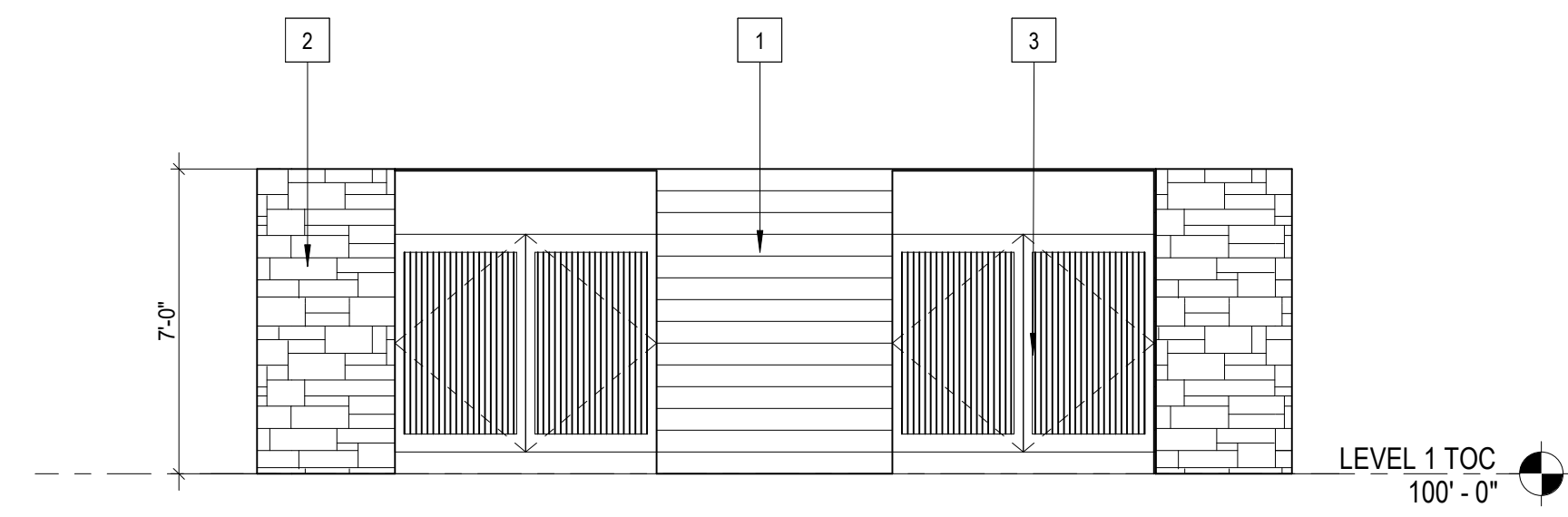
4-BIN - LEFT

SCALE: 1/4" = 1'-0" 2



2-BIN - LEFT ELEVATION

SCALE: 1/4" = 1'-0" 5



4-BIN - FRONT ELEVATION

SCALE: 1/4" = 1'-0" 1

OFFICIAL DEVELOPMENT PLAN
PREPARED: 04.28.2023
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 67 OF 72

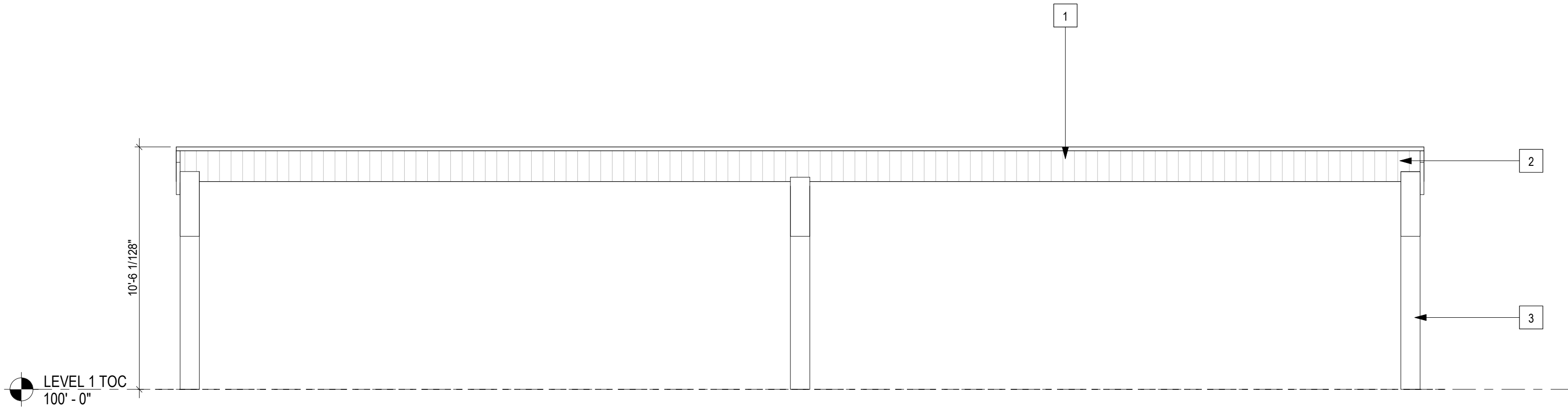
KEYNOTES - CARPORT	
1	STANDING SEAM METAL ROOF - SW IRON ORE
2	METAL COLUMNS, PAINTED TO MATCH ADJACENT BUILDING
3	METAL PANEL ROOF, COLOR TO MATCH BUILDING SHINGLES
6	WOOD OR COMPOSITE TRIM - PAINTED



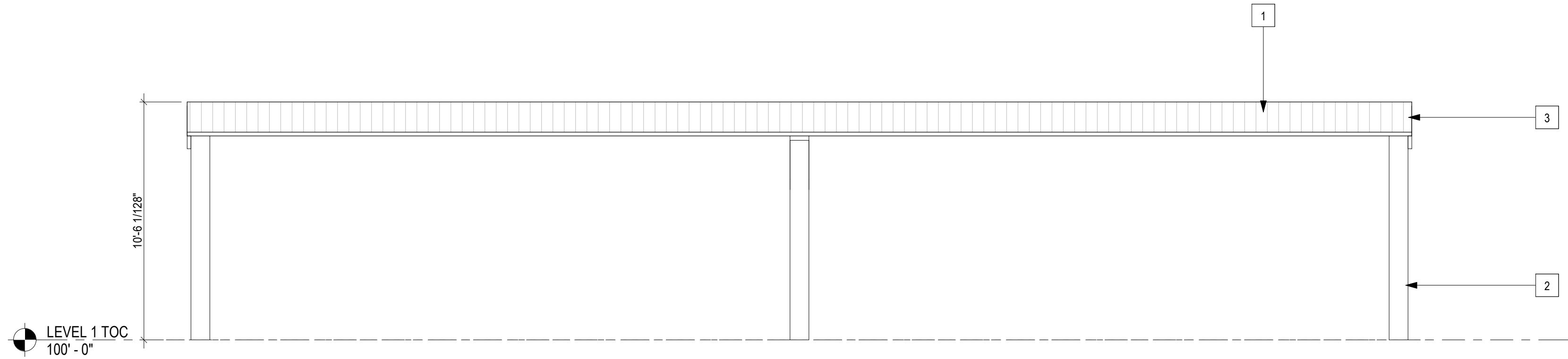
UPLANDS

DATE: 01.19.2024

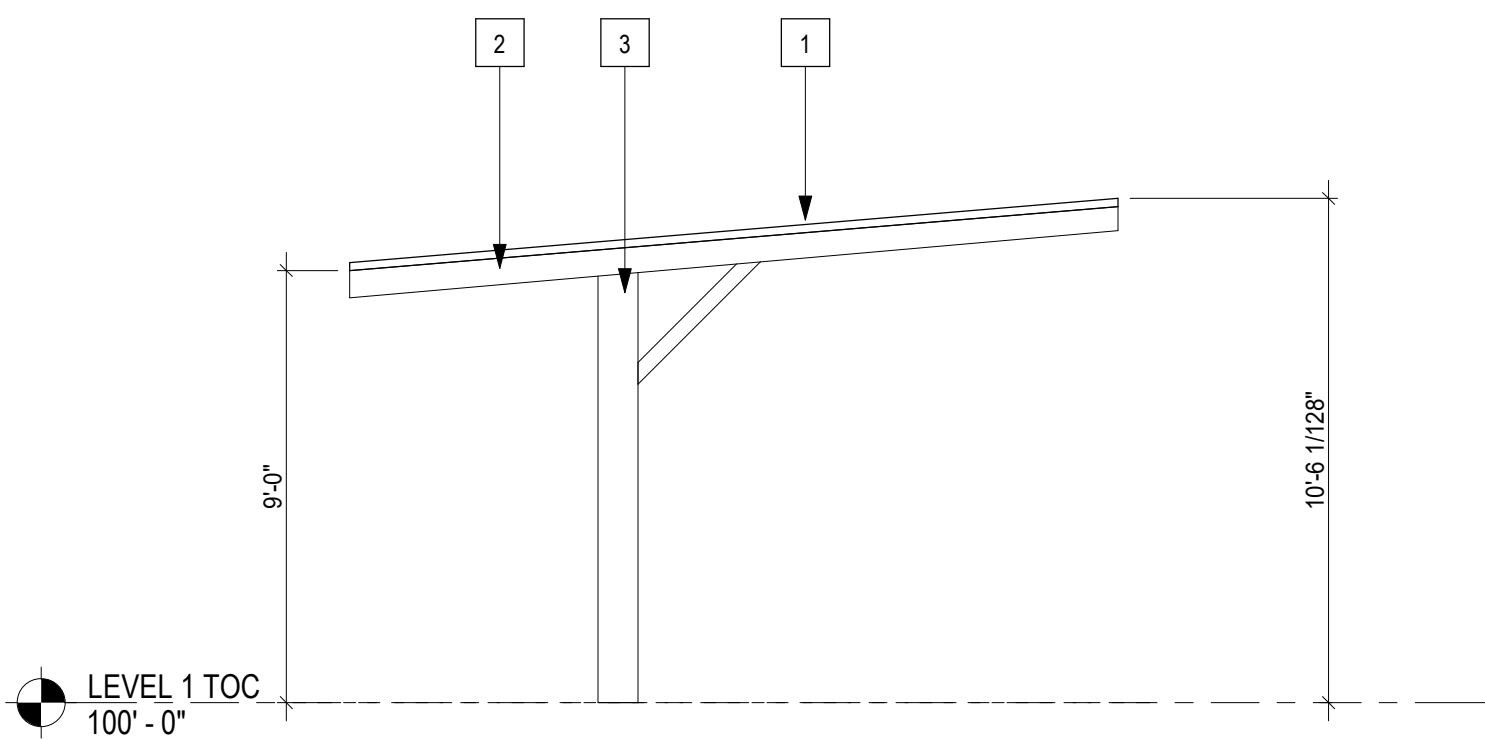
UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO



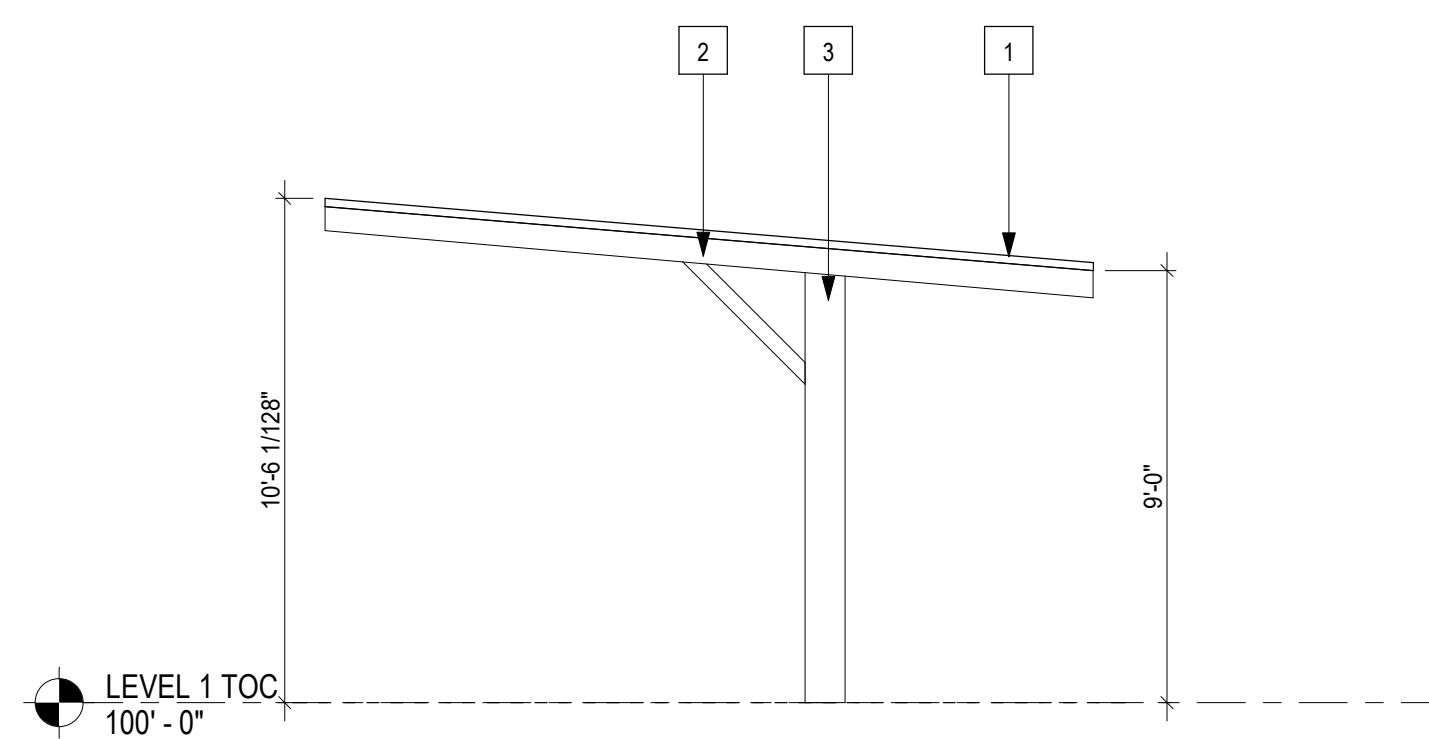
CARPORT - FRONT ELEVATION SCALE: 1/4" = 1'-0" **2**



CARPORT - REAR ELEVATION SCALE: 1/4" = 1'-0" **3**



CARPORT - WEST ELEVATION SCALE: 1/4" = 1'-0" **4**



CARPORT - EAST ELEVATION SCALE: 1/4" = 1'-0" **1**

OFFICIAL DEVELOPMENT PLAN
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OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 68 OF 72

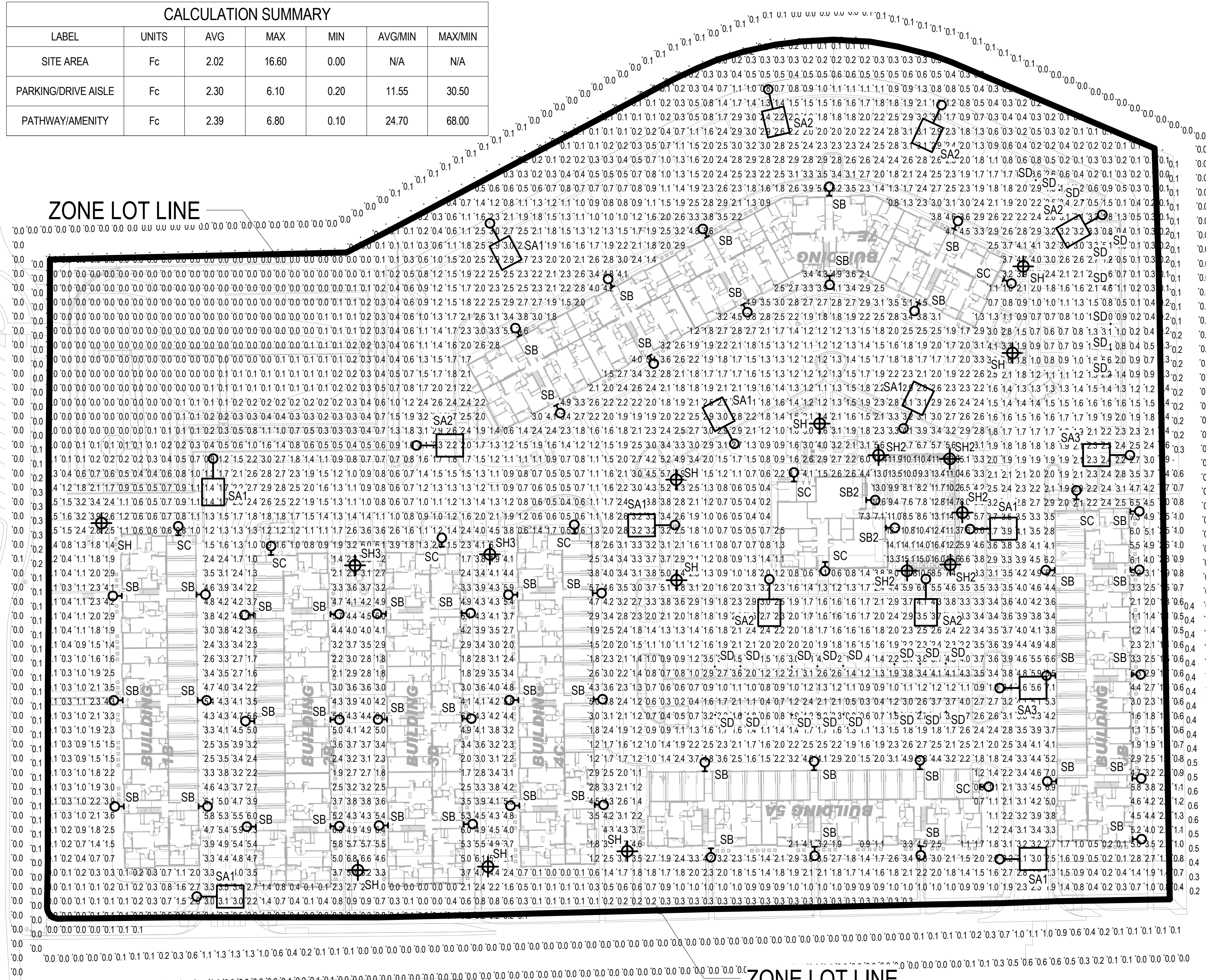
GENERAL NOTES

1. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.
2. ALL EXTERIOR LIGHT FIXTURES ARE FULL CUT OFF TYPE.

JSE
 Jordan & Skala
 Engineers
 555 17th Street • Suite 700
 Denver, CO 80202
 p. 303.586.2375

Project Number: 23080148
 Drawn By: AB/UM Checked By: AH/SL

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
SITE AREA	Fc	2.02	16.60	0.00	N/A	N/A
PARKING/DRIVE AISLE	Fc	2.30	6.10	0.20	11.55	30.50
PATHWAY/AMENITY	Fc	2.39	6.80	0.10	24.70	68.00



ZONE LOT LINE

ZONE LOT LINE

DATE: 05.10.2023

UPLANDS FILING NO. 3
 OFFICIAL DEVELOPMENT PLAN
 WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023
 REVISIONS
 5TH SUBMITTAL: 01.19.2024
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 3RD SUBMITTAL: 10.06.2023
 2ND SUBMITTAL: 08.10.2023

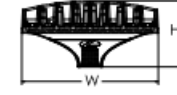
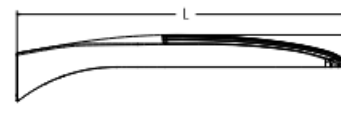
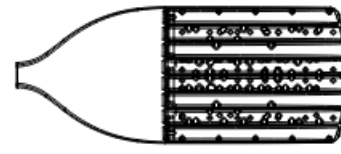
OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 69 OF 72



D-Series Size 2
 LED Area Luminaire

Specifications

EPA: 1.06 ft² (0.10 m²)
Length: 40.59" (103.1 cm)
Width: 16.76" (42.6 cm)
Height H1: 8.11" (20.6 cm)
Height H2: 3.96" (10.1 cm)
Weight: 46 lbs (20.9 kg)



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of up to 80% vs. 1000W HID and expected service life of over 100,000 hours.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Ambient	Lumen Multiplier
0°C	1.04
5°C	1.03
10°C	1.03
15°C	1.02
20°C	1.01
25°C	1.00
30°C	0.99
35°C	0.98
40°C	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LMF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.95
50,000	0.90
100,000	0.82

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use published values for each package based on input watts and lumens by optic type.

Electrical Load

Performance Package	LED Count	Drive Current (mA)	Wattage	Current (A)					
				120V	208V	240V	277V	347V	480V
P1	80	530	135	1.12	0.65	0.56	0.49	0.39	0.28
P2	80	700	181	1.49	0.86	0.75	0.65	0.52	0.37
P3	80	850	222	1.83	1.05	0.91	0.79	0.63	0.46
P4	80	1050	277	2.27	1.31	1.14	0.98	0.79	0.57
P5	80	1250	333	2.72	1.57	1.36	1.18	0.94	0.68
P6	100	1050	345	2.85	1.64	1.42	1.23	0.98	0.71
P7	100	1250	414	3.41	1.97	1.70	1.48	1.18	0.85
P8	100	1400	466	3.85	2.22	1.93	1.67	1.33	0.96
P10	90	530	152	1.27	0.73	0.63	0.55	0.44	0.32
P11	90	700	203	1.69	0.97	0.84	0.73	0.58	0.42
P12	90	850	249	2.06	1.19	1.03	0.89	0.71	0.52
P13	90	1200	358	2.95	1.70	1.47	1.28	1.02	0.74
P14	90	1400	421	3.46	2.00	1.73	1.50	1.20	0.87

LED Color Temperature / Color Rendering Multipliers

Lumen Multiplier	70 CRI		80 CRI		90 CRI	
	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

Ordering Information

EXAMPLE: DSX2 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution	Voltage	Mounting
DSX2 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 P8 Rotated optics P10 ¹ P13 ¹ P11 ¹ P14 ¹ P12 ¹	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	70CRI 70CRI 80CRI 80CRI 80CRI	AFR Automotive front row T1S Type I short T2M Type II medium T3M Type III medium T3LG Type III low glare ³ T4M Type IV medium T4LG Type IV low glare ³ TFTM Forward throw medium	TSM Type V medium TSLG Type V low glare TSW Type V wide BLC3 Type III backlight control ⁴ BLC4 Type IV backlight control ⁴ LCCO Left corner cutoff ⁵ RCCO Right corner cutoff ⁵	Shipped included SPA Square pole mounting (#8 drilling) RPA Round pole mounting (#8 drilling) SPAS Square pole mounting (#5 drilling) RPAS Round pole mounting (#5 drilling) SPARN Square narrow pole mounting (#8 drilling) WBA Wall bracket ¹⁶ MA Mast arm adapter (mounts on 2 3/8" OD horizontal tension)

Control options	Other options	Finish (required)
Shipped installed NLTAR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient senso, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11, 12, 20, 21} PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11, 12, 21} PER NEMA twist-lock receptacle only (controls ordered separately) ¹⁴ PERS Five-pin receptacle only (controls ordered separately) ^{14, 21}	PER7 Seven-pin receptacle only (controls ordered separately) ^{14, 21} FAO Field adjustable output. ^{16, 21} BL30 Bi-level switched dimming, 30%. ^{16, 21} BL50 Bi-level switched dimming, 50%. ^{16, 21} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately). ¹ DS Dual switching. ^{18, 19, 21}	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
Shipped separately EGSR External Glare Shield (reversible, field install required, matches housing finish) BSDB Bird Spikes (field install required)	SPD20KV 20KV surge protection HS Houseside shield (black finish standard) ²¹ L90 Left rotated optics ¹ R90 Right rotated optics ¹ CCE Coastal Construction ²⁵ HA 50°C ambient operation ¹⁹	

TYPE 'SA1', 'SA2', & 'SA3'

SITE LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER CATALOG NO.	VOLTAGE / LOAD	MOUNTING HEIGHT
SA1	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P1 30K 70CRI T3M	120/277V 135W	25'
SA2	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P1 30K 70CRI T4M	120/277V 135W	25'
SA3	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P2 30K 70CRI T5M	120/277V 179W	25'
SB	WALL MOUNTED LIGHT	LITHONIA #WDGE3 LED P1 70CRI R3 30K	120/277V 51W	15'
SB2	WALL MOUNTED LIGHT	LITHONIA #WDGE3 LED P3 70CRI R4 30K	120/277V 71W	15'

TYPE 'SA1', 'SA2', & 'SA3'

SITE LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER CATALOG NO.	VOLTAGE / ...	MOUNTING HEIGHT
SC	WALL MOUNTED LIGHT	WAC LIGHTING #WS-W15708-3000K	120/277V 9W	8'
SD	CARPORT LIGHT	WAC LIGHTING #FM-W2510-3000K	120/277V 16W	8'
SH1	PEDESTRIAN POLE	LITHONIA #DSX2 LED P2 30K 70CRI T5M	120/277V 179W	12'
SH2	PEDESTRIAN POLE	LITHONIA #WDGE3 LED P1 70CRI R3 30K	120/277V 51W	12'
SH3	PEDESTRIAN POLE	LITHONIA #WDGE3 LED P3 70CRI R4 30K	120/277V 71W	12'

DATE: 05.10.2023

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023
 REVISIONS
 5TH SUBMITTAL: 01.19.2024
 4TH SUBMITTAL: 11.29.2023
 3RD SUBMITTAL: 10.06.2023
 2ND SUBMITTAL: 08.10.2023
69 OF 72
 LIGHT FIXTURE SPECIFICATIONS

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 70 OF 72

JSE
 Jordan & Skala
 Engineers
 555 17th Street • Suite 700
 Denver, CO 80202
 p. 303.586.2375

Project Number: 23080148
 Drawn By: AB Checked By: AH/SL

DATE: 05.10.2023

WAC LIGHTING

Sodor

Outdoor Wall Sconce 3000K

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W15708 8"	3000K	<input type="radio"/> BK Black <input type="radio"/> BZ Bronze	9W	750	330

Example: **WS-W15708-BZ**
 For custom requests please contact customs@wacighting.com

FEATURES

- Weather resistant powder coated finishes
- Light engine is factory sealed for maximum protection from the elements
- Heavy aluminum shade provides great glare cutoff
- ACLED driverless technology
- 5 year warranty

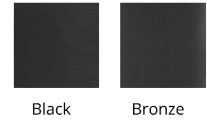
SPECIFICATIONS

Color Temp:	3000K
Input:	120 VAC, 50/60Hz
CRI:	90
Dimming:	ELV: 100-10%
Rated Life:	54000 Hours
Standards:	ETL, cETL, IP65, Dark Sky Friendly Wet Location Listed
Construction:	Aluminum hardware with glass diffuser

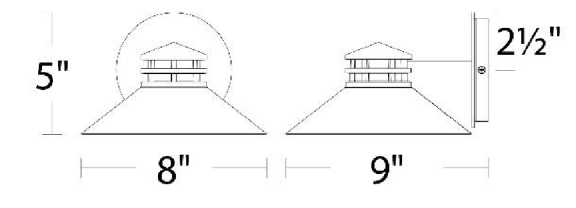
Fixture Type: _____
 Catalog Number: _____
 Project: _____
 Location: _____



FINISHES:



LINE DRAWING:



WS-W15708

WDGE3 LED
 Architectural Wall Sconce



Catalog Number	
Notes	
Type	

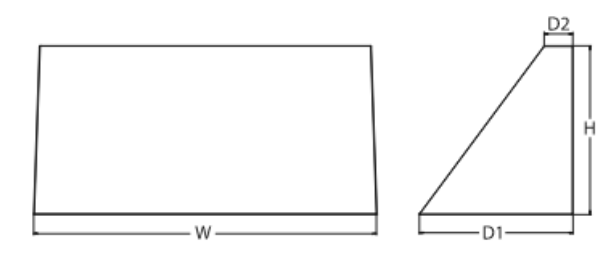
Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance. WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

Specifications

- Depth (D1):** 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight: 19.5 lbs (without options)



WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE3 LED	P1	30K 3000K	70CRI	R2 Type 2	MVOLT	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ²
	P2	40K 4000K	80CRI	R3 Type 3	347 ¹	
	P3	50K 5000K		R4 Type 4	480 ¹	
	P4			RFT Forward Throw		

Options	Finish
E15WH Emergency battery backup, Certified in CA Title 20 MAEDBS (15W, 5°C min)	DDBXD Dark bronze
E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)	DBLXD Black
PE Photocell, Button Type ³	DNAXD Natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ⁴	DHAXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
SPD10KV 10KV Surge pack ⁵	DBB1XD Textured dark bronze
BAA Buy America(n) Act Compliant	DBLBXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone

Accessories
 Ordered and shipped separately.
 WDGEAW5 DDBXD WDGE3/Black Architectural Wall Spacer (specify finish)
 WDGE3PBBW DDBXD U WDGE3 surface-mounted back box (specify finish)

NOTES
 1 347V and 480V not available with E15WH and E20WC.
 2 Not qualified for DLC. Not available with emergency battery backup or sensors/controls
 3 PE not available in 480V and with sensors/controls.
 4 DMG option not available with sensors/controls.
 5 Not available with E20WC option.

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
 © 2019-2023 Acuity Brands Lighting, Inc. All rights reserved. WDGE3 LED Rev. 05/11/23

wacighting.com | Phone (800) 526.2588 | Fax (800) 526.2585 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
 WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. November 2023

TYPE 'SC'

SITE LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER CATALOG NO.	VOLTAGE / LOAD	MOUNTING HEIGHT
SA1	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P1 30K 70CRI T3M	120/277V 135W	25'
SA2	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P1 30K 70CRI T4M	120/277V 135W	25'
SA3	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P2 30K 70CRI T5M	120/277V 179W	25'
SB	WALL MOUNTED LIGHT	LITHONIA #WDGE3 LED P1 70CRI R3 30K	120/277V 51W	15'
SB2	WALL MOUNTED LIGHT	LITHONIA #WDGE3 LED P3 70CRI R4 30K	120/277V 71W	15'

TYPE 'SB'

SITE LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER CATALOG NO.	VOLTAGE / ...	MOUNTING HEIGHT
SC	WALL MOUNTED LIGHT	WAC LIGHTING #WS-W15708-3000K	120/277V 9W	8'
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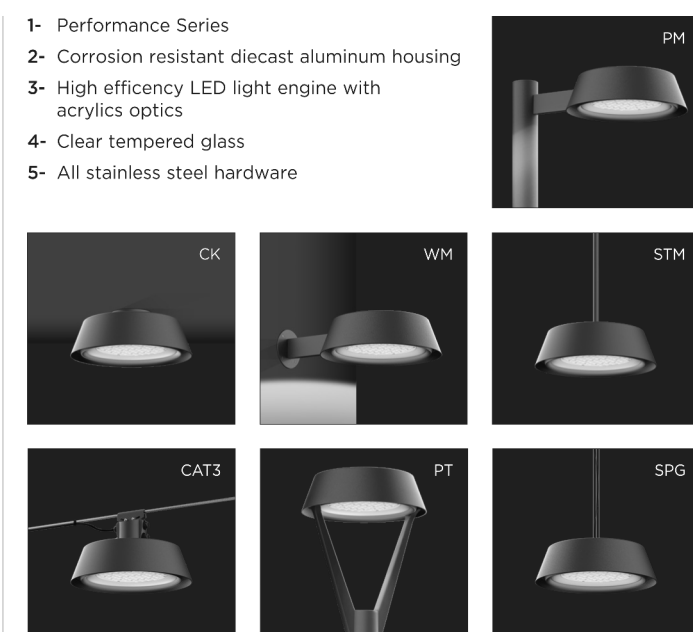
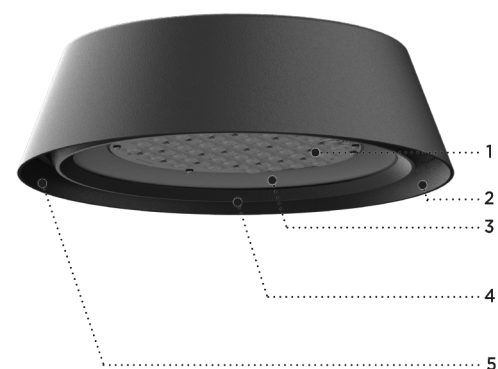
JSE
 Jordan & Skala
 Engineers
 555 17th Street • Suite 700
 Denver, CO 80202
 p. 303.586.2375
 Project Number: 23080148
 Drawn By: Author Checked By: Checker

LUMINIS

**CT185 SERIES
 CLERMONT**

**CT185 SERIES
 CLERMONT**

TYPE: _____ QUANTITY: _____ PROJECT: _____
 CATALOG NUMBER: _____
 MODEL LED SELECTION MOUNT CCT VOLTAGE FINISH OPTION OPTION



- 1- Performance Series
- 2- Corrosion resistant diecast aluminum housing
- 3- High efficiency LED light engine with acrylics optics
- 4- Clear tempered glass
- 5- All stainless steel hardware

MATERIALS

Clermont is made of aluminum diecast offering exceptional precision and durability. The main housing is sealed with durable gasket. Features a high efficiency LED light engine, mounted on a recessed heatsink whose pattern is optimized for heat dissipation. The driver is preinstalled inside the main housing, sealed with proper gasket, and secured with four captives screws which makes it easy for maintenance.

ELECTRICAL

DRIVER Standard driver is 0-10V dimming-ready (dims to 10%) with: 120-277 multi-volt compatibility (50-60Hz), operating temperature range of -40°C to +55°C/-40°F to +131°F, output over voltage protection, output over current protection and output short circuit protection with auto-recovery. Optional 347/480V available
LED Type II, III, IV or V light distribution via high performance optical lenses. Offered in 2700K, 3000K, 3500K, 4000K. See the CCT options for details.
 Optional true amber LED for turtle sensitive areas.
 Wavelengths: 585nm to 597nm

LIFE

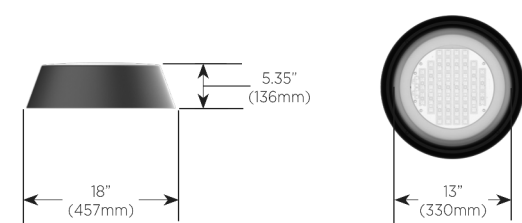
60,000hrs L₇₀B₅₀ (based on LM-80 report for lumen maintenance)

FINISH

Five-stage preparation process includes preheating of cast aluminum parts for air extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

MOUNTING

Maximum weight: 27 lbs (12 kg), except PT: 40 lbs (18 kg)
 Several mounting options are offered with this product: catenary, wall mount, ceiling mount, pendant, post-top and pole mount.
 For SPG, STM, CK, WM mounting: The mounting plate is designed to fit on a 4" (102mm) octagonal electrical box using 3.5" (89mm) C/C mounting holes.
 For PM mounting: designed to fit on 4" or 5" OD pole.
 For PT mounting: designed to fit on 4" OD pole with 1/4", 3/16" or 1/8" wall thickness.
 For CAT3: see mounting details on page 3.
 For STM, fixture must be installed on a finished ceiling for exterior applications and/or when exposed to inclement weather.
CERTIFICATION
 Certified and approved as per CSA C22.2 No.: 250.0 standard and ANSI/UL 1598 standard, for wet location. Rated IP65/IK10.
 Photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 25°C.
 Lumen depreciation in accordance with IESNA LM80 standards.



LUMINIS Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
 260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5

LUMINIS.COM

Luminaires may be altered for design improvement without prior notice.

February 2023 Rev. 2

1

LUMINAIRE SELECTION

1 MODEL	2 LED LIGHT SELECTION (4000K/80CRI)	3 MOUNT	4 CCT	5 VOLTAGE	6 FINISH																																																																			
<input type="checkbox"/> CT185	WHITE LED SELECTION <table border="1"> <thead> <tr> <th>TYPE</th> <th>SUFFIX</th> <th>DELIVERED LUMENS</th> <th>INPUT WATTS</th> </tr> </thead> <tbody> <tr> <td rowspan="5">TYPE II</td> <td><input type="checkbox"/> LIL50-TYP2</td> <td>4843</td> <td>40W</td> </tr> <tr> <td><input type="checkbox"/> LIL80-TYP2</td> <td>7069</td> <td>60W</td> </tr> <tr> <td><input type="checkbox"/> LIL100-TYP2</td> <td>9269</td> <td>80W</td> </tr> <tr> <td><input type="checkbox"/> LIL120-TYP2</td> <td>11274</td> <td>100W</td> </tr> <tr> <td><input type="checkbox"/> LIL180-TYP2</td> <td>15675</td> <td>160W</td> </tr> <tr> <td rowspan="5">TYPE III</td> <td><input type="checkbox"/> LIL50-TYP3</td> <td>5043</td> <td>40W</td> </tr> <tr> <td><input type="checkbox"/> LIL80-TYP3</td> <td>7360</td> <td>60W</td> </tr> <tr> <td><input type="checkbox"/> LIL100-TYP3</td> <td>9651</td> <td>80W</td> </tr> <tr> <td><input type="checkbox"/> LIL120-TYP3</td> <td>11739</td> <td>100W</td> </tr> <tr> <td><input type="checkbox"/> LIL180-TYP3</td> <td>16321</td> <td>160W</td> </tr> <tr> <td rowspan="5">TYPE IV</td> <td><input type="checkbox"/> LIL50-TYP4</td> <td>4970</td> <td>40W</td> </tr> <tr> <td><input type="checkbox"/> LIL80-TYP4</td> <td>7254</td> <td>60W</td> </tr> <tr> <td><input type="checkbox"/> LIL100-TYP4</td> <td>9512</td> <td>80W</td> </tr> <tr> <td><input type="checkbox"/> LIL120-TYP4</td> <td>11570</td> <td>100W</td> </tr> <tr> <td><input type="checkbox"/> LIL180-TYP4</td> <td>16086</td> <td>160W</td> </tr> <tr> <td rowspan="5">TYPE V</td> <td><input type="checkbox"/> LIL50-TYP5</td> <td>5109</td> <td>40W</td> </tr> <tr> <td><input type="checkbox"/> LIL80-TYP5</td> <td>7457</td> <td>60W</td> </tr> <tr> <td><input type="checkbox"/> LIL100-TYP5</td> <td>9778</td> <td>80W</td> </tr> <tr> <td><input type="checkbox"/> LIL120-TYP5</td> <td>11894</td> <td>100W</td> </tr> <tr> <td><input type="checkbox"/> LIL180-TYP5</td> <td>16526</td> <td>160W</td> </tr> </tbody> </table>	TYPE	SUFFIX	DELIVERED LUMENS	INPUT WATTS	TYPE II	<input type="checkbox"/> LIL50-TYP2	4843	40W	<input type="checkbox"/> LIL80-TYP2	7069	60W	<input type="checkbox"/> LIL100-TYP2	9269	80W	<input type="checkbox"/> LIL120-TYP2	11274	100W	<input type="checkbox"/> LIL180-TYP2	15675	160W	TYPE III	<input type="checkbox"/> LIL50-TYP3	5043	40W	<input type="checkbox"/> LIL80-TYP3	7360	60W	<input type="checkbox"/> LIL100-TYP3	9651	80W	<input type="checkbox"/> LIL120-TYP3	11739	100W	<input type="checkbox"/> LIL180-TYP3	16321	160W	TYPE IV	<input type="checkbox"/> LIL50-TYP4	4970	40W	<input type="checkbox"/> LIL80-TYP4	7254	60W	<input type="checkbox"/> LIL100-TYP4	9512	80W	<input type="checkbox"/> LIL120-TYP4	11570	100W	<input type="checkbox"/> LIL180-TYP4	16086	160W	TYPE V	<input type="checkbox"/> LIL50-TYP5	5109	40W	<input type="checkbox"/> LIL80-TYP5	7457	60W	<input type="checkbox"/> LIL100-TYP5	9778	80W	<input type="checkbox"/> LIL120-TYP5	11894	100W	<input type="checkbox"/> LIL180-TYP5	16526	160W	<input type="checkbox"/> CK Ceiling <input type="checkbox"/> SPG* Pendant (cable) <input type="checkbox"/> STM Pendant (stem) <input type="checkbox"/> CAT3 Catenary <input type="checkbox"/> WM Wall mount <input type="checkbox"/> PM Pole mount <input type="checkbox"/> PT* Post top**	TEMPERATURE* <input type="checkbox"/> K27 2700K <input type="checkbox"/> K30 3000K <input type="checkbox"/> K35 3500K <input type="checkbox"/> K40 4000K STANDARD <input type="checkbox"/> 120V <input type="checkbox"/> 208V <input type="checkbox"/> 240V <input type="checkbox"/> 277V OPTIONAL <input type="checkbox"/> 347V <input type="checkbox"/> 480V	STANDARD COLORS <input type="checkbox"/> WHT Snow white <input type="checkbox"/> BKT Jet black <input type="checkbox"/> BZT Bronze <input type="checkbox"/> MST Matte silver <input type="checkbox"/> GRT Titanium gray <input type="checkbox"/> DGT Gun metal <input type="checkbox"/> CHT Champagne <input type="checkbox"/> SGT Steel gray <input type="checkbox"/> BGT English cream OPTIONAL COLORS <input type="checkbox"/> CS Custom color <input type="checkbox"/> RAL RAL# color
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For IDA certification compliance, luminaire must be ordered with 3000K or warmer.

LUMINIS

LUMINIS Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
 260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5

LUMINIS.COM

Luminaires may be altered for design improvement without prior notice.

February 2023 Rev. 2

2

TYPE 'SH'

TYPE 'SH'

SITE LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER CATALOG NO.	VOLTAGE / LOAD	MOUNTING HEIGHT
SA1	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P1 30K 70CRI T3M	120/277V 135W	25'
SA2	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P1 30K 70CRI T4M	120/277V 135W	25'
SA3	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P2 30K 70CRI T5M	120/277V 179W	25'
SB	WALL MOUNTED LIGHT	LITHONIA #WDGE3 LED P1 70CRI R3 30K	120/277V 51W	15'
SB2	WALL MOUNTED LIGHT	LITHONIA #WDGE3 LED P3 70CRI R4 30K	120/277V 71W	15'

SITE LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER CATALOG NO.	VOLTAGE / ...	MOUNTING HEIGHT
SC	WALL MOUNTED LIGHT	WAC LIGHTING #WS-W15708-3000K	120/277V 9W	8'
SD	CARPORT LIGHT	WAC LIGHTING #FM-W2510-3000K	120/277V 16W	8'
SH1	PEDESTRIAN POLE	LITHONIA #DSX2 LED P2 30K 70CRI T5M	120/277V 179W	12'
SH2	PEDESTRIAN POLE	LITHONIA #WDGE3 LED P1 70CRI R3 30K	120/277V 51W	12'
SH3	PEDESTRIAN POLE	LITHONIA #WDGE3 LED P3 70CRI R4 30K	120/277V 71W	12'

OFFICIAL DEVELOPMENT PLAN
 PREPARED: 05.10.2023

REVISIONS

5TH SUBMITTAL: 01.19.2024
 4TH SUBMITTAL: 11.29.2023
 3RD SUBMITTAL: 10.06.2023
 2ND SUBMITTAL: 08.10.2023

71 OF 72
 LIGHT FIXTURE
 SPECIFICATIONS

UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

DATE: 05.10.2023

OFFICIAL DEVELOPMENT PLAN
UPLANDS - FILING NO. 3 - BLOCK 2
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 72 OF 72

DATE: 05.10.2023

WAC LIGHTING

Rubix

5" & 10" Ceiling Mount 3000K

Model & Size	Color Temp & CRI	Watt	Lumens	Finish
<input type="checkbox"/> FM-W2505 5"	<input type="checkbox"/> 3000K 90	16W	945	<input type="checkbox"/> AL Brushed Aluminum
<input type="checkbox"/> FM-W2510 10"		31W	2139	<input type="checkbox"/> BK Black
		30W	1875	<input type="checkbox"/> BZ Bronze <input type="checkbox"/> GH Graphite <input type="checkbox"/> WT White

Fixture Type: _____
 Catalog Number: _____
 Project: _____
 Location: _____

Example: **FM-W2505-AL**

DESCRIPTION

This versatile Rubix model is available for both wall and ceiling mounting. Die-cast aluminum constructed with etched glass for durability in exterior environments, Rubix delivers substantial lumen output with a minimalist design.

FEATURES

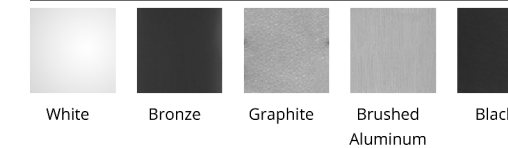
- Title 24 may not be available for all finishes, check for availability
- Driver concealed within the fixture
- 5 year warranty

SPECIFICATIONS

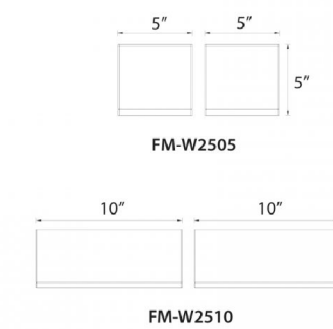
Construction:	Die-cast Aluminum
Power:	16W, 30W, 31W
Input:	120-277V, 50/60Hz
Dimming:	ELV: 100-10%, 0-10V: 100-5%
Light Source:	Integrated LED
Rated Life:	70000 Hours
Mounting:	Mounts directly to junction box. Can be mounted on ceiling or wall in all orientations
Finish:	Powder Coat Graphite: Graphite, Powder Coat Graphite::Brushed Aluminum, Powder Coat Graphite::Black, Powder Coat Graphite::Bronze, Powder Coat Graphite::White, Electrostatically Powder Coated: Black, Electrostatically Powder Coated: Brushed Aluminum, Electrostatically Powder Coated: Graphite, Electrostatically Powder Coated: White, Electrostatically Powder Coated: Bronze
Operating Temp:	-40°F to 122°F (-40°C to 50°C)
Standards:	ETL, cETL, Wet Location Listed, IP65, Title 24 JA8 Compliant



FINISHES:



LINE DRAWING:



wacighting.com | Phone (800) 526.2588 | Fax (800) 526.2585 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
 WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. November 2023

TYPE 'SD'

SITE LIGHT FIXTURE SCHEDULE				
TYPE	DESCRIPTION	MANUFACTURER CATALOG NO.	VOLTAGE / LOAD	MOUNTING HEIGHT
SA1	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P1 30K 70CRI T3M	120/277V 135W	25'
SA2	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P1 30K 70CRI T4M	120/277V 135W	25'
SA3	SINGLE ARM POLE LIGHT	LITHONIA #DSX2 LED P2 30K 70CRI T5M	120/277V 179W	25'
SB	WALL MOUNTED LIGHT	LITHONIA #WDGE3 LED P1 70CRI R3 30K	120/277V 51W	15'
SB2	WALL MOUNTED LIGHT	LITHONIA #WDGE3 LED P3 70CRI R4 30K	120/277V 71W	15'

SITE LIGHT FIXTURE SCHEDULE				
TYPE	DESCRIPTION	MANUFACTURER CATALOG NO.	VOLTAGE / ...	MOUNTING HEIGHT
SC	WALL MOUNTED LIGHT	WAC LIGHTING #WS-W15708-3000K	120/277V 9W	8'
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SH1	PEDESTRIAN POLE	LITHONIA #DSX2 LED P2 30K 70CRI T5M	120/277V 179W	12'
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UPLANDS FILING NO. 3
OFFICIAL DEVELOPMENT PLAN
WESTMINSTER, COLORADO

OFFICIAL DEVELOPMENT PLAN PREPARED: 05.10.2023	REVISIONS	5TH SUBMITTAL: 01.19.2024	4TH SUBMITTAL: 11.29.2023	3RD SUBMITTAL: 10.06.2023	2ND SUBMITTAL: 08.10.2023
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ATTACHMENT 3

From: [Lawrence, Nathan](#)
To: [Lawrence, Nathan](#)
Subject: FW: [EXTERNAL] 8775 Clay Street, SEC of 88th avenue and Federal Boulevard
Date: Thursday, February 22, 2024 1:36:48 PM
Attachments: [image001.png](#)

From: Lawrence, Nathan
Sent: Wednesday, February 21, 2024 5:31 PM
To: Lily Reedy <lily.rose2000@yahoo.com>
Subject: RE: [EXTERNAL] 8775 Clay Street, SEC of 88th avenue and Federal Boulevard

Hello Ms. Reedy,

I have included your comments with the Planning Commission packet, so the Commissioners will see it.

Please see attached notice showing the extent of the vertical construction associated with this project. As you will see, the Overlook project is to the east of Prospectors Point. "Outlot A" to the north, will be a future public park. Per the Preliminary Development Plan that was approved by City Council in 2022, the remainder of the undeveloped area remaining is slated for mixed-use multifamily and commercial development. There are currently no development proposals in for those two blocks, but those will be the ones that will likely impact views from the existing property.

I checked the mailing list and there was a letter sent to "Resident" at your address, but I will speak with the applicant to verify they are following the correct protocols so you should receive a letter with the next mailing.

Please let me know if you have additional questions.

Regards.

Nathan Lawrence (he/him)

Senior Planner

City of Westminster | Community Development
nlawrence@westminsterco.gov | 303.658.2099
4800 West 92nd Avenue, Westminster, CO 80031



Useful Links:

[Develop in Westminster](#) - Detailed overview of the development process and submittal requirements

[eTRAKiT](#) - Apply for projects and permits, submit plans, make payments and schedule inspections

From: Lily Reedy <lily.rose2000@yahoo.com>

Sent: Wednesday, February 21, 2024 1:23 PM

To: Lawrence, Nathan <nlawrenc@westminsterco.gov>

Subject: [EXTERNAL] 8775 Clay Street, SEC of 88th avenue and Federal Boulevard

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

I am emailing you in regard to the proposed building of 7 3-story apartment buildings at 8775 Clay Street, SEC of 88th avenue and Federal boulevard,. I live directly across the street. The building of these complexes would block our mountain view, decreasing the property value. For renters on that side of the building, we are paying increased rent rates because we have gorgeous mountain views. Building these complexes would remove this feature without tenants seeing a decrease in monthly rent. Additionally, for those of us on the first floor, these buildings would more than likely block a significant amount of light from entering our windows. This would not only greatly affect the growth of my plants, but also lead to worse mental health for both myself and my partner. A protected open space would be a far better resource to the community than another new apartment complex. As our infrastructure is constantly expanding, we are encroaching on many spaces that are vital to local ecosystems. Turning the space into a protected open space would benefit both the community as well as our local wildlife and environment. The current housing crisis is a result of a lack of affordable housing, not a lack of available structures. I am extremely skeptical that these new apartments are going to be priced at a rate that will alleviate suffering for those affected by the housing crisis, especially as they will no doubt increase the rates due to the mountain view. This community does not want this project to be approved. I will, unfortunately, be unable to attend the hearing and would appreciate if my comments could be included in the decision making process.

Best,

Lily Reedy

From: [Lawrence, Nathan](#)
To: zetta21@comcast.net
Subject: RE: [EXTERNAL] Seven, three-story, apartment construction
Date: Tuesday, February 20, 2024 5:12:00 PM
Attachments: [image003.png](#)
[image004.jpg](#)
[image005.jpg](#)

Hello Mr. Stanton, thank you for reaching out.

Your concerns are noted and will be shared with the members of the Planning Commission. I will note there is no City Code that guarantees views from private property. This property was entitled for development by City Council along with the remainder of the Uplands development and this property was not identified for open space preservation. There will be a public park constructed on the future block just west of the proposed development on the north side of your development. A traffic study was required along with this development to mitigate impacts. The decision to approve this proposed project ultimately lies with City Council so I would encourage you to send in your comments, or attend the hearing, once it is scheduled.

Regards.

Nathan Lawrence (he/him)

Senior Planner

City of Westminster | Community Development
nlawrence@westminsterco.gov | 303.658.2099
4800 West 92nd Avenue, Westminster, CO 80031



Useful Links:

[Develop in Westminster](#) - Detailed overview of the development process and submittal requirements

[eTRAKiT](#) - Apply for projects and permits, submit plans, make payments and schedule inspections

From: zetta21@comcast.net <zetta21@comcast.net>
Sent: Tuesday, February 20, 2024 3:23 PM
To: Lawrence, Nathan <nlawrenc@westminsterco.gov>
Subject: [EXTERNAL] Seven, three-story, apartment construction

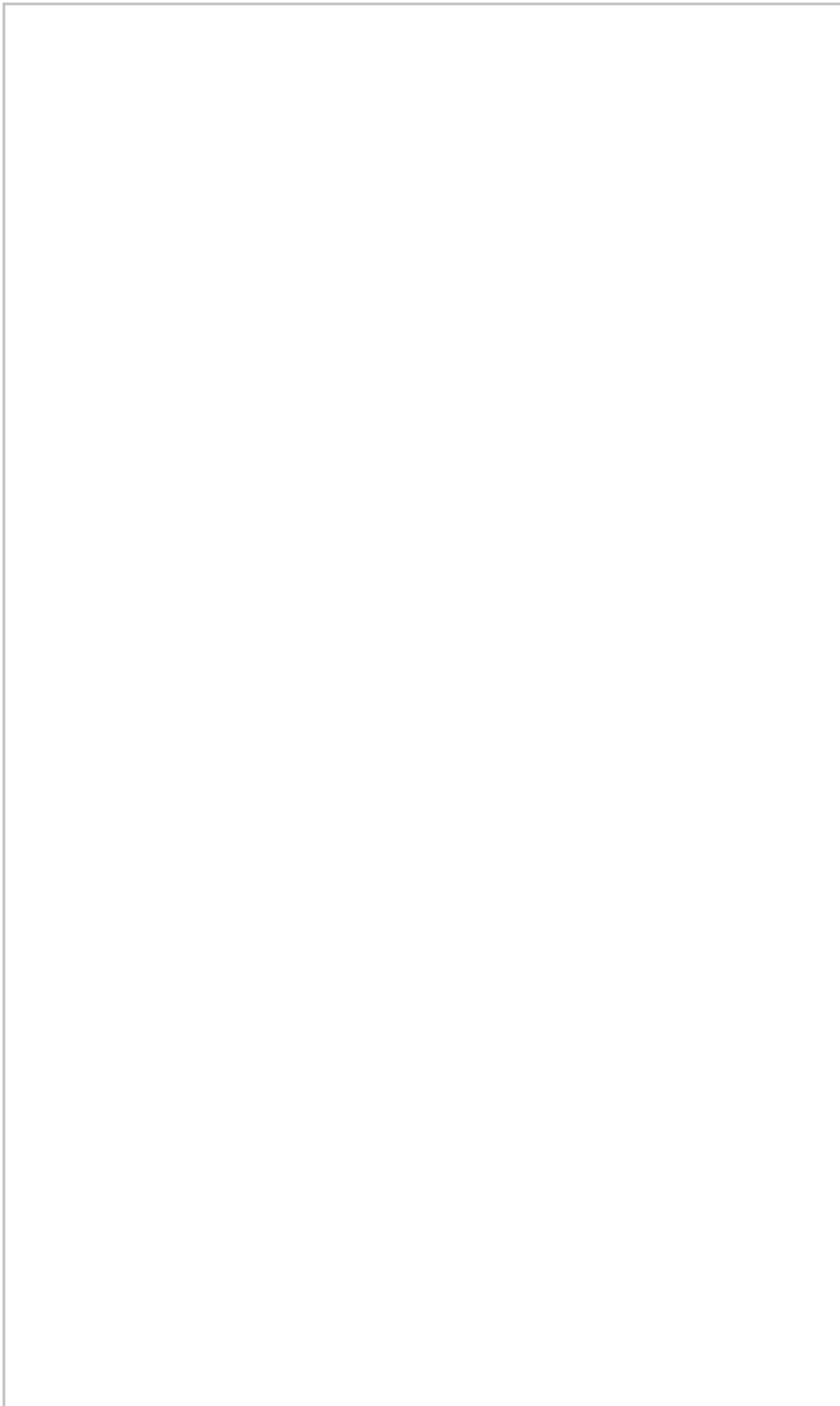
CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To: Nathan Lawrence
Senior Planner, City of Westminster

Subject: New construction of seven 3-story apartments

Hello Nathan. My name is John Stanton and I live in the Prospector's Point community. The reason I am writing you now is because we need your help to *prevent* the construction of seven, three story apartments near our home. Our main concerns are that the multi-story construction would ruin a perfectly great view of the entire front range, not only from our living room window, but during evening walks where many from the community at Prospector's Point enjoy awesome sunsets and the panorama of fireworks during July 4th celebrations.

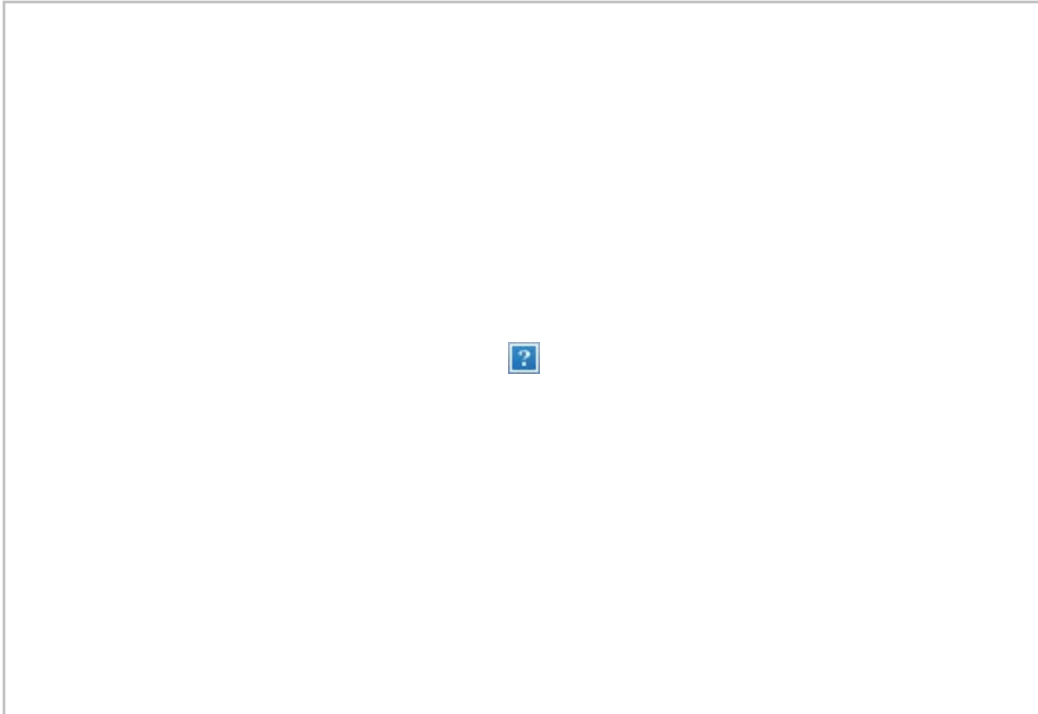
Here is a photograph that depicts our wonderful panoramic view of the front range not that long ago:



As you can see in the foreground our view consists of Federal Boulevard, a farm, and powerlines, and they were the only view-blocking obstacles when this photograph was taken. If the proposed new construction is granted it will inevitably decrease our property value primarily due to the loss of this panorama, but also due to the increased density of traffic, increased number of trash receptacles, and increased traffic noise levels. For those that reside on the ground level, tall apartment buildings will block their current sunshine from lighting their rooms and adding warmth during the winter months.

Please help to prevent this construction from occurring. An open-space with trails, benches, and this panoramic view will not only provide a better living environment, it will enhance property values and provide room for peaceful evening walks.

This is where I live:



Sincerely,

John Stanton
8690 Decatur Street No. 305
Westminster, CO 80031